

ADDENDUM

To the Construction Documents for the:

Project:	COR Peach Road Center Renovation			Addendum # 02
Owner:	City of Raleigh			
Owner ID No.:	274-PR-PEACH 2023			
DKA Project No.:	2319			
Prepared By:	Jennifer Turner	Bid Documents Issue Date:	10.31.2023	

The date of issuance of this addendum is 12/4/2023. All conditions of the addendum are in effect as of this date. Bidders are hereby informed that the following additions, deletions, changes and/or clarifications supersede and supplement the Contract Documents for the above referenced project.

Each bidder shall be responsible for notifying his subcontractors and/or vendors of the contents of this Addendum. The items included in this Addendum are for all Contractors as the items relate to their respective trades.

From:	Jennifer Turner, MBA, RID
Transmitted to:	All plan Holders
Total Number of Pages:	23

General

1. Last Day for Questions/Clarifications/Substitution Requests is Friday, December 1, 2023 at 4 PM. All questions shall be submitted in writing to Jennifer Turner at Davis Kane Architects: jturner@daviskane.com.
2. Final Addendum will be sent out on or by Monday, December 4, 2023.
3. Bids will be received up until Tuesday, December 12, 2023, at 1:00 PM at City of Raleigh Parks, Recreation and Cultural Resources Department at 222 W. Hargett St. Suite 601, Raleigh, NC 27601. All submittals to be issued:
 - a. Attention: Lauren Reid, Capital Projects Manager, City of Raleigh
Parks, Recreation and Cultural Resources Department
Park Development and Communications
4. Bids will be publicly opened at 1:00pm on Tuesday, December 12, 2023 at City of Raleigh Parks, Recreation and Cultural Resources Department at 222 W. Hargett St. Suite 601, Raleigh, NC 27601

Project Manual

N/A

Drawings

Revision No. 001 City of Raleigh Comment Responses (Entire bid set issued to the City of Raleigh)

Responses to Contractor Questions

1. Can you verify if the electrical raceways can be surface mounted to the CMU and if EMT or Wiremold is required?
 - a. The conduit can be surface mounted and wire mold can be used on the existing CMU walls. Note on E100 calls for outlets and conduit to be surface mounted on the existing masonry walls.

2. Reference E6/A401 – Is the new glass ¼” clear tempered?
 - a. Correct, clear tempered.
3. Reference A700 – Glass G2 High Impact Safety Glass...Do they mean ¼” laminated glass?
 - a. The specification section 088000 (Glazing) notes G2 Alternate No. 01 is Impact-resistant ballistic level 2 (clear) and has a thickness of 1.03”.
4. At the prebid, it was mentioned that the logistics plan indicated some temp fencing around our staging area. Is the dashed line below intended to represent this?
 - a. Correct, the dashed line notes the proposed fencing. It is up to the contractor’s discretion to price the amount and type of fencing required to secure project materials and the dumpster.
5. I raised the question of the contingency line item on the bid form and understood the response to be that it was to be included in the bid amount, and merely broken out for information purposes on the bid form. The language used in the addendum is a little less definitive.
 - a. Please separate the contingency amount on the bid form from the base bid as requested on the bid form as noted in specification section 004113-2 Bid Proposal Form “Total Bid Proposal (Base Bid+10% Owner’s Contingency)
6. Demo plan D100, Demolition Plan Key Note #2 and Plumbing Plan P100, Plumbing Key Notes do not reflect the same thing. Demolition Note states to remove the toilets “carefully” and reinstalled. This is not stated on the Plumbing Key notes. Need clarification for Plumbing proposal.
 - 1) Does this work fall on the GC or Plumbing Contractor?
 - a. This work falls under the General Contractor.
 - 2) If plumbing, a) Do the sinks and urinal in the restrooms need to come off the wall as well?
 - b) What types of toilets are they (wall hung (brand name) or floor mounted?
 - a. The toilets are wall hung, Refer to Revision No. 001 City of Raleigh Comments Sheet, note “6” P1100 note “General contractor to remove existing plumbing fixture for new wall, floor, or casework finishes and reconnect to existing waste, water, and vent piping as required after finishes are completed.” This note refers to sinks and toilets.

END OF ADDENDUM

Attachments:

City of Raleigh Response comments and drawing sheets

REVIEW COMMENTS & RESPONSES

Project Name:	Peach Road Renovation BLDNR-054620-2023
Owner:	City of Raleigh
Owner ID No.:	274-PR-PEACH 2023
DKA Project No.:	2319
Project Phase	Permitting
To:	City of Raleigh
ATT:	Glenn Scoggins City of Raleigh
CC:	Atlantec, Davis Kane Architects, City of Raleigh

Please inform the Architect if any statement herein is inconsistent with your own notes or recollections.

CSC Comments:

1. The non-residential permit application will be sent via email to jenna.hurley@raleighnc.gov by Wednesday, December 6th, 2023.

Architectural Comments:

1. Question: Occupancy calculations are incorrect any room labeled "multipurpose" must be calculated at 1 per 5 sf and meet the requirements of that load. If you want to continue at 1/15 rename rooms and show seating layout.
 - a. Response: Multipurpose rooms will use tables and chairs as shown as noted in revision no. 001. Each room will install a sign posted with the maximum number of people per room. Refer to sheet G004 for the updated life-safety plan and sheet A700 for the limited occupancy sign.
 - i. Activity Room C - Maximum occupancy 27.
 - ii. Activity Room B - Maximum occupancy 21.
 - iii. Activity Room B - Maximum occupancy 52.

Electrical Comments

1. Question: Review comments by other trades and revise the electrical drawings if required.
 - a. Response: We will coordinate with other trades.
2. Question: Is the existing 400A MCB in Panel A 100% rated? A 395A demand load is currently shown on it [NEC 210.20 (A)].
 - a. Response: "The total demand load is not continuous" was added to the panel on sheet E200.
3. Question: Provide a typed transmittal response letter addressing all comments, identifying how they were addressed, and stating what sheet the corrections are located on. Cloud all revisions on the plans.
 - a. Response: All comment responses are included in the review comment response letter, referencing updated drawing sheets.

END OF COMMENT RESPONSES

Attachments: Revised drawing set with revisions.

PEACH ROAD CENTER RENOVATION

RALEIGH, NC

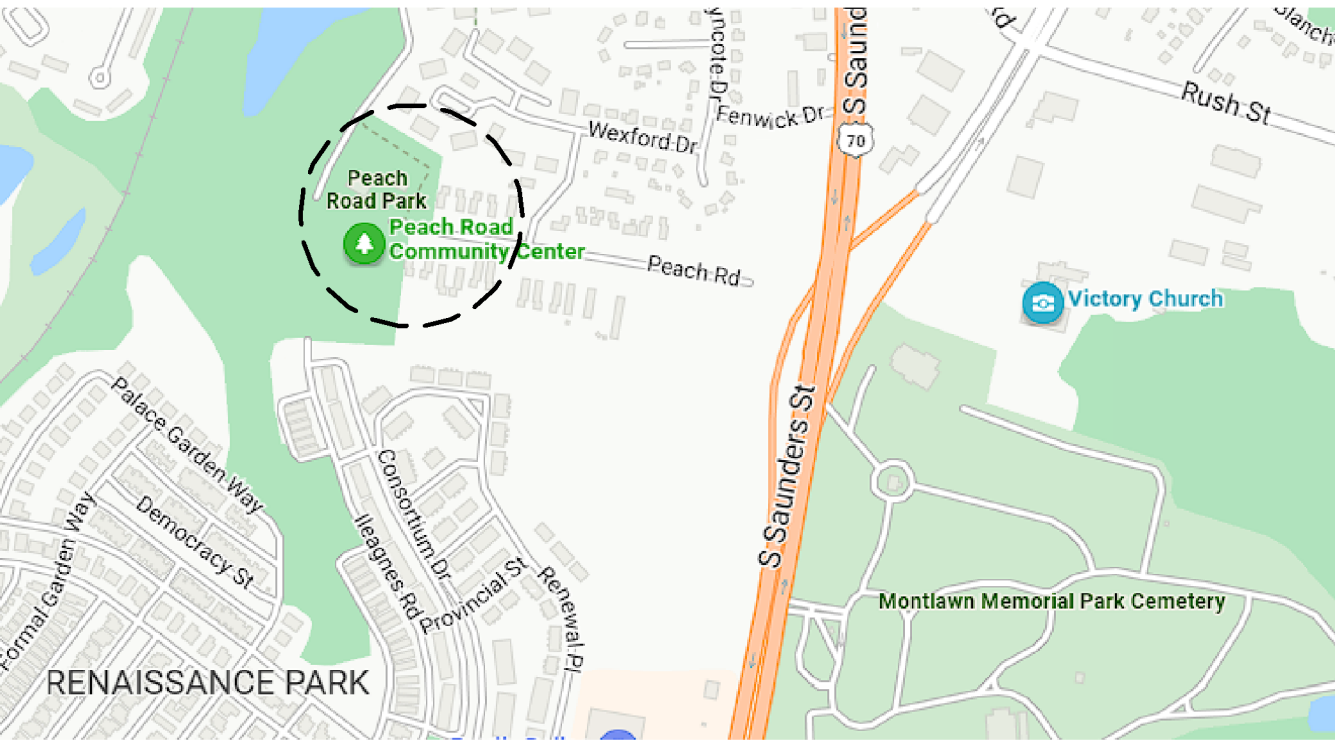
911 Ileagnes Rd. Raleigh, NC 27603

COR ID: 274-PR-PEACH 2023

DRAWING INDEX

Title	
G001	COVER SHEET
G002	CODE SUMMARY
G003	CODE SUMMARY
G004	LIFE SAFETY PLAN
G005	LOGISTICS PLAN
Demolition	
D100	DEMOLITION PLANS & DETAILS
Architecture	
A001	GENERAL NOTES AND LEGENDS
A100	RENOVATION PLANS
A400	ENLARGED PLANS AND INTERIOR ELEVATIONS
A401	ENLARGED PLANS AND INTERIOR ELEVATIONS
A600	CASEWORK DETAILS
A601	CASEWORK DETAILS
A602	CASEWORK DETAILS
A700	DOOR SCHEDULE & DETAILS
Interior	
I100	FINISH PLANS, SCHEDULES & DETAILS
Plumbing	
P100	PLUMBING PLAN
P200	PLUMBING FIXTURE SCHEDULE AND DETAILS
Mechanical	
M100	MECHANICAL PLAN
Electrical	
E100	ELECTRICAL PLAN
E200	ELECTRICAL NOTES, LEGEND, RISER SCHEDULE

VICINITY MAP



DESIGN TEAM

OWNER:

CITY OF RALEIGH
RALEIGH, NC
CONTACT: LAUREN REID
919-996-4797
LAUREN.REID@RALEIGHNC.GOV

ARCHITECT:

DAVIS KANE ARCHITECTS, P.A.
RALEIGH, NC
CONTACT: JIMMY EDWARDS
919-719-2802
JEDWARDS@DAVISKANE.COM

PME/FA ENGINEER:

ATLANTEC ENGINEERS, PA
RALEIGH, NC
CONTACT: J. HARRISON HOLT
919-855-2032
HARRISON@ATLANTECENGINEERS.COM



ABBREVIATIONS

@	AT	CONST	CONSTRUCTION	FLUOR	FLUORESCENT	MATL	MATERIAL	R	RADIUS	TOS	TOP OF STEEL
AB	ANCHOR BOLT	CONT	CONTINUOUS	FND	FOUNDATION	MAX	MAXIMUM	RA	RETURN AIR	TYP	TYPICAL
ACCESS	ACCESSORY	CPT	CARPET	FOC	FACE OF CONCRETE	MBL	MARBLE	RB	RUBBER BASE	TZ	TERRAZZO
ACT	ACOUSTIC(AL) CEILING TILE	CR	CARD READER	FOM	FACE OF MASONRY	MECH	MECHANICAL	RCP	REFLECTED CEILING PLAN	UON	UNLESS OTHERWISE NOTED
ADJ	ADJACENT	CSK	COUNTER SUNK	FRP	GLASS FIBER REINFORCED PLASTIC PANELS	MEMB	MEMBRANE	RD	ROOF DRAIN	UTIL	UTILIT(IES)(Y)
AFF	ABOVE FINISHED FLOOR	CT	CERAMIC TILE			MFR	MANUFACTURER	RDL	ROOF DRAIN LEADER	VB	VINYL BASE
ALT	ALTERNATE	DEPT	DEPARTMENT	FRT	FIRE-RETARDANT-TREATED	MIN	MINIMUM	REBAR	STEEL REINFORCING BAR	VCT	VINYL COMPOSITE TILE
ALUM	ALUMINUM	DET	DETAIL			MISC	MISCELLANEOUS	REF	REFER(ENCE)	VERT	VERTICAL(LY)
ANOD	ANODIZED	DIA	DIAMETER	FTG	FOOTING	MO	MASONRY OPENING	REINF	REINFORCE(D)(ING)(MENT)	VIF	VERIFY IN FIELD
APPROX	APPROXIMATE	DIM	DIMENSION	GA	GAUGE	MTL	METAL			W/	WITH
ARCH	ARCHITECTUR(AL)	DS	DOWN SPOUT	GALV	GALVANIZED	NA	NOT APPLICABLE	REQD	REQUIRED	W/O	WITHOUT
AV	AUDIO VISUAL	DWG	DRAWING	GC	GENERAL CONTRACT(OR)	NIC	NOT IN CONTRACT	REV	REVISION(S) REVISED	WC	WATER CLOSET
BD	BOARD	EA	EACH	GFRC	GLASS FIBER REINFORCED CONCRETE	NOM	NOMINAL	RM	ROOM	WD	WOOD
BEJ	BUILDING EXPANSION JOINT	EJ	EXPANSION JOINT			NTS	NOT TO SCALE	SC	SOLID CORE	WG	WIRED GLASS
BFF	BELOW FINISHED FLOOR	EJC	EXPANSION JOINT COVER	GL	GLASS	O/O	OWNER PROVIDED, OWNER INSTALLED	SECT	SECTION	WSCT	WAINSCOT
BID	BID	EL	ELEVATION	GLZ	GLAZING	OC	ON CENTER	SF	SQUARE FEET (FOOT)	WWF	WELDED WIRE FABRIC
BLDG	BUILDING	ELEC	ELECTRIC(AL)	GWB	GYPSUM WALL BOARD	OD	OUTSIDE DIAMETER	SFRM	SPRAYED FIRE-RESISTIVE MATERIAL	WWM	WELDED WIRE MESH
BLKG	BLOCKING	ELEV	ELEVATOR	GYP BD	GYPSUM BOARD	OF	OUTSIDE FACE				
BOD	BOTTOM OF DECK	EQ	EQUAL	HB	HOSE BIBB	OH	OVERHANG	SHT	SHEET		
BOT	BOTTOM	EQUIP	EQUIPMENT	HD	HEAVY DUTY	OHD	OVER HEAD	SIM	SIMILAR		
BRG	BEARING	ETR	EXISTING TO REMAIN	HDWR	HARDWARE	OPCI	OWNER PROVIDED CONTRACTOR INSTALLED	SLSF	SOLID SURFACE		
BSMT	BASEMENT	EWC	ELECTRIC WATER COOLER	HM	HOLLOW METAL			SPEC	SPECIFICATION(S)		
CI	CAST IRON	EXIST	EXISTING	HORIZ	HORIZONTAL	OPNG	OPENING(S)	SPKLR	SPRINKLER		
CJ	CONTROL JOINT	EXP	EXPOSED	HT	HEIGHT	OPP	OPPOSITE	SQ IN	SQUARE INCH(ES)		
CL	CENTER LINE	EXT	EXTERIOR	ID	INSIDE DIAMETER	PLAM	PLASTIC LAMINATE	SS	STAINLESS STEEL		
CLG	CEILING	EXTG	EXISTING	IF	INSIDE FACE	PLYWD	PLYWOOD	ST	SIGN TYPE		
CLOS	CLOSET	FACT	FACTORY FINISH	INSUL	INSULATION	PNT	PAINT(ED)	STD	STANDARD		
CLR	CLEAR	FCO	FLOOR CLEAN OUT	INT	INTERIOR	PROP	PROPERTY	STL	STEEL		
CLSM	CLASSROOM	FD	FLOOR DRAIN	KLP	KICKPLATE	PSF	POUNDS / SQUARE FOOT	STOR	STORAGE		
CM	CONSTRUCTION MANAGER	FE	FIRE EXTINGUISHER	LAB	LABORATORY	PSI	POUNDS / SQUARE INCH	STRFR	STOREFRONT		
CMU	CONCRETE MASONRY UNIT	FF&E	FURNITURE, FIXTURES & EQUIPMENT	LAM	LAMINATE	PT	PRESERVATIVE-TREATED	STRUCT	STRUCTURE		
CO	CLEAN OUT	FFE	FINISHED FLOOR ELEVATION	LAV	LAVATORY	PTN	PARTITION	SUSP	SUSPENDED		
COL	COLUMN	FIN	FINISH	LIN	LINOLEUM	PVC	POLYVINYL CHLORIDE	SYS	SYSTEM(S)		
CONC	CONCRETE	FLR	FLOOR	LVR	LOUVER	QT	QUARRY TILE	TEL	TELEPHONE		
				LVT	LUXURY VINYL TILE	QTY	QUANTITY	THRES	THRESHOLD		
				MAS	MASONRY			TOM	TOP OF MASONRY		

SCHEDULE OF ALTERNATES

ALTERNATE A-1: PROVIDE AN INSULATED HOLLOW METAL DOOR AND FRAME WITH A VISION LITE AND HARDWARE IN EXISTING DOOR OPENING IN MULTI-PURPOSE ROOM A AS INDICATED ON SHEETS A100 & A700.



PROJECT INFORMATION

PEACH ROAD
CENTER
RENOVATION
CITY OF RALEIGH
COR ID: 274-PR-PEACH 2023
911 Ileagnes Rd.
Raleigh, NC 27603

SEALS



DKA JOB NUMBER

2319

REVISIONS

These drawings are the property of Davis Kane Architects, P.A. They may not be reused for any purpose without written permission.
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PA: _____ JT
PM: _____ BG
Drawn By: _____
Plot Date: 11/30/2023 10:55:04 AM

DATE ISSUED

PERMIT SET
10/30/2023

SHEET TITLE

COVER SHEET

G001

APPENDIX B
2018 BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2 FAMILY DWELLINGS AND TOWNHOUSES)

NAME OF PROJECT: City of Raleigh Peach Road Renovation
ADDRESS: 911 ILEAGNES ROAD ZIP CODE: 27603
OWNER/AUTHORIZED AGENT: Lauren Reid PHONE #: 919-996-4797
E-MAIL: lauren.reid@raleighnc.gov
OWNED BY: ☒ CITY/COUNTY ☐ PRIVATE ☐ STATE
CODE ENFORCEMENT JURISDICTION: ☒ CITY ☐ COUNTY ☐ STATE
NAME OF JURISDICTION: City of Raleigh

CONTACT: JIMMY EDWARDS, ARCHITECT

DESIGNER	FIRM	NAME	LIC. #	PHONE #	EMAIL
ARCHITECTURAL	Davis Kane Architects	Jimmy Edwards,AIA	13823	(919) 833-3737	jedwards@daviskane.com
CIVIL	-	-	-	-	-
LANDSCAPE	-	-	-	-	-
ELECTRICAL	Atlantec Engineers, PE	David J. Whitney, PE	17382	919-571-1111	david@atlantecengineers.com
FIRE ALARM	-	-	-	-	-
PLUMBING	Atlantec Engineers, PE	J. Harrison Holt, PE	049754	919-855-2032	harrison@atlantecengineers.com
MECHANICAL	Atlantec Engineers, PE	J. Harrison Holt, PE	049754	919-855-2032	harrison@atlantecengineers.com
SPRINKLER / STANDPIPE	-	-	-	-	-
STRUCTURAL	-	-	-	-	-
RETAINING WALLS >5' HIGH	-	-	-	-	-
OTHER	-	-	-	-	-
OTHER	-	-	-	-	-

YEAR EDITION OF CODE:

2018 NC BUILDING CODE: ☐ NEW BUILDING ☐ SHELL / CORE ☐ 1ST TIME INTERIOR COMPLETIONS
☐ ADDITION ☐ PHASED CONSTRUCTION - SHELL CORE
2018 NC EXISTING BUILDING CODE: ☐ PRESCRIPTIVE ☐ ALTERATION LEVEL I ☐ HISTORIC PROPERTY
(CHECK ALL THAT APPLY) ☐ REPAIR ☒ ALTERATION LEVEL II ☐ CHANGE OF USE
☐ CHAPTER 14 ☐ ALTERATION LEVEL III

CONSTRUCTED (DATE): 2002 CURRENT OCCUPANCY(S) (CH. 3): Assembly A-3
RENOVATED (DATE): PROPOSED OCCUPANCY(S) (CH. 3): Assembly A-3
OCCUPANCY CATEGORY (TABLE 1604.5): CURRENT: A-3 PROPOSED: A-3
RISK CATEGORY (TABLE 1604.5) Current: ☐ I ☒ II ☐ III ☐ IV
Proposed: ☐ I ☒ II ☐ III ☐ IV

BASIC BUILDING DATA:

CONSTRUCTION TYPE: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
(CHECK ALL THAT APPLY) ☐ I-B ☐ II-B ☒ III-B ☐ V-B
SPRINKLERS: ☒ NO ☐ PARTIAL ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
STANDPIPES: ☒ NO ☐ CLASS - I ☐ CLASS - II ☐ CLASS - III ☐ WET ☐ DRY
PRIMARY FIRE DISTRICT: ☐ NO ☒ YES
FLOOR HAZARD AREA: ☒ NO ☐ YES
SPECIAL INSPECTIONS REQUIRED: ☒ NO ☐ YES

GROSS BUILDING AREA:

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4TH FLOOR	-	-	-
3RD FLOOR	-	-	-
2ND FLOOR	-	-	-
1ST FLOOR	3,467	-	3,467
TOTAL:	3,467	-	3,467

ALLOWABLE AREA

PRIMARY OCCUPANCY CLASSIFICATION(S):
ASSEMBLY: ☐ A-1 ☐ A-2 ☒ A-3 ☐ A-4 ☐ A-5
BUSINESS: ☐
EDUCATIONAL: ☐
FACTORY: ☐ F-1 MODERATE ☐ F-2 LOW
HAZARDOUS: ☐ H-1 DETONATE ☐ H-2 DEFLAGATE ☐ H-3 COMBUST ☐ H-4 HEALTH ☐ H-5 HPM
INSTITUTIONAL: ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
I-1 CONDITION ☐ 1 ☐ 2
I-2 CONDITION ☐ 1 ☐ 2
I-3 CONDITION ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
MERCANTILE: ☐
RESIDENTIAL: ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
STORAGE: ☐ S-1 MODERATE ☐ S-2 LOW ☐ HIGH-PILED ☐ ENCLOSED ☐ OPEN
☐ PARKING GARAGE ☐ REPAIR GARAGE
UTILITY AND MISC: ☐

ACCESSORY OCCUPANCY CLASSIFICATION(S): -
INCIDENTAL USES (TABLE 509): -
THIS SEPARATION IS NOT EXEMPT AS A NON-SEPARATED USE (SEE EXCEPTIONS).
SPECIAL USES (CHAPTER 4 - LIST CODE SECTIONS): -
SPECIAL PROVISIONS (CHAPTER 5 - LIST CODE SECTIONS): -
MIXED OCCUPANCY: NO SEPARATION: - EXCEPTION: -

ACTUAL AREA OF OCCUPANCY A ALLOWABLE AREA OF OCCUPANCY A		+ ACTUAL AREA OF OCCUPANCY B ALLOWABLE AREA OF OCCUPANCY B		≤ 1	
+ +		+ +		= ≤ 1	
STORY NO.	DESCRIPTION AND USE	(A) BUILDING AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ¹ AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ²
1	ASSEMBLY A-3	3,467	9,500	-	9,500
-	-	-	-	-	-
-	-	-	-	-	-

1 - Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (F/P)
d. Minimum Width of Public Way = _____ (W)
e. Percentage of frontage increase [If = 100(F/P - 0.25) x W/30] = _____ (%)
2 - Unlimited area applicable under conditions of Section 507.
3 - Maximum Building Area = total number of stories in the building x D (506.2)
4 - The maximum area of open parking garages must comply with 406.5.4. The maximum area of traffic control towers must comply with Table 412.3.1.
5 - Frontage increase is based on the un sprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
BUILDING HEIGHT IN FEET	55'-0"	19'-0"	504.3
BUILDING HEIGHT IN STORIES	2	1	504.4

1 Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS (EXISTING - NO CHANGE)

BUILDING ELEMENT	FIRE SEPAR DISTANCE (FEET)	REQ.	RATING PROVIDED (w/____*Reduction)	DETAIL # AND SHEET	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
STRUCTURAL FRAME (INCLUDING COLUMNS, GIRDERS, TRUSSES)	-	0	0	-	-	-	-
BEARING WALLS	-	-	-	-	-	-	-
EXTERIOR NORTH	>30'	2	2	EXISTING	-	-	-
EXTERIOR EAST	>30'	2	2	EXISTING	-	-	-
EXTERIOR WEST	>30'	2	2	EXISTING	-	-	-
EXTERIOR SOUTH	>30'	2	2	EXISTING	-	-	-
INTERIOR	-	2	2	EXISTING	-	-	-
NONBEARING WALLS AND PARTITIONS	-	0	0	-	-	-	-
EXTERIOR NORTH	>30'	0	0	-	-	-	-
EXTERIOR EAST	>30'	0	0	-	-	-	-
EXTERIOR WEST	>30'	0	0	-	-	-	-
EXTERIOR SOUTH	>30'	0	0	-	-	-	-
INTERIOR WALLS AND PARTITIONS	-	0	0	-	-	-	-
FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)	-	0	0	-	-	-	-
FLOOR CEILING ASSEMBLY	-	-	-	-	-	-	-
COLUMNS SUPPORTING FLOORS	-	-	-	-	-	-	-
ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)	-	0	0	-	-	-	-
ROOF CEILING ASSEMBLY	-	-	-	-	-	-	-
COLUMNS SUPPORTING ROOF	-	-	-	-	-	-	-
SHAFT ENCLOSURES - EXIT	-	-	-	-	-	-	-
SHAFT ENCLOSURES - OTHER	-	-	-	-	-	-	-
CORRIDOR SEPARATION	-	-	-	-	-	-	-
OCCUPANCY / FIRE BARRIER SEPARATION	-	-	-	-	-	-	-
PARTY / FIRE WALL SEPARATION	-	-	-	-	-	-	-
SMOKE BARRIER SEPARATION	-	-	-	-	-	-	-
SMOKE PARTITION	-	-	-	-	-	-	-
TENANT / DWELLING UNIT / SLEEPING UNIT SEPARATION	-	-	-	-	-	-	-
INCIDENTAL USE SEPARATION	-	-	-	-	-	-	-

*Indicate section number permitting reduction

PERCENT OF WALL OPENING CALCULATIONS (EXISTING NO CHANGE)

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
30 OR GREATER	UNPROTECTED NS	NO LIMIT	2%
-	-	-	-
-	-	-	-

LIFE SAFETY SYSTEM REQUIREMENTS

EMERGENCY LIGHTING: ☐ NO ☒ YES
EXIT SIGNS: ☐ NO ☒ YES
FIRE ALARM: ☐ NO ☒ YES
SMOKE DETECTION SYSTEMS: ☐ NO ☒ YES
CARBON MONOXIDE DETECTION: ☒ NO ☐ YES

LIFE SAFETY PLAN REQUIREMENTS

LIFE SAFETY PLAN SHEET: G004 - LIFE SAFETY PLAN
☒ FIRE AND / OR SMOKE RATED WALL LOCATIONS (CHAPTER 7)
☐ ASSUMED AND REAL PROPERTY LINE LOCATIONS (IF NOT ON THE SITE PLAN)
☒ EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8)
☒ OCCUPANCY USE FOR EACH AREA AS IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.2)
☒ OCCUPANT LOADS FOR EACH AREA
☒ EXIT ACCESS TRAVEL DISTANCES (1017)
☒ COMMON PATH OF TRAVEL DISTANCES (1006.2.1 & 1006.3.2(1))
☒ DEAD END LENGTHS (1020.4) NA
☒ CLEAR EXIT WIDTHS FOR EACH EXIT DOOR
☒ MAXIMUM CALCULATED OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMODATE BASED ON EGRESS WIDTH (1005.3)
☒ ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR
☐ A SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR / CEILING AND / OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION
☒ LOCATION OF DOORS WITH PANIC HARDWARE (1010.1.10)
☐ LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND THE AMOUNT OF DELAY (1010.1.9.7)
☐ LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1010.1.9.9)
☐ LOCATION OF DOORS EQUIPPED WITH HOLD-OPEN DEVICES
☐ LOCATION OF EMERGENCY ESCAPE WINDOWS (1030)
☒ THE SQUARE FOOTAGE OF EACH FIRE AREA (202)
☐ THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT FOR OCCUPANCY CLASSIFICATION I-2 (407.4)
☐ NOTE ANY CODE EXCEPTION OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE.

ACCESSIBLE DWELLING UNITS (SECTION 1107) N/A

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
-	-	-	-	-	-	-	-

ACCESSIBLE PARKING (SECTION 1106) (EXISTING - NO CHANGE)

LOT OR AREA PARKING	TOTAL # OF PARKING SPACES		TOTAL # OF PARKING SPACES			TOTAL ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESSIBLE ISLE	VAN SPACE WITH 132" ACCESSIBLE AISLE	8' ACCESSIBLE AISLE	
-	NO MAX	18	-	-	1	2
-	-	-	-	-	-	-
TOTAL	NO MAX	18	-	-	1	2

PLUMING FIXTURE REQUIREMENTS (TABLE 2902.1) (EXISTING - NO CHANGE)

USE	WATER CLOSETS		URINALS	LAVATORIES		SHOWERS / TUBS	DRINKING FOUNTAINS	
	MALE	FEMALE		MALE	FEMALE		REGULAR	ACCESSIBLE
SPACE EXISTING	2	4	1	2	2	-	1	1
NEW	-	-	-	-	-	-	-	-
REQUIRED	1	1	-	1	1	-	1	1

*PER 2018 NCBC 2902.2.1, SEPARATE FACILITIES ARE NOT REQUIRED FOR DWELLING AND SLEEPING UNITS.

SPECIAL APPROVALS

SPECIAL APPROVAL REQUIRED: ☐ NO ☐ YES
☒ LOCAL JURISDICTION ☐ OSC ☐ DHHS
☐ DEPARTMENT OF INSURANCE ☐ DPI ☐ OTHER: N/A
DESCRIPTION: CITY OF RALEIGH



DAVIS KANE
ARCHITECTS, P.A.

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PROJECT INFORMATION

PEACH ROAD

CENTER

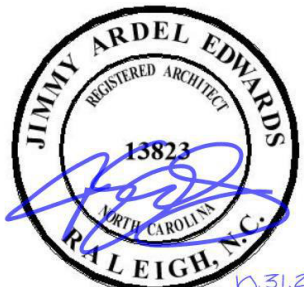
RENOVATION

CITY OF RALEIGH

COR ID: 274-PR-PEACH 2023

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SHEET TITLE
CODE SUMMARY

G002

APPENDIX B
2018 BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2 FAMILY DWELLINGS AND TOWNHOUSES)

ENERGY SUMMARY

EXISTING NO CHANGE

ENERGY REQUIREMENTS:
THE FOLLOWING DATA SHALL BE CONSIDERED MINIMUM AND ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE ENERGY CODE SHALL ALSO BE PROVIDED. EACH DESIGNER SHALL FURNISH THE REQUIRED PORTIONS OF THE PROJECT INFORMATION FOR THE PLAN DATA SHEET. IF PERFORMANCE METHOD, STATE THE ANNUAL ENERGY COST FOR THE STANDARD REFERENCE DESIGN VS ANNUAL ENERGY COST FOR THE PROPOSED DESIGN.

EXISTING BUILDING ENVELOPE COMPLIES WITH CODE: EXISTING BUILDING CODE 811.1

EXEMPT BUILDING (PROVIDE CODE OR STATUTORY REFERENCE): -

CLIMATE ZONE: ☐ 3A ☐ 4A ☐ 5A

METHOD OF COMPLIANCE: Energy Code: ☐ Prescriptive ☐ Performance
ASHRAE 90.1: ☐ Prescriptive ☐ Performance

(IF "OTHER", SPECIFY SOURCE HERE) -

THERMAL ENVELOPE (PRESCRIPTIVE METHOD ONLY) Architectural Asphalt Shingles or Standing Seam Metal Roof

ROOF / CEILING ASSEMBLY (EACH ASSEMBLY) with Air Gap and Underlayment, over 1/2" glass-mat sheathing, over 5" Polyiso Insulation, over Thermal Barrier on Metal Deck, over Cold Formed Metal Trusses

DESCRIPTION OF ASSEMBLY: _____

U-VALUE OF TOTAL ASSEMBLY: _____

R-VALUE OF INSULATION: _____

SKYLIGHTS IN EACH ASSEMBLY: _____

U-VALUE OF SKYLIGHT: _____

TOTAL SQUARE FOOTAGE OF SKYLIGHTS IN EACH ASSEMBLY: _____

EXTERIOR WALLS (EACH ASSEMBLY) _____

DESCRIPTION OF ASSEMBLY: _____

U-VALUE OF TOTAL ASSEMBLY: _____

R-VALUE OF INSULATION: _____

OPENINGS (WINDOWS OR DOORS WITH GLAZING)

U-VALUE OF ASSEMBLY: _____

SOLAR HEAT GAIN COEFFICIENT: _____

PROJECTION FACTOR: _____

DOOR R-VALUES: _____

WALLS BELOW GRADE (EACH ASSEMBLY)

DESCRIPTION OF ASSEMBLY: _____

U-VALUE OF TOTAL ASSEMBLY: _____

R-VALUE OF INSULATION: _____

FLOORS OVER UNCONDITIONED SPACE (EACH ASSEMBLY)

DESCRIPTION OF ASSEMBLY: _____

U-VALUE OF TOTAL ASSEMBLY: _____

R-VALUE OF INSULATION: _____

FLOORS SLAB ON GRADE

DESCRIPTION OF ASSEMBLY: _____

U-VALUE OF TOTAL ASSEMBLY: _____

R-VALUE OF INSULATION: _____

HORIZONTAL / VERTICAL REQUIREMENT: _____

SLAB HEATED: _____

STRUCTURAL DESIGN SUMMARY

EXISTING NO CHANGE

DESIGN LOADS

IMPORTANCE FACTORS

SNOW (ls): _____

SEISMIC (ls): _____

LIVE LOADS

ROOF (PSF): _____

MEZZANINE (PSF): _____

FLOOR (PSF): _____

GROUND SNOW LOAD (PSF): _____

WIND LOAD

BASIC WIND SPEED (MPH) (ASCE-7): _____

EXPOSURE CATEGORY: _____

SEISMIC DESIGN CATEGORY:
PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS

RISK CATEGORY (TABLE 1604.5): ☐ I ☐ II ☐ III ☐ IV

SPECTRAL RESPONSE ACCELERATION:

S_s _____ %g

S₁ _____ %g

SITE CLASSIFICATION (ASCE 7): ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F

DATA SOURCE: ☐ Field Test ☐ Presumptive ☐ Historical Data

BASIC STRUCTURAL SYSTEM: ☐ Bearing Wall ☐ Dual w/ Special Moment Frame

☐ Building Frame ☐ Dual w/ Intermediate R/C or Special Steel

☐ Moment Frame ☐ Inverted Pendulum

ANALYSIS PROCEDURE: ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic

ARCHITECTURAL, MECHANICAL, COMPONENTS ANCHORED? ☐ Yes ☐ No

LATERAL DESIGN CONTROL: ☐ Earthquake ☐ Wind

SOIL BEARING CAPACITIES (PSF): _____

Field Test (psf) _____

Presumptive Bearing Capacity (psf) _____

Pile Size, Type and Capacity _____

MECHANICAL DESIGN SUMMARY

REFER TO SHEET M100

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

THERMAL ZONE 3A

WINTER DRY BULB: _____

SUMMER DRY BULB: _____

INTERIOR DESIGN CONDITIONS

WINTER DRY BULB: _____

SUMMER DRY BULB: _____

RELATIVE HUMIDITY: _____

BUILDING HEATING LOAD: _____

BUILDING COOLING LOAD: _____

MECHANICAL SPACING CONDITIONING SYSTEM

UNITARY

DESCRIPTION OF UNIT: _____

HEATING EFFICIENCY: _____

COOLING EFFICIENCY: _____

SIZE CATEGORY OF UNIT: _____

BOILER

SIZE CATEGORY: IF OVERSIZED, STATE REASON: _____

CHILLER

SIZE CATEGORY: IF OVERSIZED, STATE REASON: _____

LIST EQUIPMENT EFFICIENCIES: _____

ELECTRICAL DESIGN SUMMARY

ELECTRICAL SYSTEMS AND EQUIPMENT

METHOD OF COMPLIANCE: Energy Code: ☐ Prescriptive ☐ Performance
ASHRAE 90.1: ☐ Prescriptive ☐ Performance

LIGHTING SCHEDULE

LAMP TYPE REQUIRED IN FIXTURE _____

NUMBER OF LAMPS IN THE FIXTURE _____

BALLAST TYPE USED IN THE FIXTURE _____

NUMBER OF BALLASTS IN THE FIXTURE _____

TOTAL WATTAGE PER FIXTURE _____

ADDITIONAL EFFICIENCY PACKAGE OPTIONS
(WHEN USING THE 2018 NCECC; NOT REQUIRED FOR ASHRAE 90.1)

☐ C406.2 MORE EFFICIENT HVAC EQUIPMENT PERFORMANCE

☐ C406.3 REDUCED LIGHTING POWER DENSITY

☐ C406.4 ENHANCED DIGITAL LIGHTING CONTROLS

☐ C406.5 ON-SITE RENEWABLE ENERGY

☐ C406.6 DEDICATED OUTDOOR AIR SYSTEM

☐ C406.7 REDUCED ENERGY USE IN SERVICE WATER HEATING

PROJECT INFORMATION

PEACH ROAD
CENTER
RENOVATION
CITY OF RALEIGH
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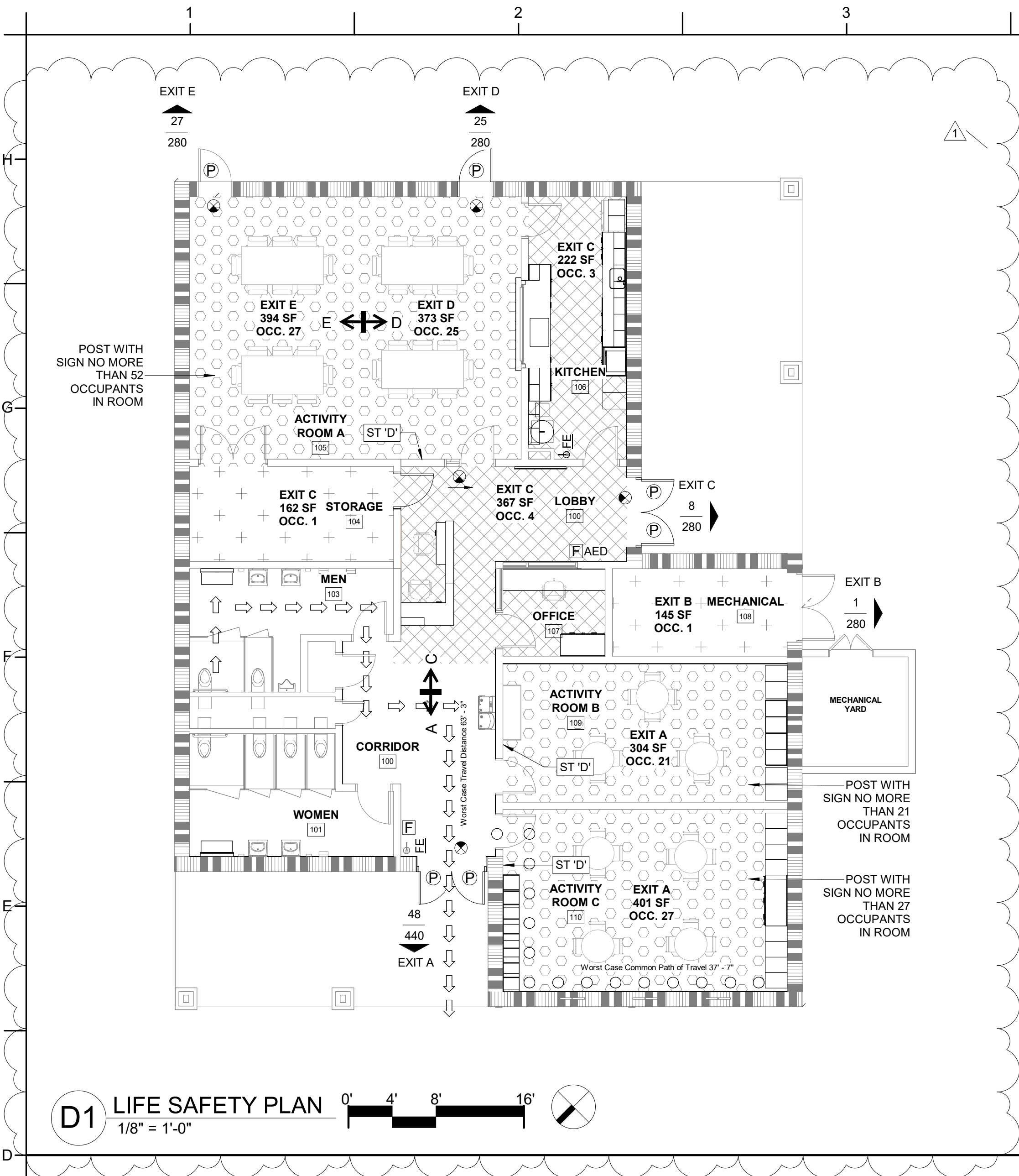
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SHEET TITLE
CODE SUMMARY

G003



LIFE SAFETY GENERAL NOTES:

1. REFER TO SHEET G002 & G003 FOR CODE SUMMARY.
2. BUILDING WILL BE UNOCCUPIED DURING CONSTRUCTION.
3. CLASSROOMS A,B & C SHALL HAVE LIMITED OCCUPANCY SIGNAGE. SEE SHEET I100 FOR SIGNAGE LOCATION & A700 FOR SIGNAGE ELEVATION.

RATED ASSEMBLIES LEGEND:

EXISTING 2-HR RATED FIRE BARRIER

LIFE SAFETY OCCUPANCY KEY

- ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM (300 SF/OCC. GROSS)
- BUSINESS AREAS (100 SF/OCC. GROSS)
- ASSEMBLY UNCONCENTRATED (15 SF/OCC. NET)

TOTAL BUILDING OCCUPANCY: 113 OCCUPANTS

LIFE SAFETY SYMBOL LEGEND

- DENOTES EXIT DIRECTION ARROW, TYP.
- INDICATES EXIT POPULATION
- INDICATES EXIT CAPACITY (POPULATION)
- DENOTES EXIT ACCESS
- LOCATION WHERE TRAVEL DISTANCE TO 2 EXITS IS EQUIDISTANT
- WORST-CASE TRAVEL DISTANCE
- WORST CASE COMMON PATH OF TRAVEL
- INDICATES PULL STATION
- INDICATES FIRE EXTINGUISHER
- INDICATES HOLD OPEN
- INDICATES PANIC HARDWARE
- EXIT AREA OCCUPANCY CAPACITY
- EXIT LIGHT FIXTURE
- EXIT DIRECTIONAL ARROW
- SIGN TYPE "D" (MAX OCCUPANCY SIGN)

PROJECT INFORMATION

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SHEET TITLE

LIFE SAFETY PLAN

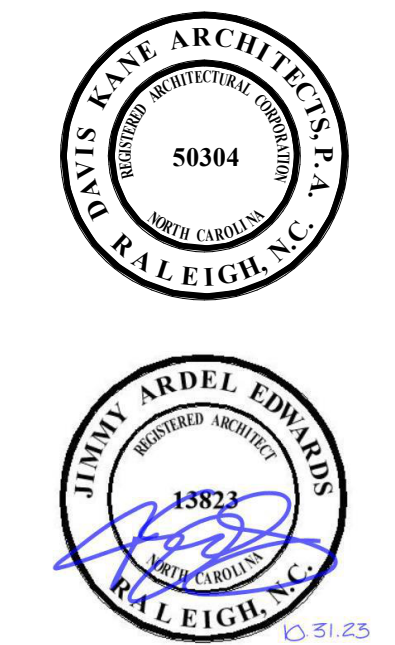
G004



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SHEET TITLE
LOGISTICS PLAN

G005

GENERAL SYMBOL LEGEND

<p>COLUMN GRID</p> <p>EXISTING COLUMN GRID</p> <p>NEW COLUMN GRID</p>	<p>WALLS</p> <p>EXISTING WALL OR PARTITION</p> <p>NEW WALL OR PARTITION</p> <p>PARTITION TYPE</p> <p>*REFER TO INTERIOR PARTITION LEGEND</p>
<p>ENLARGED DRAWING REFERENCE</p> <p>DRAWING NUMBER</p> <p>SHEET NUMBER</p>	<p>WINDOW TYPE</p> <p>ALIGN FACES OF DESIGNATED SURFACES</p>
<p>BUILDING / WALL SECTION CUT REFERENCE</p> <p>DRAWING NUMBER</p> <p>SHEET NUMBER</p>	<p>DOOR / DOOR NUMBER</p> <p>DOOR NUMBER</p>
<p>EXTERIOR ELEVATION REFERENCE</p> <p>DRAWING NUMBER</p> <p>SHEET NUMBER</p>	<p>REVISION REFERENCE</p> <p>REVISION NUMBER</p>
<p>INTERIOR ELEVATION REFERENCE</p> <p>DRAWING NUMBER</p> <p>SHEET NUMBER</p>	<p>NORTH ARROW</p> <p>INDICATES TRUE NORTH DIRECTION</p>
<p>ROOM TAG</p> <p>Room name</p> <p>ROOM NAME</p> <p>ROOM NUMBER</p>	<p>FURNITURE, FIXTURES, & EQUIPMENT KEY</p>
<p>CONTROL JOINT</p> <p>CJ</p>	<p>KEY NOTE</p>
<p>ELEVATION DATUM REFERENCE</p> <p>Name</p> <p>ELEVATION</p> <p>DATUM REFERENCE</p>	
<p>RELATIVE FINISH FLOOR ELEVATION</p> <p>0'-0"</p>	

REFLECTED CEILING PLAN SYMBOL LEGEND

<p>CEILING TAG</p> <p>CEILING HEIGHT ABOVE FINISH FLOOR</p>	<p>EXIT LIGHT FIXTURE</p> <p>EXIT DIRECTIONAL ARROW</p> <p>HORN STROBE</p> <p>CEILING MOUNTED OCCUPANCY SENSOR</p> <p>CEILING MOUNTED SMOKE DETECTOR</p>
<p>GYP BOARD CEILING</p> <p>REFER TO PLAN FOR SUSPENSION TYPE</p>	
<p>ACOUSTIC CEILING TILE: 2'x2'</p>	<p>DEMOLISHED ACOUSTIC CEILING TILE: 2'x2'</p>
<p>ACOUSTIC CEILING TILE: 2'x4'</p>	<p>DEMOLISHED ACOUSTIC CEILING TILE: 2'x4'</p>
<p>CONTROL JOINT</p> <p>CJ</p>	
<p>MECHANICAL RETURN REGISTER</p>	
<p>MECHANICAL AIR SUPPLY DIFFUSER</p>	
<p>MECHANICAL EXHAUST REGISTER</p>	
<p>RECESSED LIGHT FIXTURE</p> <p>2'x4'</p> <p>2'x2'</p>	
<p>CAN LIGHT FIXTURE</p> <p>8"</p>	

SELECTIVE DEMOLITION GENERAL NOTES:

- DASHED LINES INDICATE WALL, STRUCTURE, OR OTHER BUILDING COMPONENTS TO BE DEMOLISHED IN ENTIRETY INCLUDING CONCEALED CONSTRUCTION UON. SEE KEY NOTES AND PLAN NOTES FOR MORE SPECIFIC INFORMATION FOR INDIVIDUAL AREAS.
- PLUMBING, ELECTRICAL, MECHANICAL, SPECIAL SYSTEMS AND OTHER BUILDING SYSTEM COMPONENTS NOTED AS TO BE DEMOLISHED ARE TO BE FULLY AND COMPLETELY DEMOLISHED AND REMOVED, UON. ALL EXPOSED AND RECESSED CONDUIT, PIPING, BOXES, PANELS, SWITCHGEAR, JUNCTIONS, FITTINGS, WIRES, PIPES, DUCTS, EQUIPMENT, ANCHORS, FASTENERS, ETC. SHALL BE DEMOLISHED. RECESSED SHALL MEAN COMPONENTS THAT ARE CONTAINED WITHIN A WALL, FLOOR OR CEILING SURFACE. PIPING FULLY CONCEALED WITHIN MASONRY WALLS OR CONCRETE MAY REMAIN IF STABLE AND SECURELY SUPPORTED BY BUILDING STRUCTURE.
- THE GENERAL CONTRACTOR S RESPONSIBLE FOR ALL CUTTING AND PATCHING OF WALLS, FLOORS AND ROOF AS REQUIRED TO REMOVE EXISTING MATERIALS AND EQUIPMENT AND TO INSTALL ALL NEW WORK INCLUDING THAT OF PLUMBING, MECHANICAL AND ELECTRICAL SUB-CONTRACTORS. CONTRACTOR SHALL REFERENCE ALL DRAWINGS TO DETERMINE THE EXTENT OF CUTTING AND PATCHING. PATCHING, BACKFILL, REPAIRS, ETC. SHALL EQUAL OR EXCEED EXISTING CONDITIONS OR SURROUNDING WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL RELATED WORK. COSTS AND EXTENT OF THE WORK SELF-PERFORMED OR DELEGATED TO THE SUB-CONTRACTORS. SEE SPECIFICATION SECTION "EXECUTION" FOR ADDITIONAL REQUIREMENTS FOR ALL CONTRACTORS. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR FULL SCOPE OF WORK.
- WHERE SELECTIVE DEMOLITION IS INDICATED IT IS THE INTENT THAT THE SELECTIVE DEMOLITION WORK WILL RESULT IN A BUILDING AREA FREE OF DEVICES, EQUIPMENT, MATERIALS AND ANY OTHER MISCELLANEOUS COMPONENTS NOT REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED. THIS INCLUDES FASTENERS, ANCHORS, HARDWARE, PROTRUDING NAILS AND SCREWS, EMBEDDED ANCHORS, BLOCKING, SLEEVES, ETC. THE DEMOLITION SHALL INCLUDE ALL ITEMS TO A CLEAN SLAB, WALL OR CEILING. COORDINATE DEMOLITION EXTENTS WITH REQUIREMENTS FOR NEW WORK.
- ALL EXISTING CONSTRUCTION AND ITEMS TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES INCURRED DURING CONSTRUCTION ACTIVITIES INCLUDING FROM WETTING, PHYSICAL DAMAGE, MARRING ETC. CONTRACTOR TO REPAIR ANY SURFACES DAMAGED DUE TO DEMOLITION TO MATCH PREVIOUS OR ADJACENT CONDITION.
- SCRAPE ALL LOOSE PAINT AND COATINGS FROM SURFACES DESIGNATED TO RECEIVE NEW PAINT OR FINISHES, RESULTING SURFACE MUST BE DRY, NON-FLAKING AND SECURELY ADHERED TO UNDERLYING SUBSTRATE.
- DEMOLISH ALL FLOOR COVERINGS AND RUBBER OR WOOD BASE, UON. TO INCLUDE REMOVAL OF ADHESIVES. CONTRACTOR RESPONSIBLE FOR VERIFYING FLOOR COVERING AND DEMOLISHING FLOOR COVERINGS UNDERNEATH VISIBLE COVERINGS DOWN TO THE CONCRETE SLAB. PROVIDE CLEAN, SMOOTH SUBFLOORING FOR NEW WORK.
- DEMOLISH ALL FLOOR BUMPERS IN THEIR ENTIRETY. SEE HARDWARE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- REMOVE ALL INTERIOR SIGNAGE AND BRACKETS INCLUDING ROOM IDENTIFICATION SIGNAGE, DEPARTMENTAL SIGNAGE AND WAYFINDING SIGNAGE. DISPOSE AFTER GIVING OWNER FIRST RIGHT OF REFUSAL.
- FURNITURE AND LOOSE EQUIPMENT TO BE REMOVED BY OWNER FROM THE BUILDING PRIOR TO THE COMMENCEMENT OF THE WORK. ANY REMAINING ITEMS ARE TO BE DEMOLISHED BY GENERAL CONTRACTOR, UNO. CONTRACTOR TO COORDINATE WITH OWNER.
- ANY ITEMS INDICATED TO BE DEMOLISHED AFTER GIVING OWNER FIRST RIGHT OF REFUSAL SHALL BE DEMOLISHED ONLY AFTER RECEIVED NOTIFICATION FROM OWNER ITEMS SHOULD BE DISCARDED. ITEMS THAT THE OWNER WANTS POSSESSION OF SHALL BE CAREFULLY SALVAGED AND TURNED OVER TO THE OWNER.
- EXISTING BUILDING STRUCTURE TO REMAIN. UON. PROTECT DURING THE DEMOLITION AND NEW WORK PROCESS. REPAIR ANY SURFACES DAMAGED DURING DEMOLITION AND NEW WORK.
- SEE SPECIFICATION SECTION "SELECTIVE DEMOLITION" AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL REQUIREMENTS FOR ALL CONTRACTORS.
- SEE DEMOLITION FLOOR PLAN KEY NOTES AND NOTES ON PLANS FOR ADDITIONAL REQUIREMENTS.
- PROVIDE APPROPRIATE ANCHORAGE AND MOUNTING METHODS FOR CMU WALL CONSTRUCTION FOR WALL-MOUNTED FIXTURES, FURNISHINGS, EQUIPMENT AND ACCESSORIES.
- ALL FF&E ITEMS ARE CONTRACTOR PROVIDED, CONTRACTOR INSTALLED U.O.N.

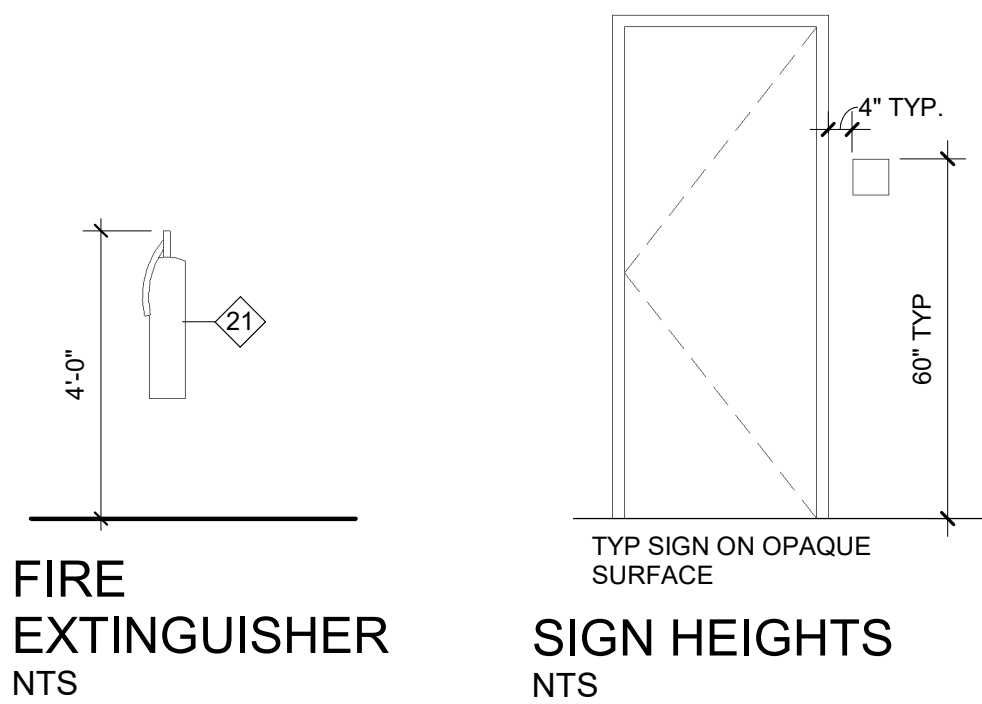
RENOVATION PLAN GENERAL NOTES:

- DIMENSIONS TO NEW CONSTRUCTION ARE TO STRUCTURAL CENTERLINE, FACE OF CONCRETE OR MASONRY CONSTRUCTION, FACE OF MTL STUD OR TO FACE OF EXISTING SURFACE UNLESS NOTED OTHERWISE.
- FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND BETWEEN CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS.
- DO NOT SCALE DRAWINGS. REFER DIMENSION QUESTIONS TO ARCHITECT FOR INTERPRETATION.
- COORDINATE EQUIPMENT WORK WITH MANUFACTURERS AND SUPPLIERS TO INSURE PROPER ROUGH-IN CLEARANCES FOR INSTALLATION, USE AND MAINTENANCE.
- COORDINATE LOCATIONS WITH MANUFACTURER OR SUPPLIER AND REFER MOUNTING HEIGHT QUESTIONS TO ARCHITECT FOR INTERPRETATION.
- CONTRACTOR TO PATCH AND REPAIR ANY EXISTING AREA, SURFACE OR COMPONENT DAMAGED OR OTHERWISE ALTERED BY THE INSTALLATION OF THE NEW WORK. PATCHES AND REPAIRS TO MATCH EXISTING IN KIND, MATERIAL, TEXTURE, COLOR, ETC. UON.
- REPAIRS AND PATCHES REQUIRING PAINTED FINISH WILL REQUIRE PAINT TO BE APPLIED AT ENTIRE CONTIGUOUS WALL OR CEILING AREA EXTENDING TO CORNERS, STEPS OR OTHER CHANGE IN SURFACE PLANE.

FURNITURE, FIXTURES, AND EQUIPMENT LEGEND

01	REFRIGERATOR
02	DOUBLE OVEN
03	TRASH AND RECYCLE RECEPTACLE - NIC
04	WALL PANEL - GROVE TREE A
05	WALL PANEL - GROVE TREE B
06	WALL PANEL - GROVE TREE C
07	ELECTRICAL STOVETOP
08	RANGE HOOD
09	STORAGE SHELIVING - 36"x24"
10	STORAGE SHELIVING - 48"x24"
11	MEDIA CREDENZA
12	NEW CHANGING STATION
13	MICROWAVE
14	NEW SINK PIPE COVER
15	NEW BLINDS
16	WALL MOUNTED FOLDING TABLE
17	CONSOLE TABLE
18	2 DOOR ENCLOSED BULLETIN BOARD
19	PRINTER/COPIER - NIC
20	ROLLING CABINET PEDESTAL
21	FIRE EXTINGUISHER - ETR
22	AED CABINET - ETR
23	ADA PUSH BUTTON

TYP MOUNTING HEIGHTS & DIMENSIONS



PROJECT INFORMATION

PEACH ROAD
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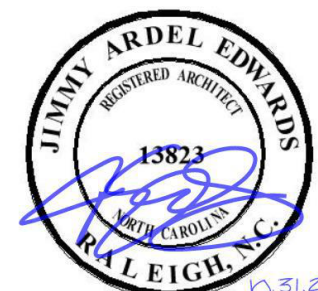
SHEET TITLE
GENERAL NOTES AND LEGENDS

A001

PROJECT INFORMATION

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CITY OF RALEIGH
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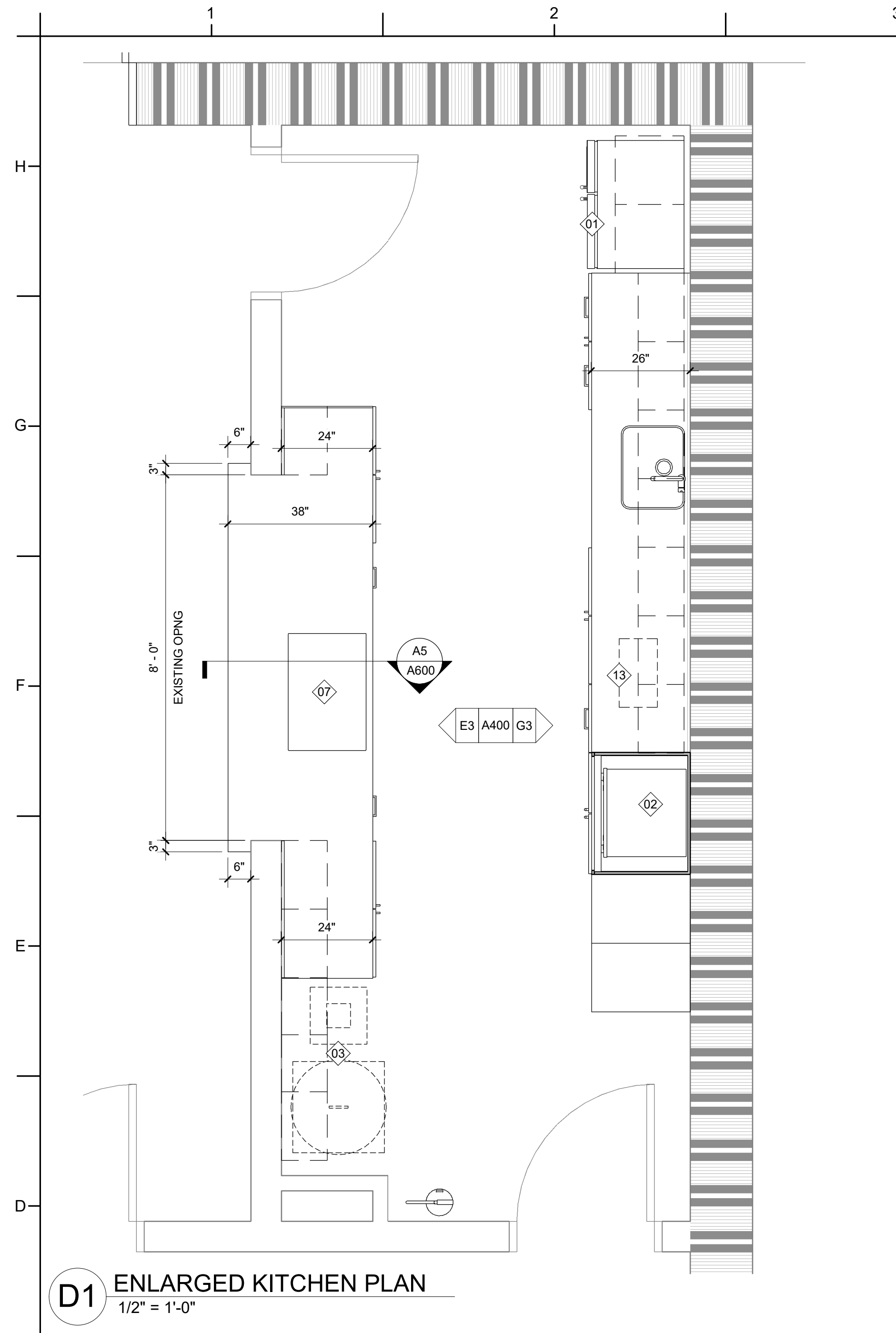
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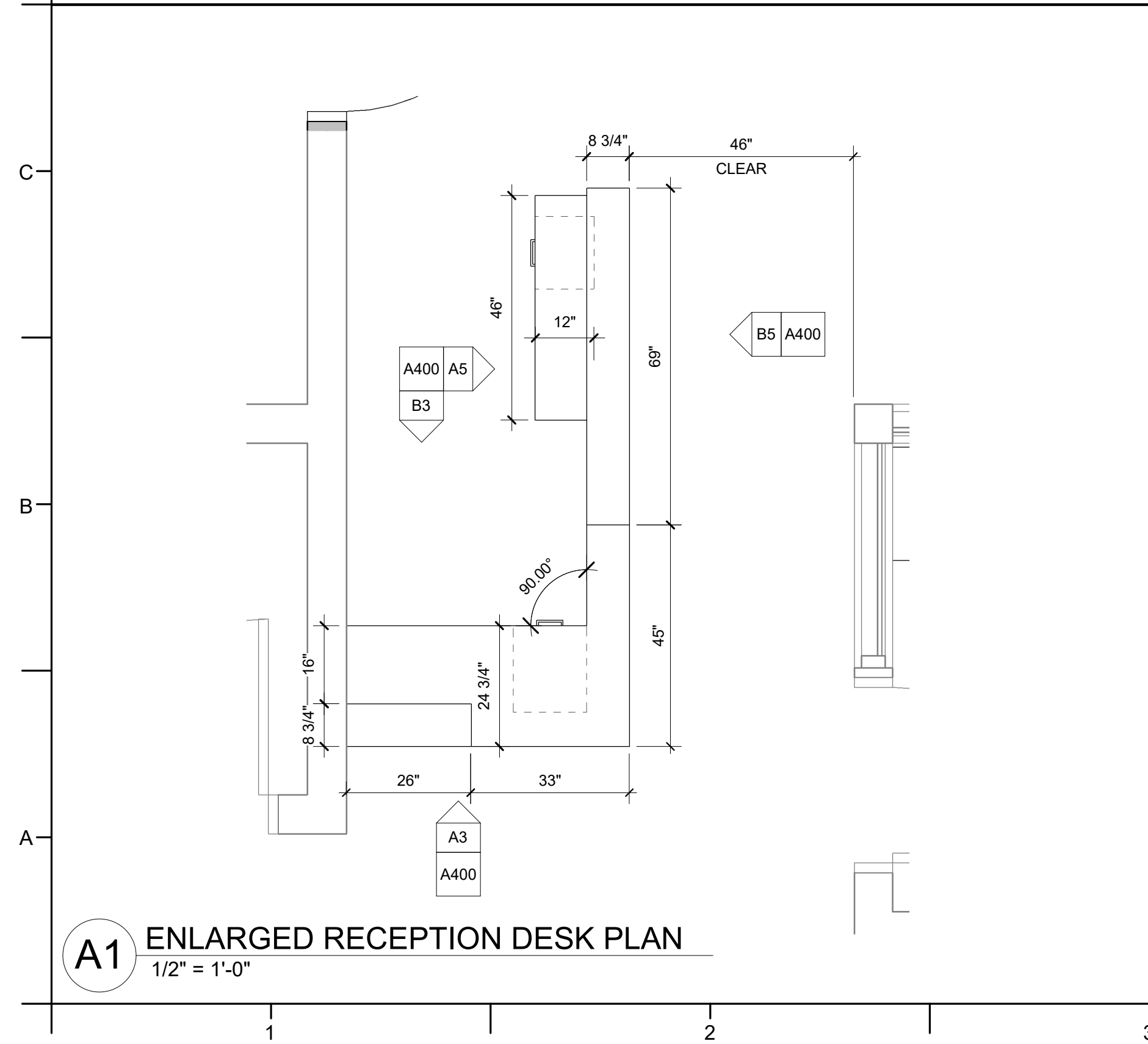
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ENLARGED PLANS
AND INTERIOR
ELEVATIONS

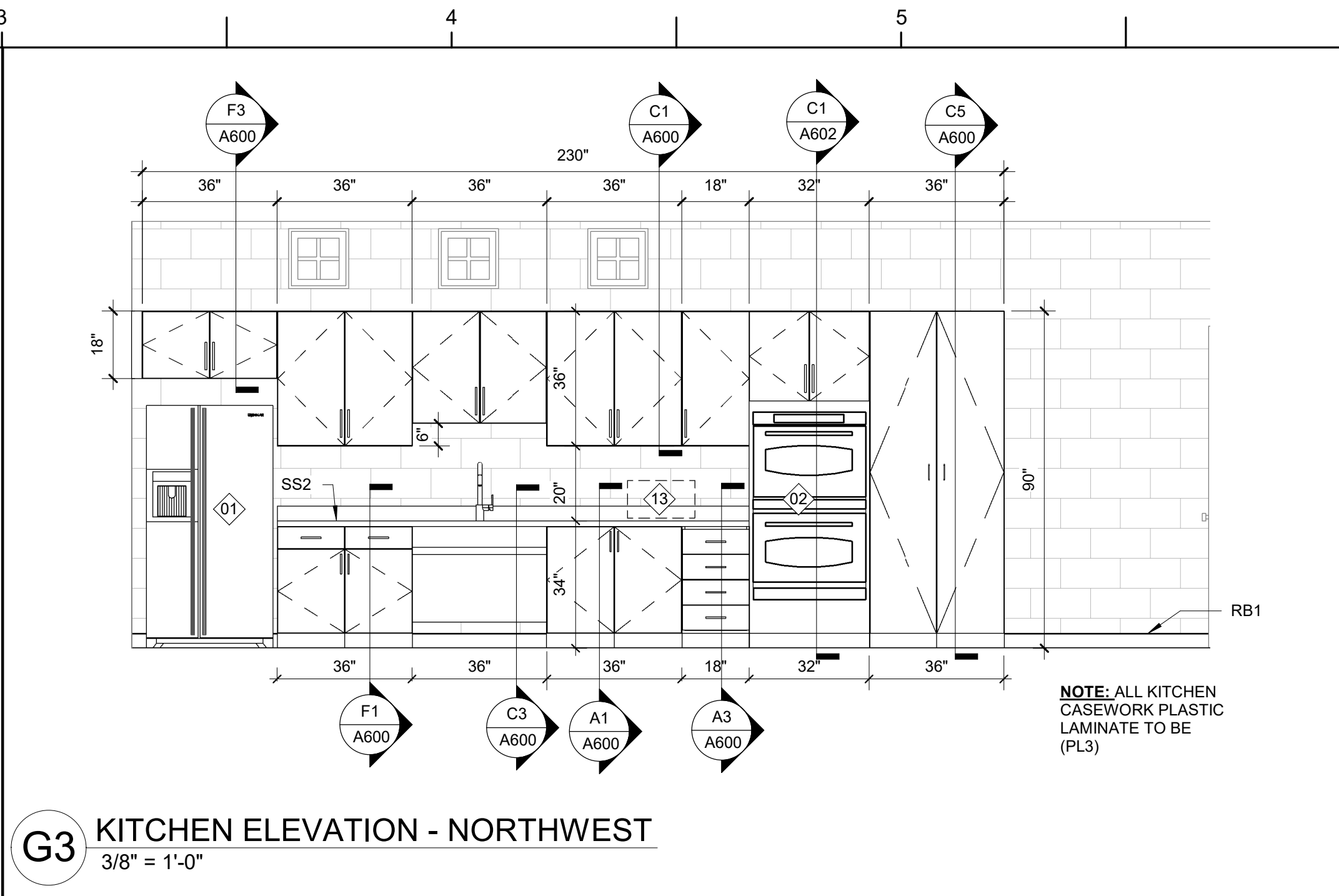
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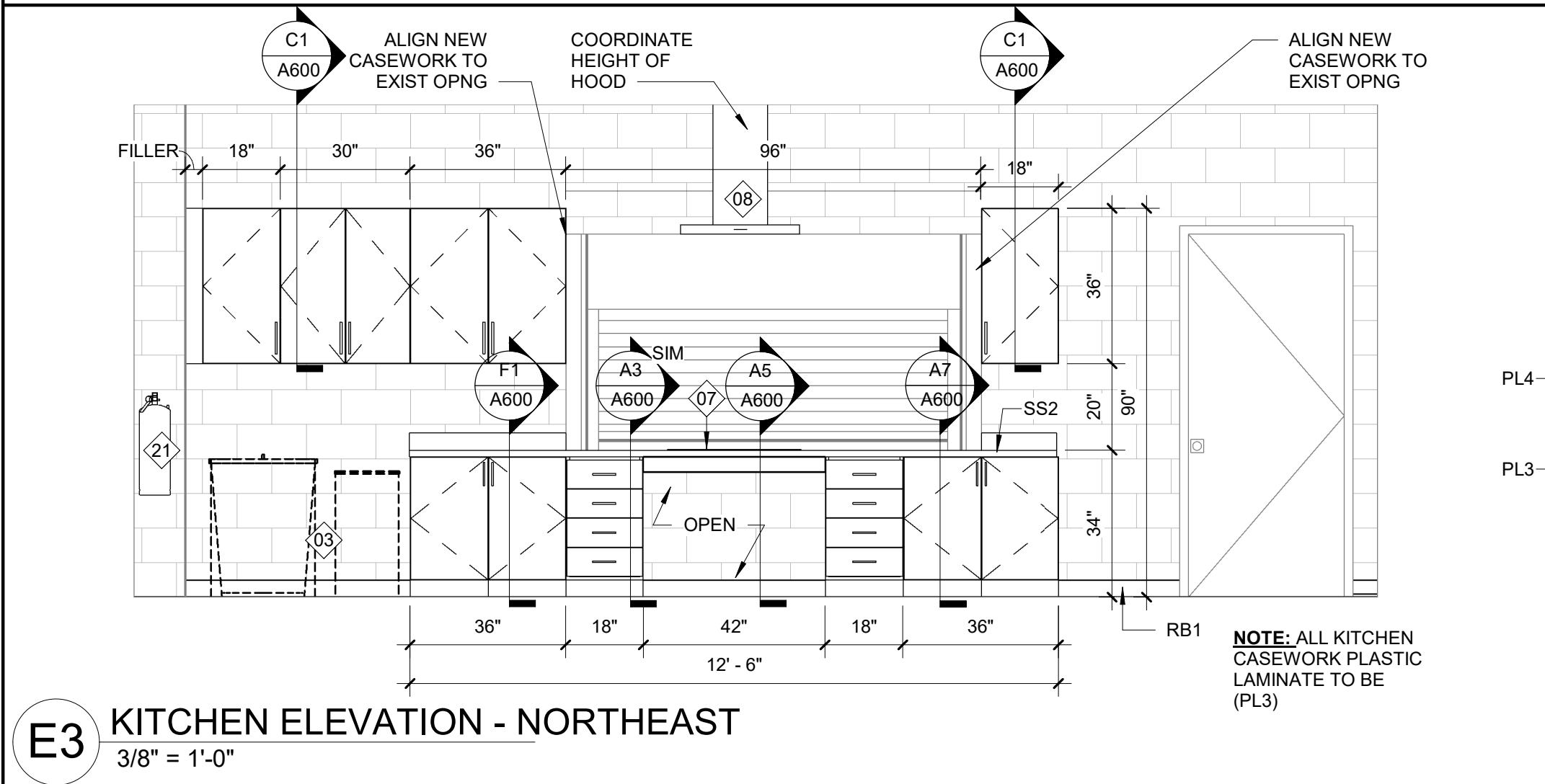
D1 ENLARGED KITCHEN PLAN
1/2" = 1'-0"



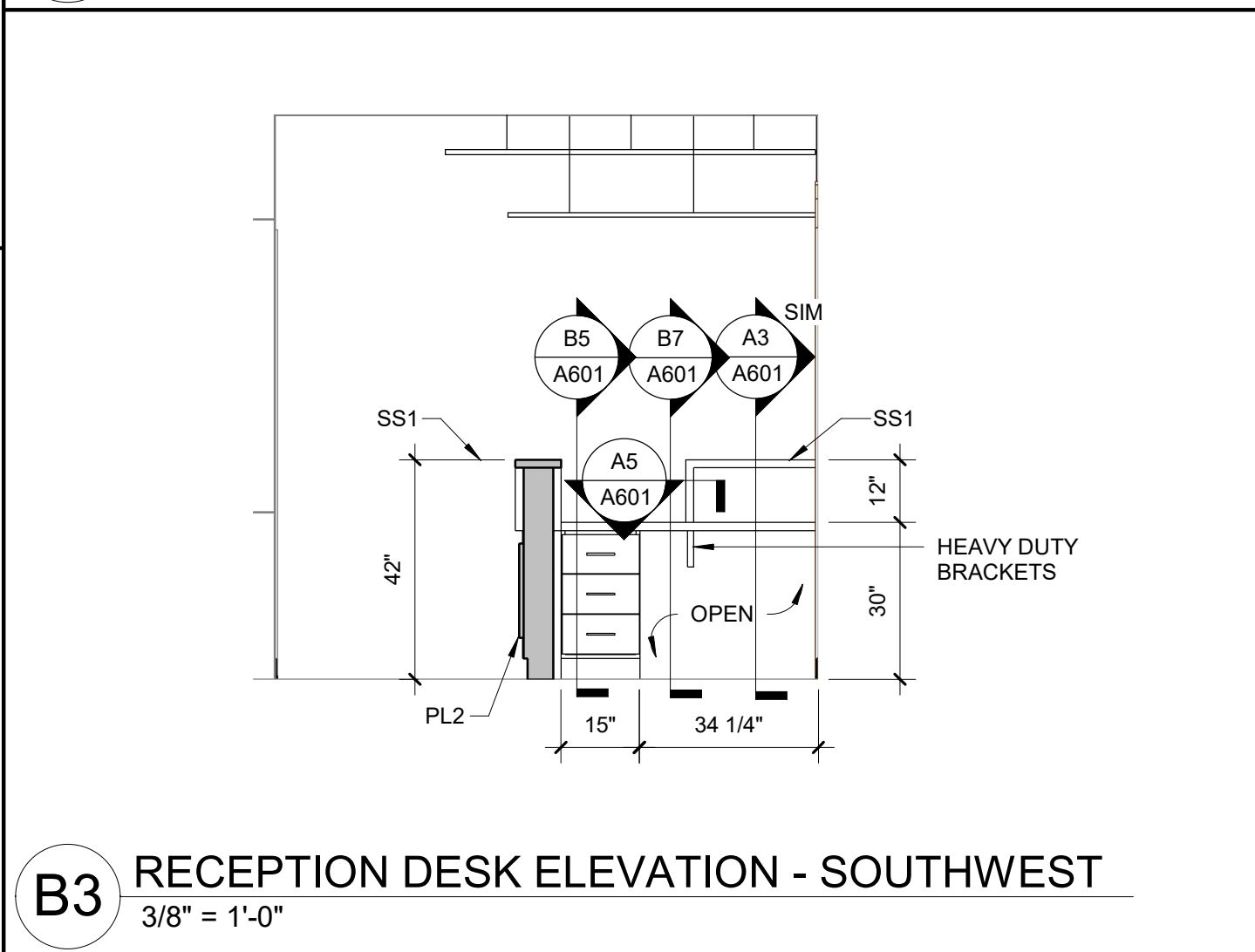
A1 ENLARGED RECEPTION DESK PLAN
1/2" = 1'-0"



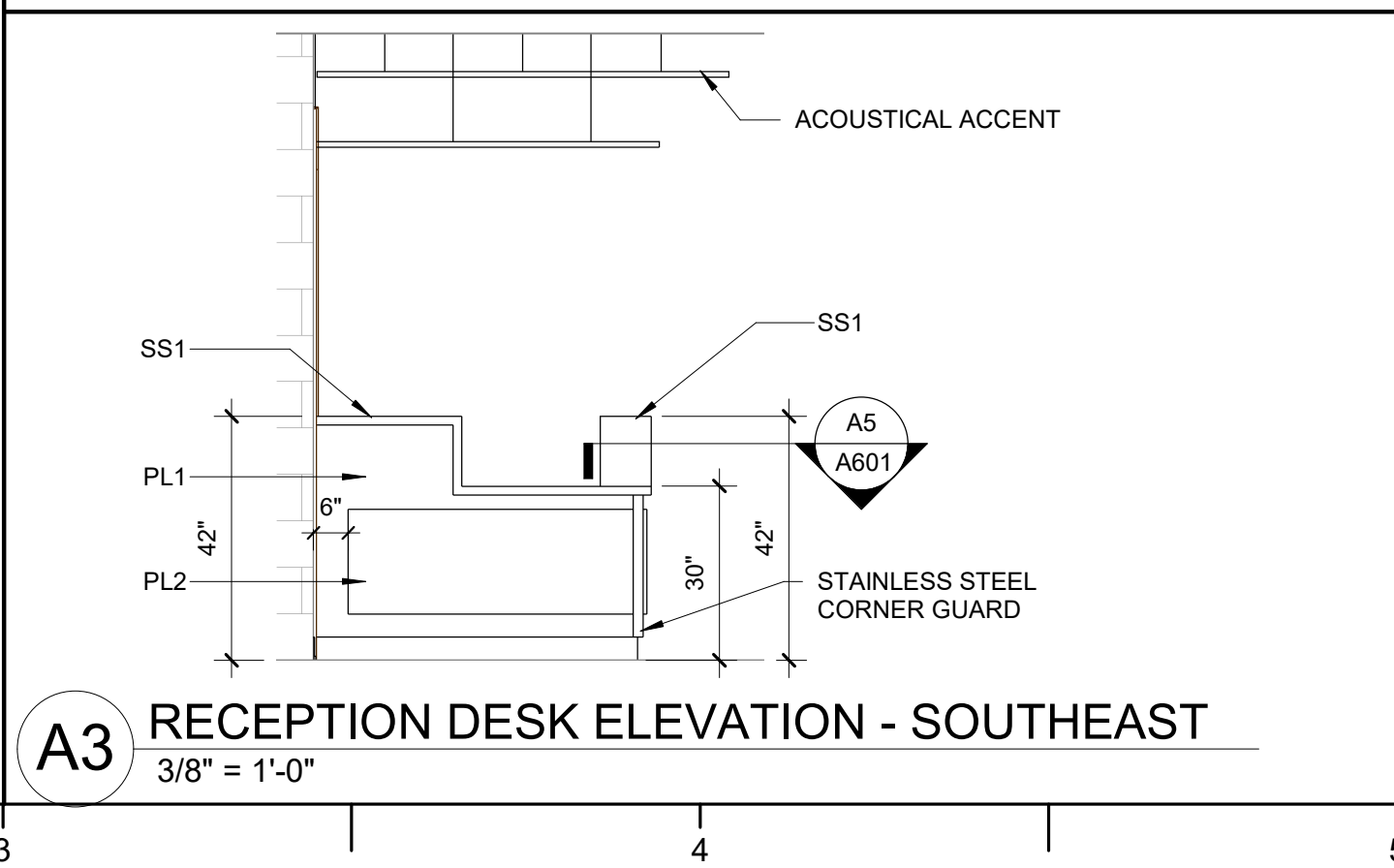
G3 KITCHEN ELEVATION - NORTHWEST
3/8" = 1'-0"



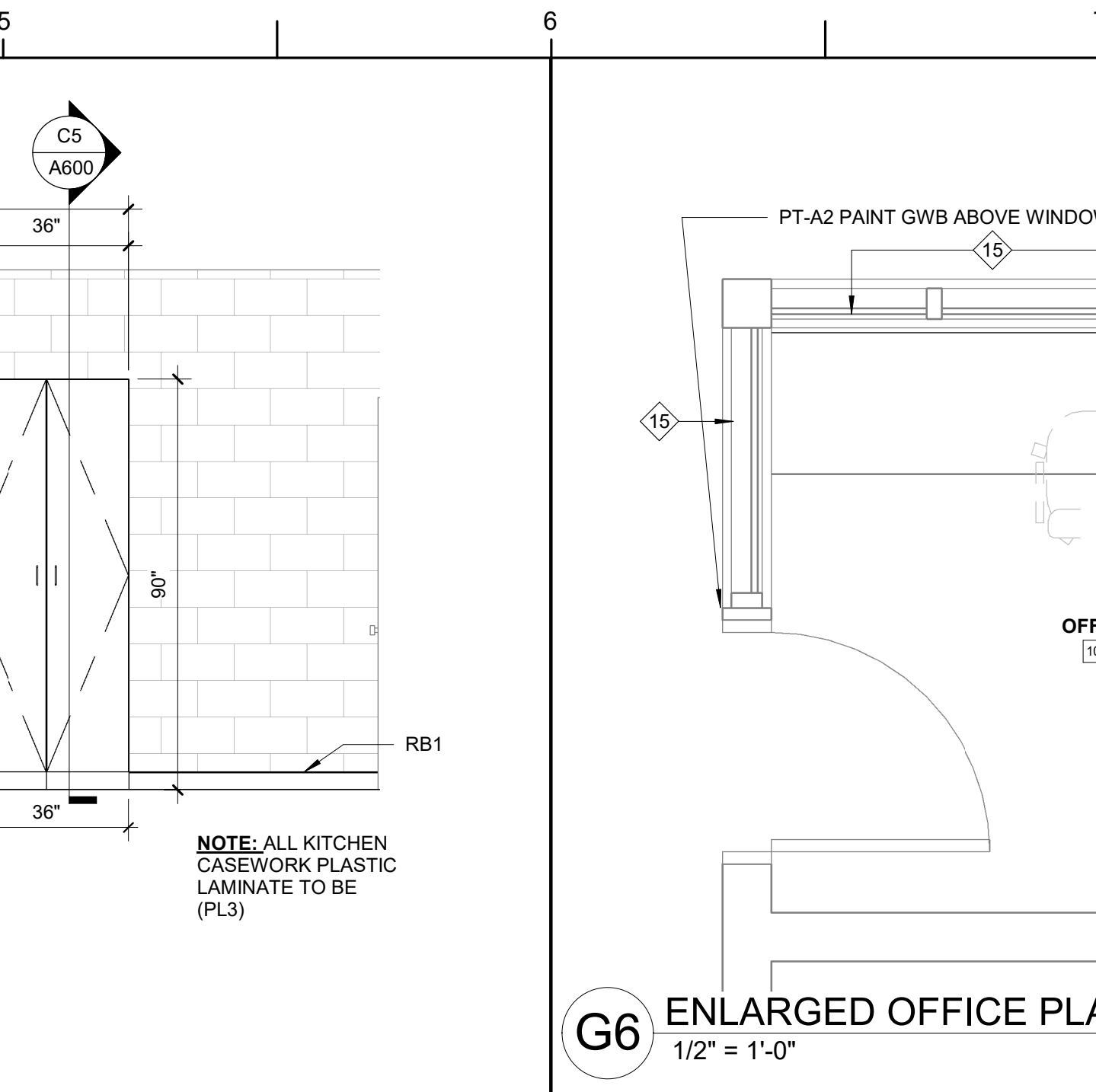
E3 KITCHEN ELEVATION - NORTHEAST
3/8" = 1'-0"



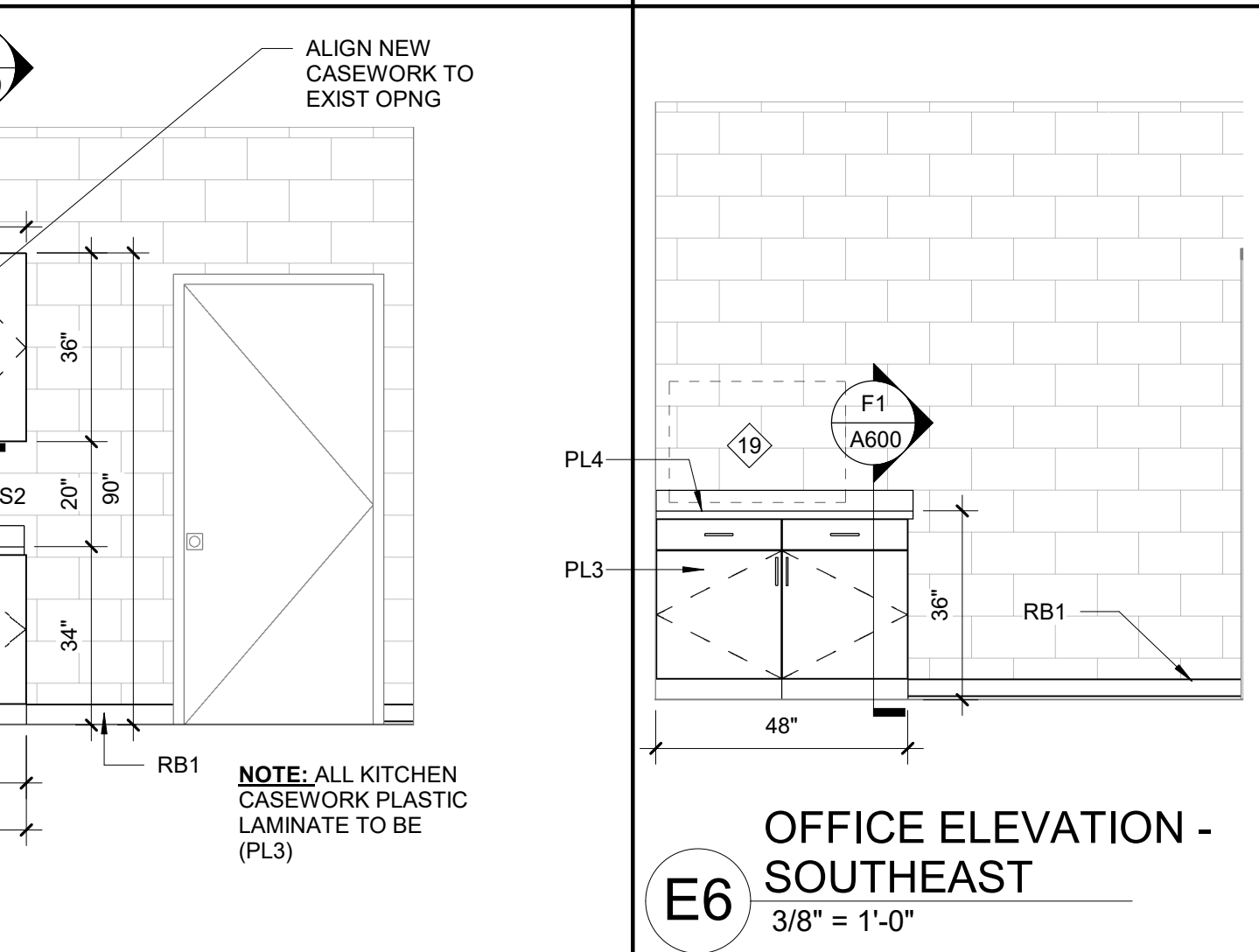
B3 RECEPTION DESK ELEVATION - SOUTHWEST
3/8" = 1'-0"



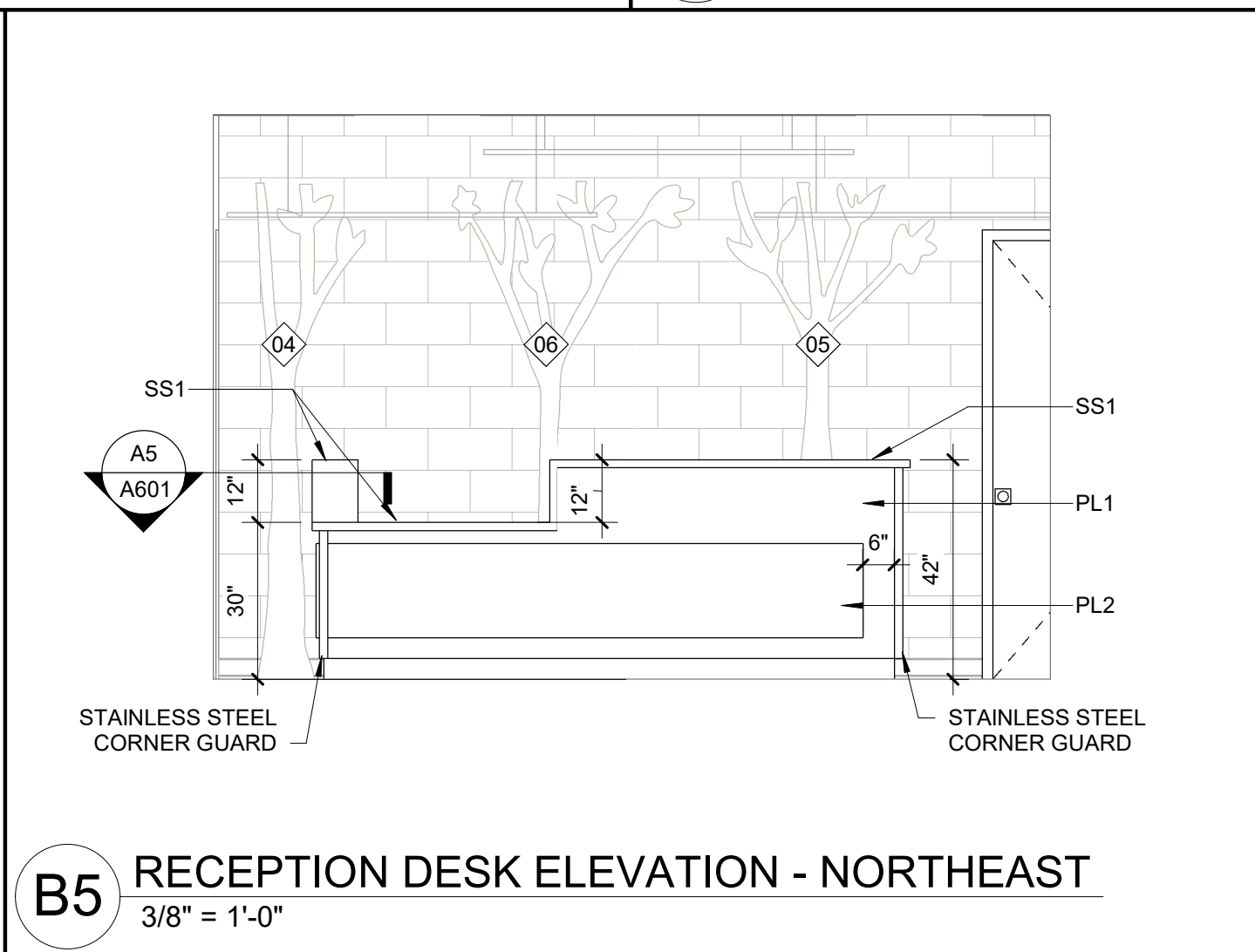
A3 RECEPTION DESK ELEVATION - SOUTHEAST
3/8" = 1'-0"



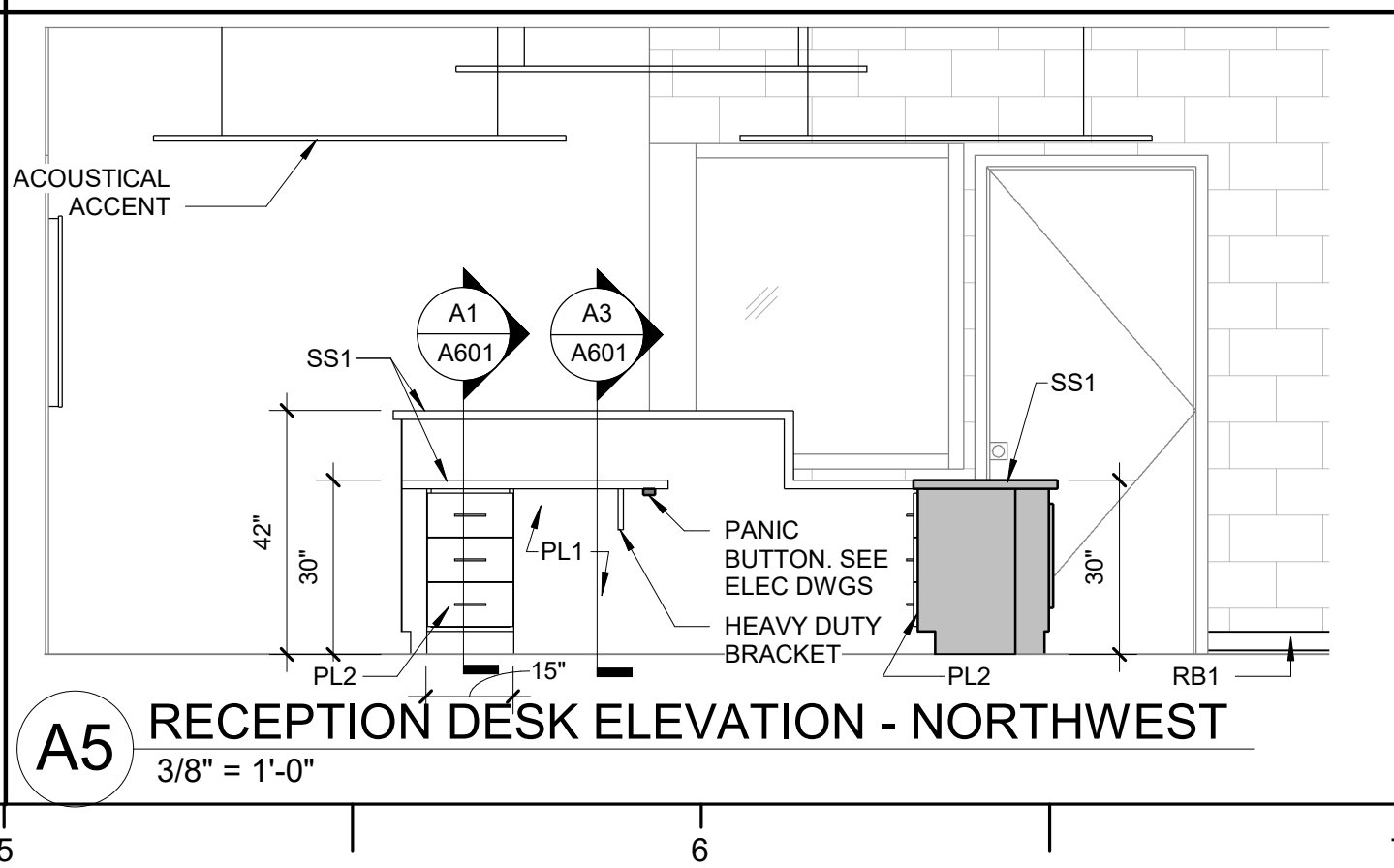
G6 ENLARGED OFFICE PLAN
1/2" = 1'-0"



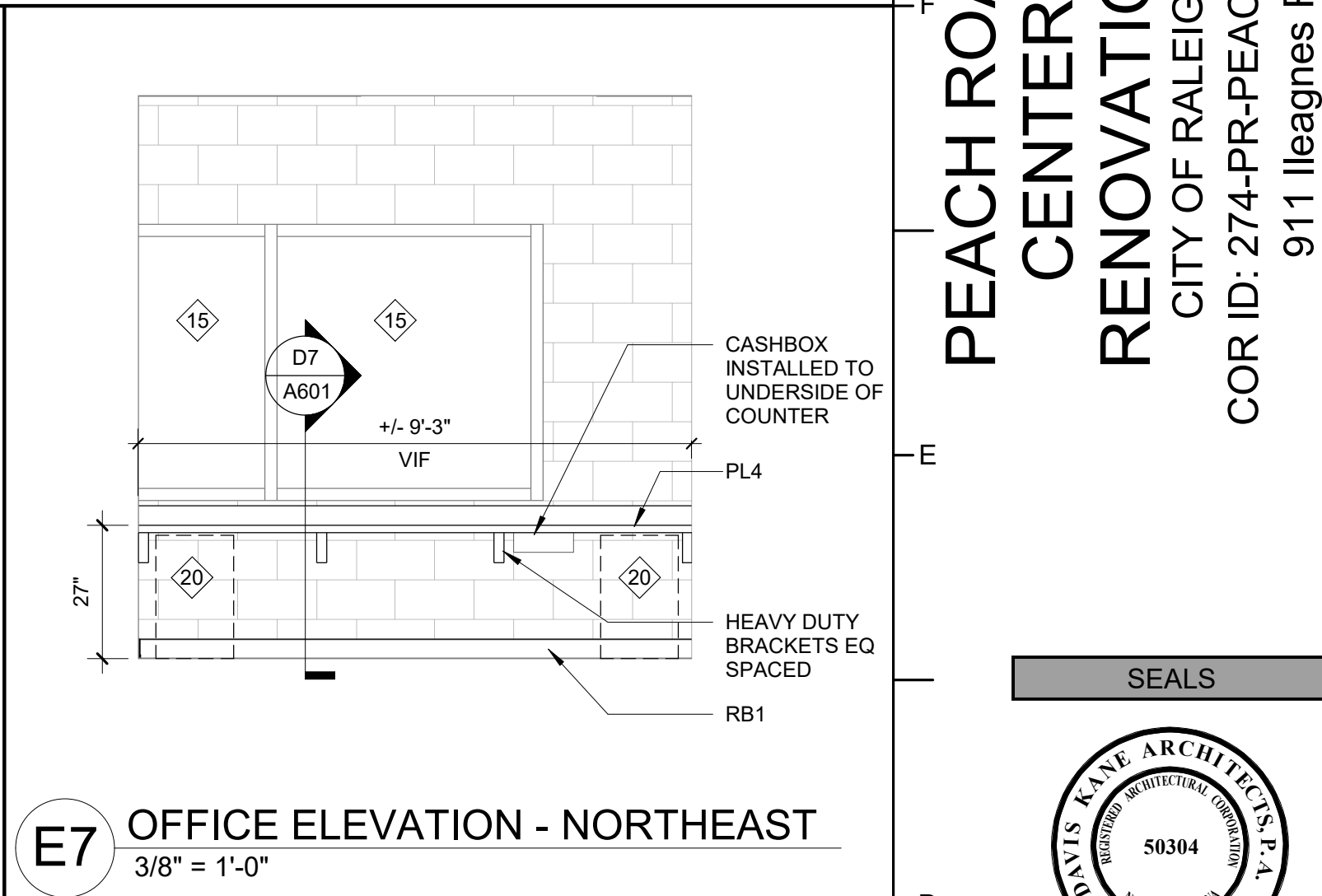
E6 OFFICE ELEVATION - SOUTHEAST
3/8" = 1'-0"



B5 RECEPTION DESK ELEVATION - NORTHEAST
3/8" = 1'-0"



A5 RECEPTION DESK ELEVATION - NORTHWEST
3/8" = 1'-0"



E7 OFFICE ELEVATION - NORTHEAST
3/8" = 1'-0"

ENLARGED PLAN & INTERIOR
ELEVATION GENERAL NOTES:

- SEE SHEET A001 FOR TYPICAL MOUNTING HEIGHTS AND ADDITIONAL REQ.
- FOR FF&E LEGEND SEE A001.
- CLEAR DIMENSIONS ARE FROM FINISH FACE OF THE WALL TO FINISH FACE OF THE WALL OR PARTITION.
- INSTALL ACOUSTICAL ACCENTS USING MANUFACTURER'S RECOMMENDED HARDWARE. ATTACH CABLES TO STRUCTURE ABOVE.

PROJECT INFORMATION

**PEACH ROAD
CENTER
RENOVATION**
CITY OF RALEIGH
COR ID: 274-PR-PEACH 20
911 Ileagnes Rd.
Raleigh, NC 27603

ALS



DKA JOB NUMBER

319

REVISIONS

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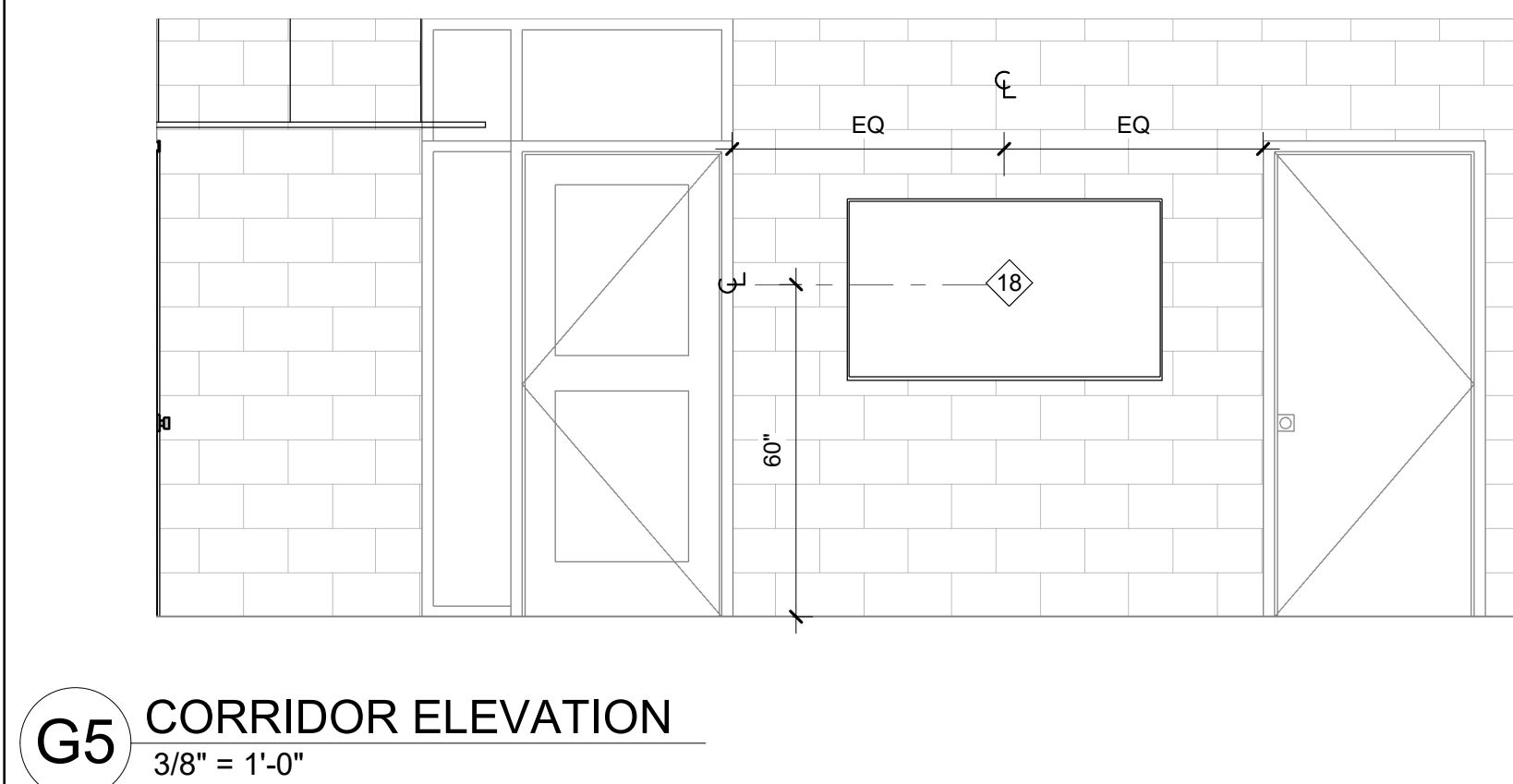
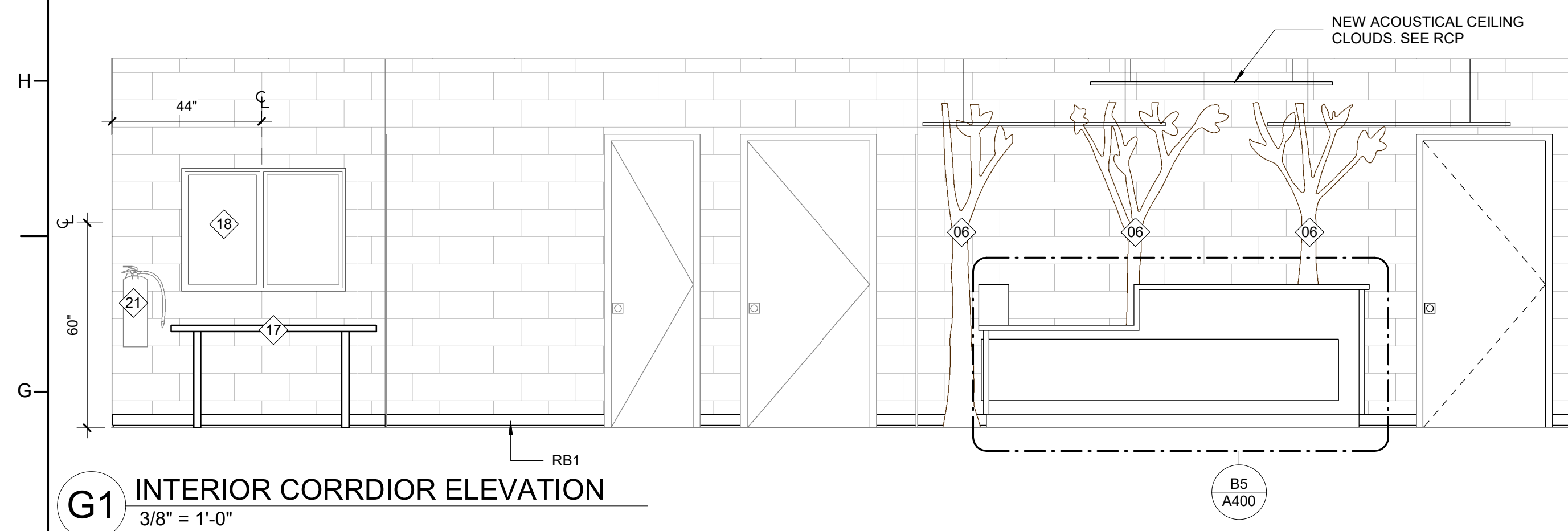
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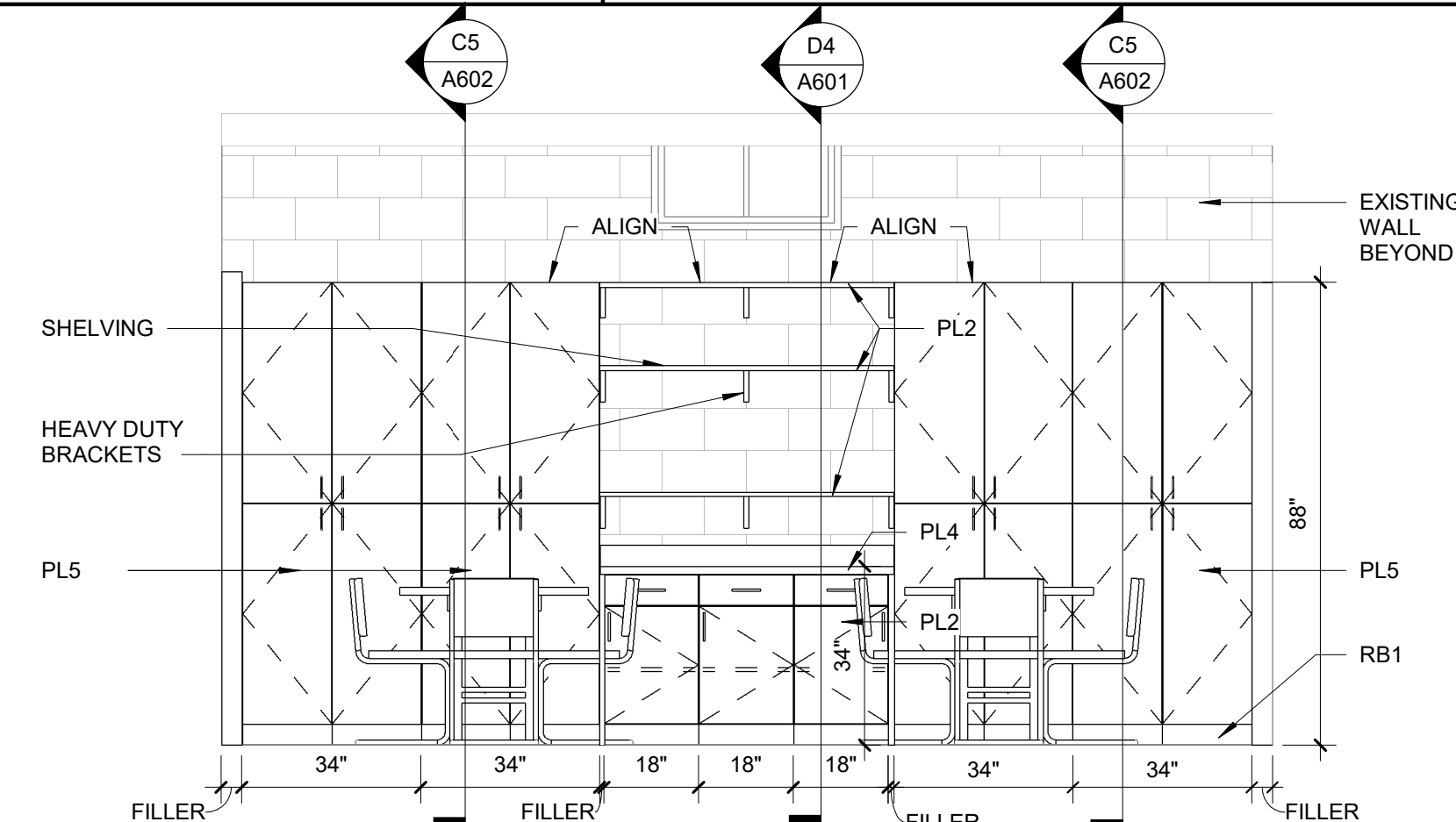
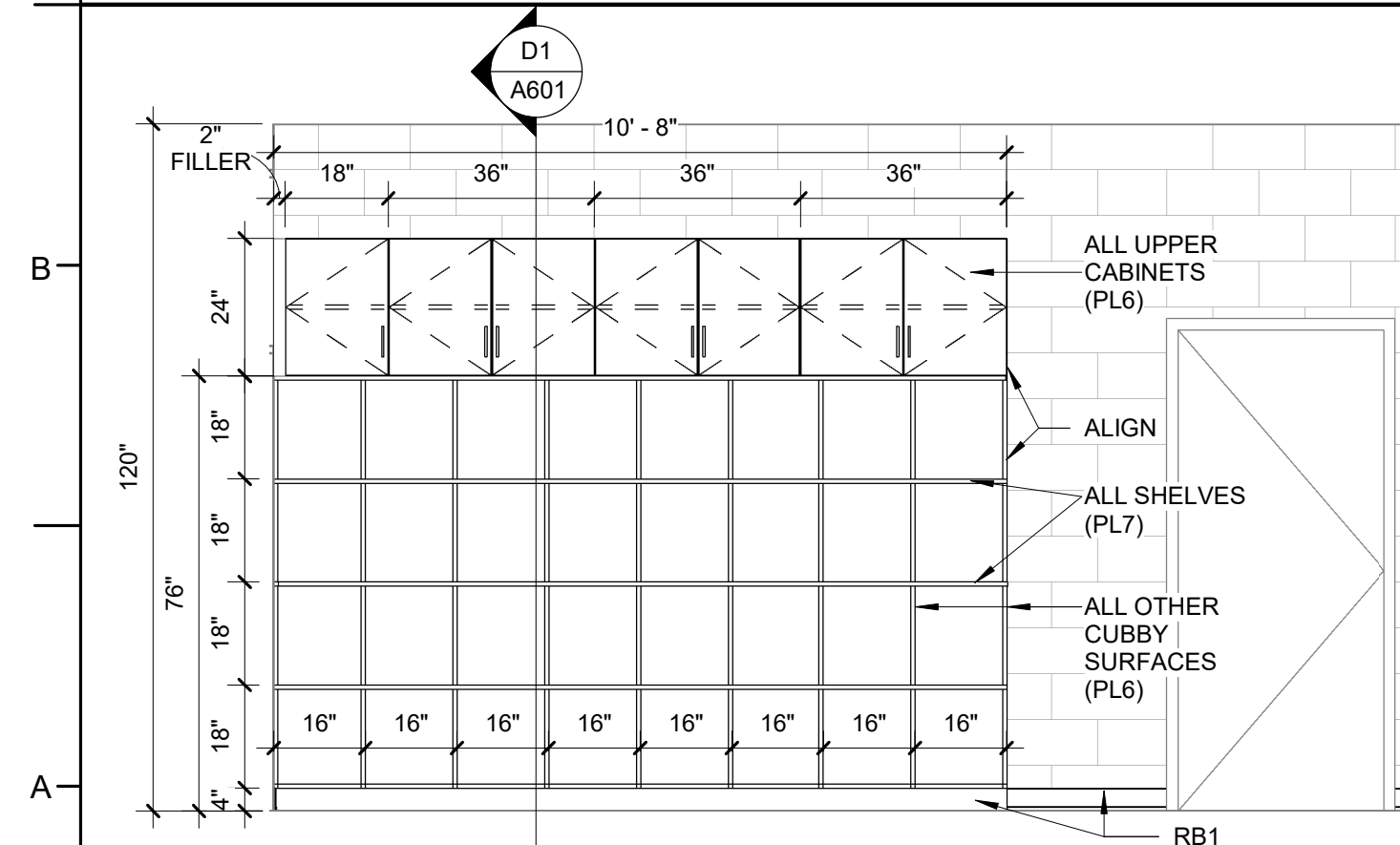
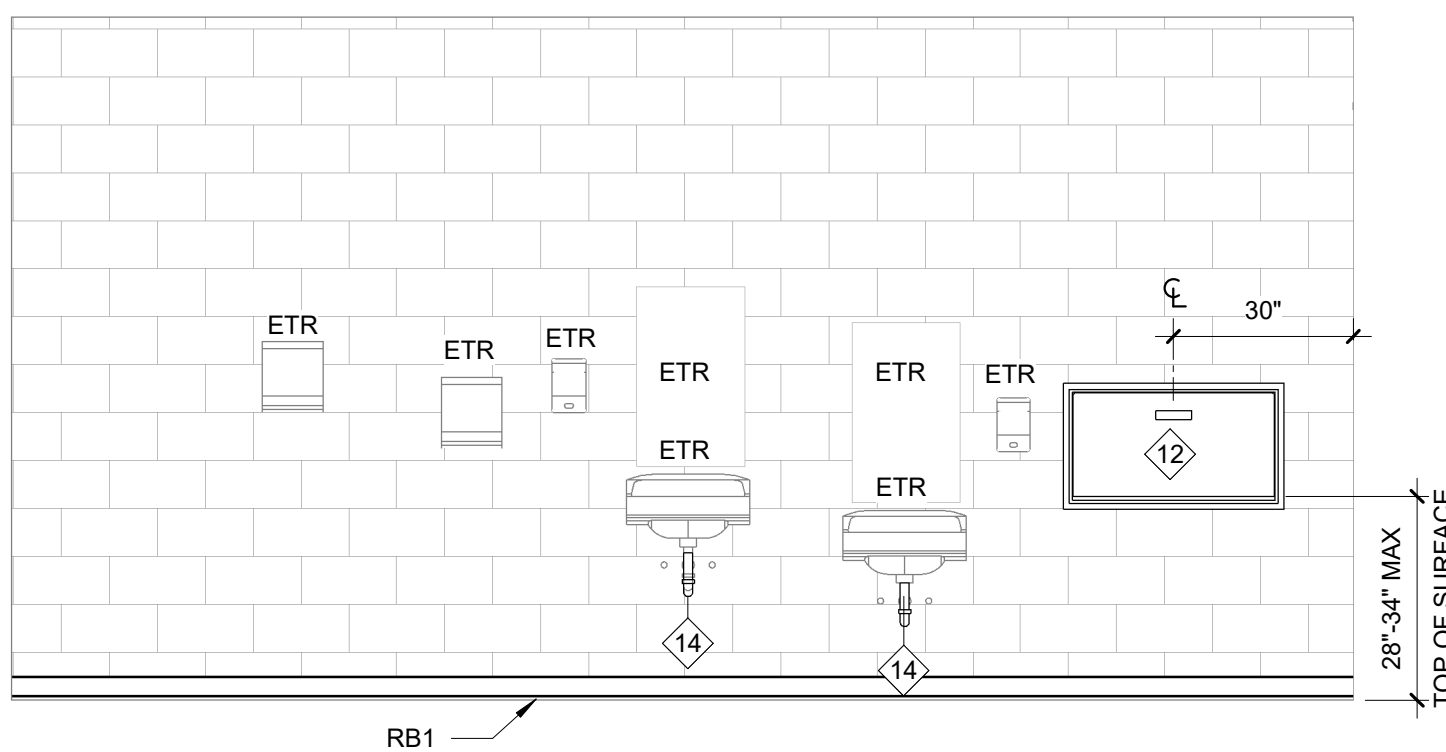
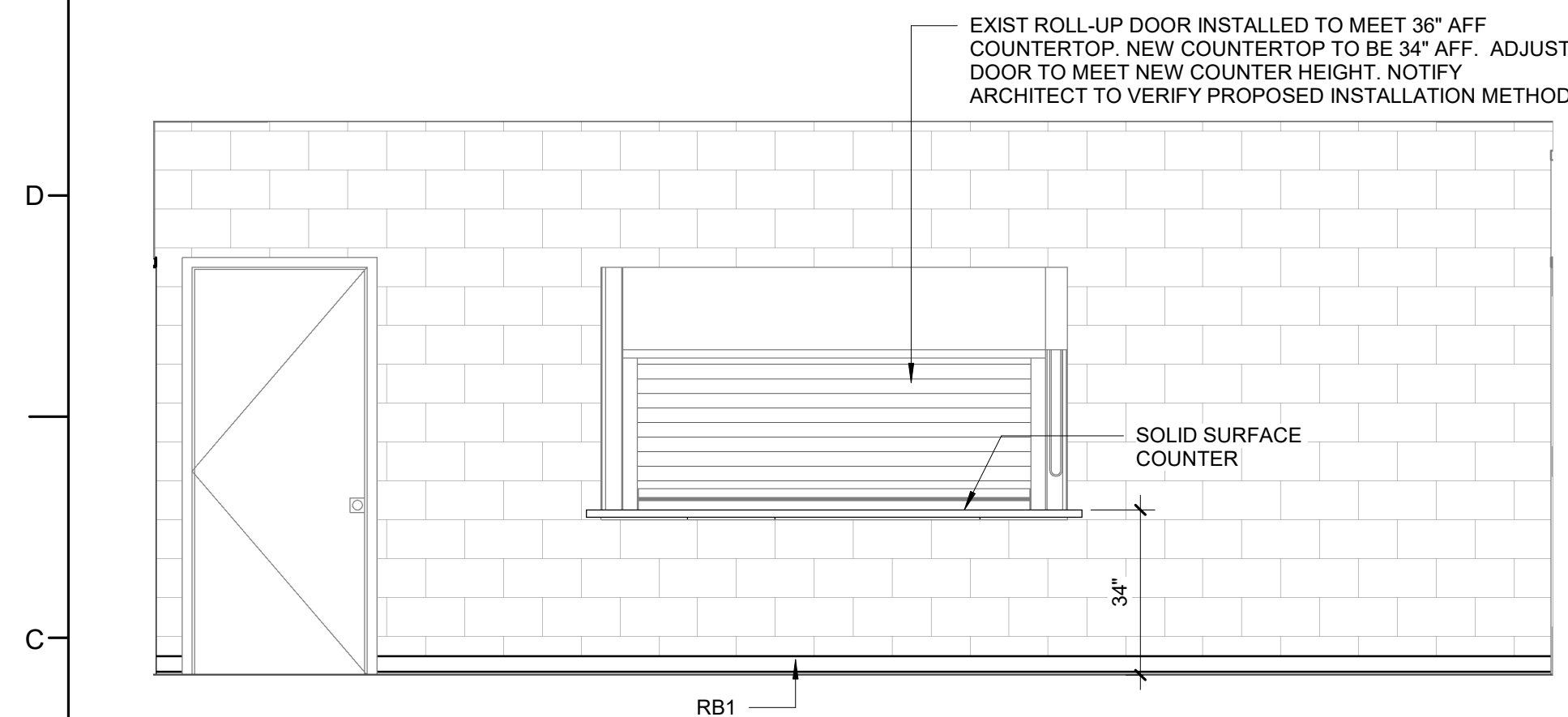
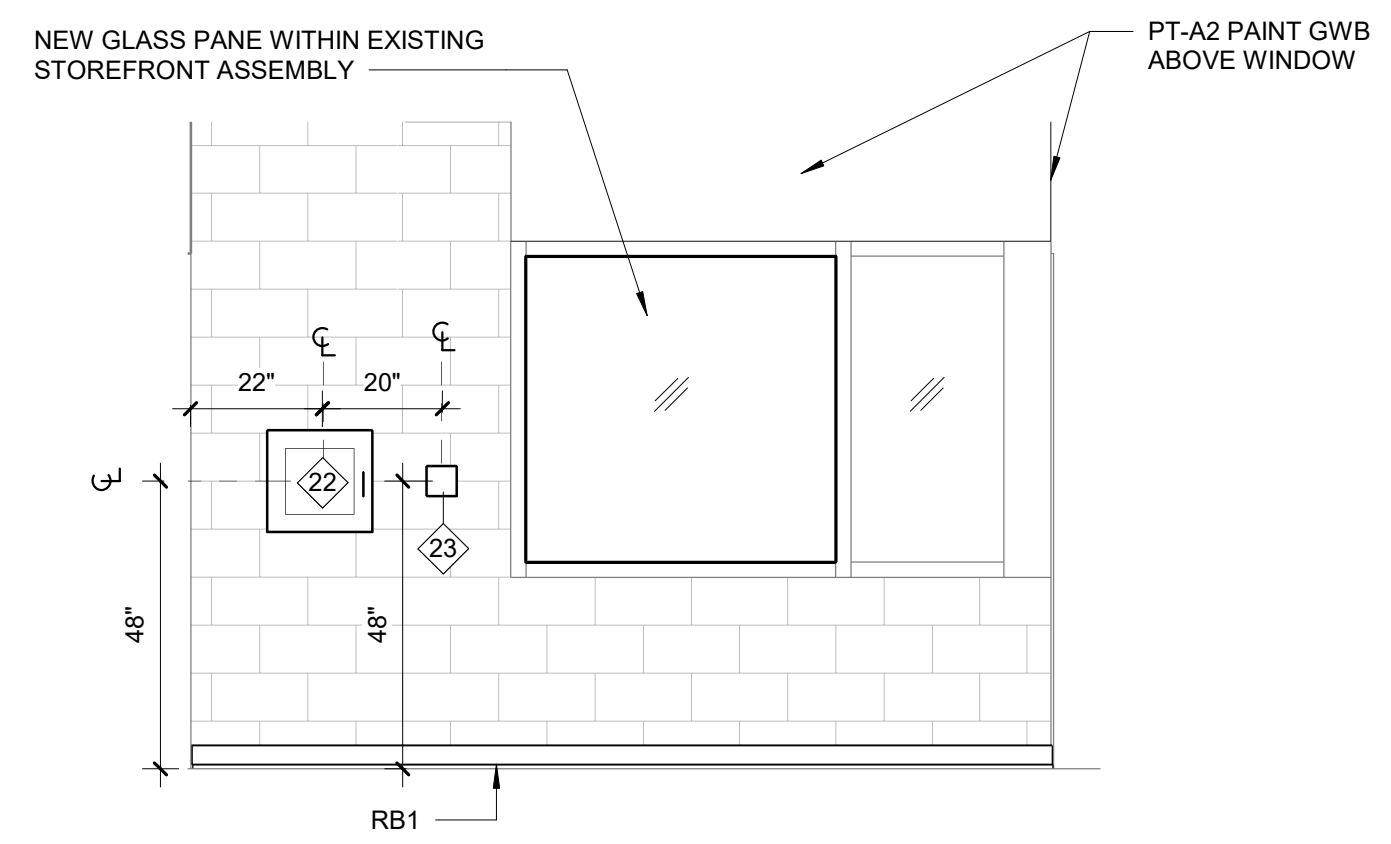
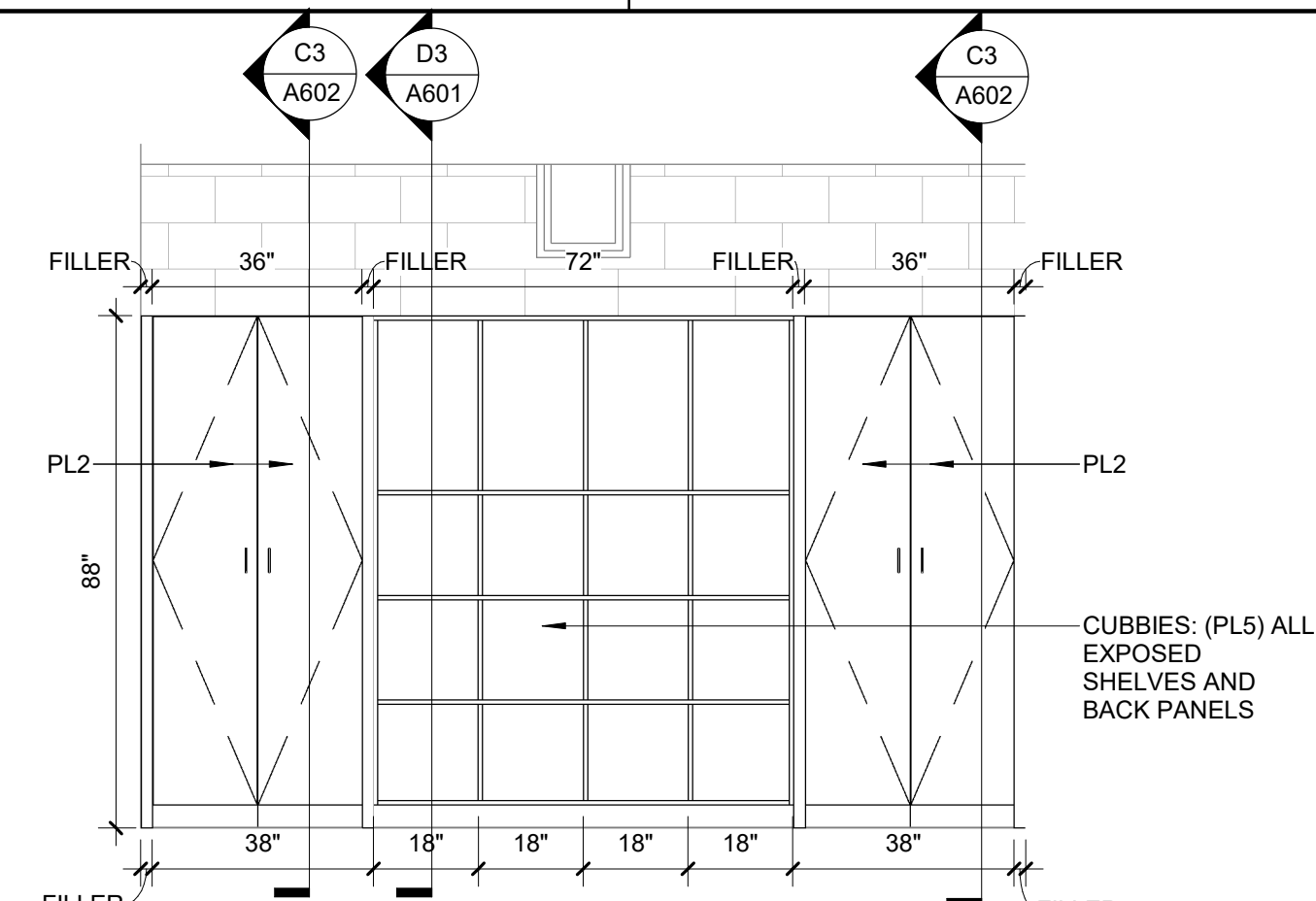
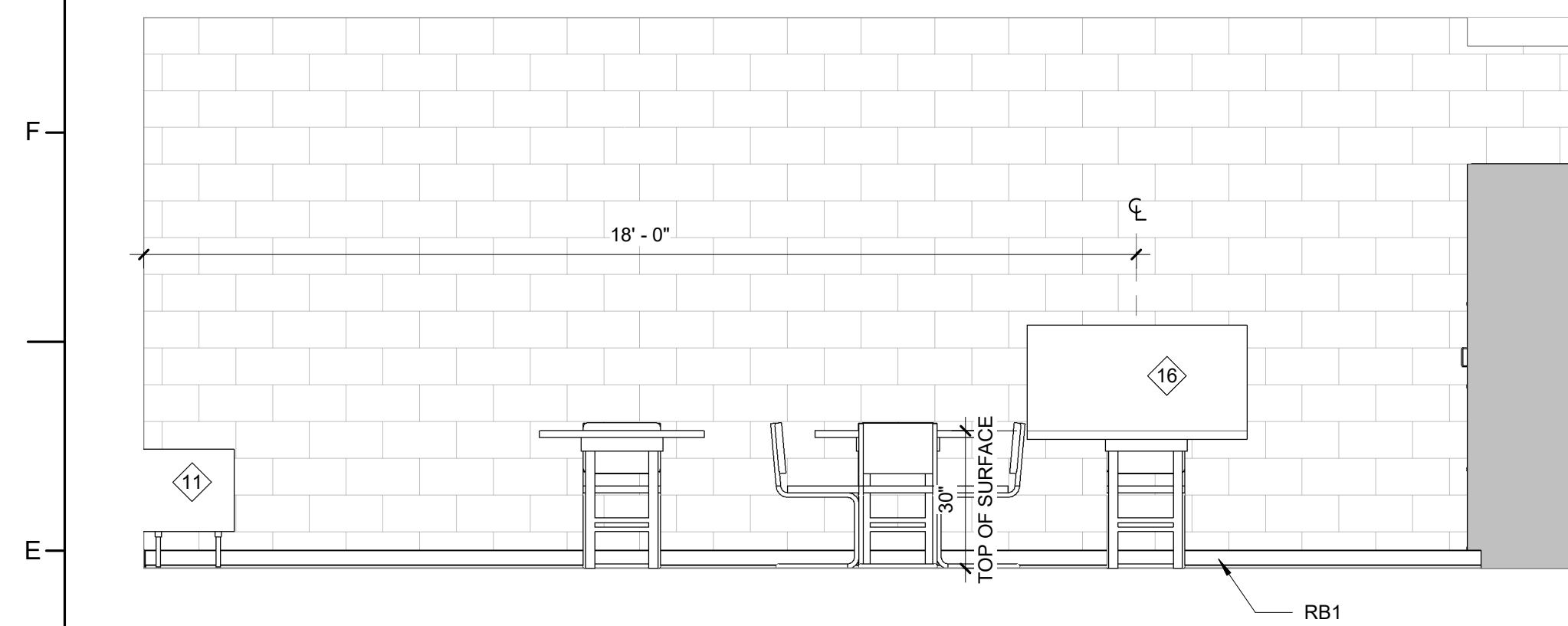
ENLARGED PLANS AND INTERIOR ELEVATIONS

A401



ENLARGED PLAN & INTERIOR
ELEVATION GENERAL NOTES:

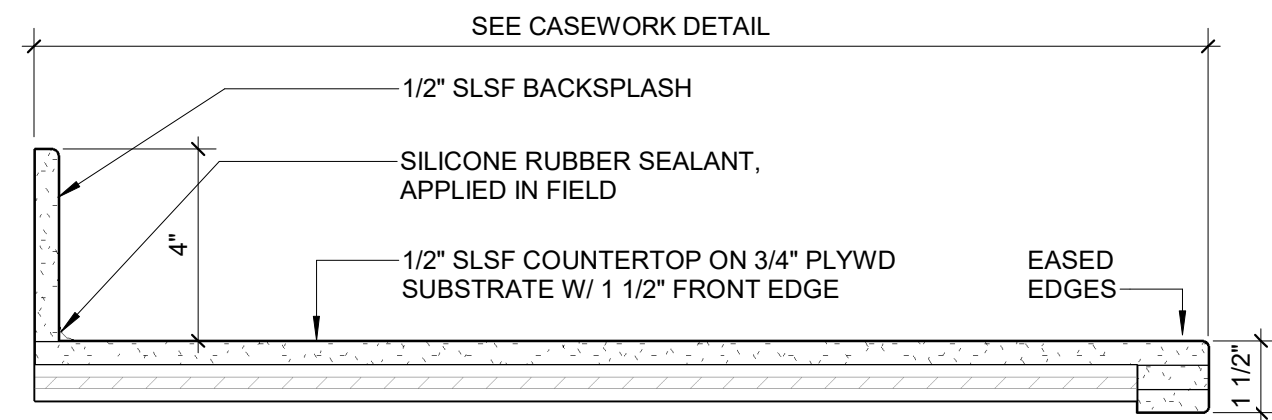
1. SEE SHEET A001 FOR TYPICAL MOUNTING HEIGHTS AND ADDITIONAL REQ.
2. FOR FF&E LEGEND SEE A001.
3. CLEAR DIMENSIONS ARE FROM FINISH FACE OF THE WALL TO FINISH FACE OF THE WALL OR PARTITION.
4. INSTALL ACOUSTICAL ACCENTS USING MANUFACTURER'S RECOMMENDED HARDWARE. ATTACH CABLES TO STRUCTURE ABOVE.



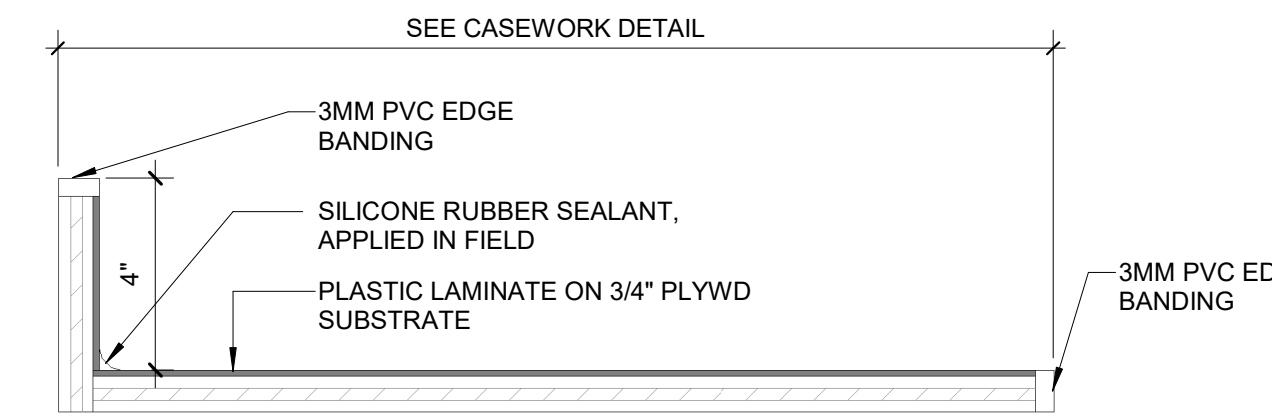
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M: JT
Drawn By: BG
Plot Date: 11/30/2023 10:54:55 AM

CASEWORK GENERAL NOTES:

- SHELVES WIDER THAN 30" TO BE 1" THICK. SHELVES 30" WIDE OR NARROWER TO BE 3/4" THICK, UON.
- NUMBER OF DOORS AND DRAWERS TO BE AS INDICATED ON INTERIOR ELEVATIONS.
- ALL CABINET DOORS AND DRAWERS IN ENTIRE PROJECT ARE TO BE LOCKABLE.
- LAMINATE OR PVC FINISH ON ALL EXPOSED SURFACES AND EDGES.
- PLASTIC LAMINATE ON 3/4" PARTICLE BOARD, UON.
- SEE INTERIOR ELEVATIONS FOR DIMENSIONS NOT NOTED.
- OPEN CABINETS TO HAVE THE SAME FINISH ON THE INTERIOR OF THE CABINET AS THE EXTERIOR, UON.
- ALL VOIDS CREATED BY VERTICAL FILLER PANELS AT TOP OF TALL CABINETS AND BOTTOM OF WALL CABINETS ARE TO BE INFILLED WITH FILLER PANELS TO MATCH ADJACENT SURFACES.
- REFER TO FINISHES LEGEND ON SHEET I100 FOR CASEWORK FINISHES DESIGNATED IN BRACKETS (XXX).
- REFER TO INTERIOR ELEVATIONS FOR FINISHES NOT SPECIFICALLY CALLED OUT ON CASEWORK SECTIONS.

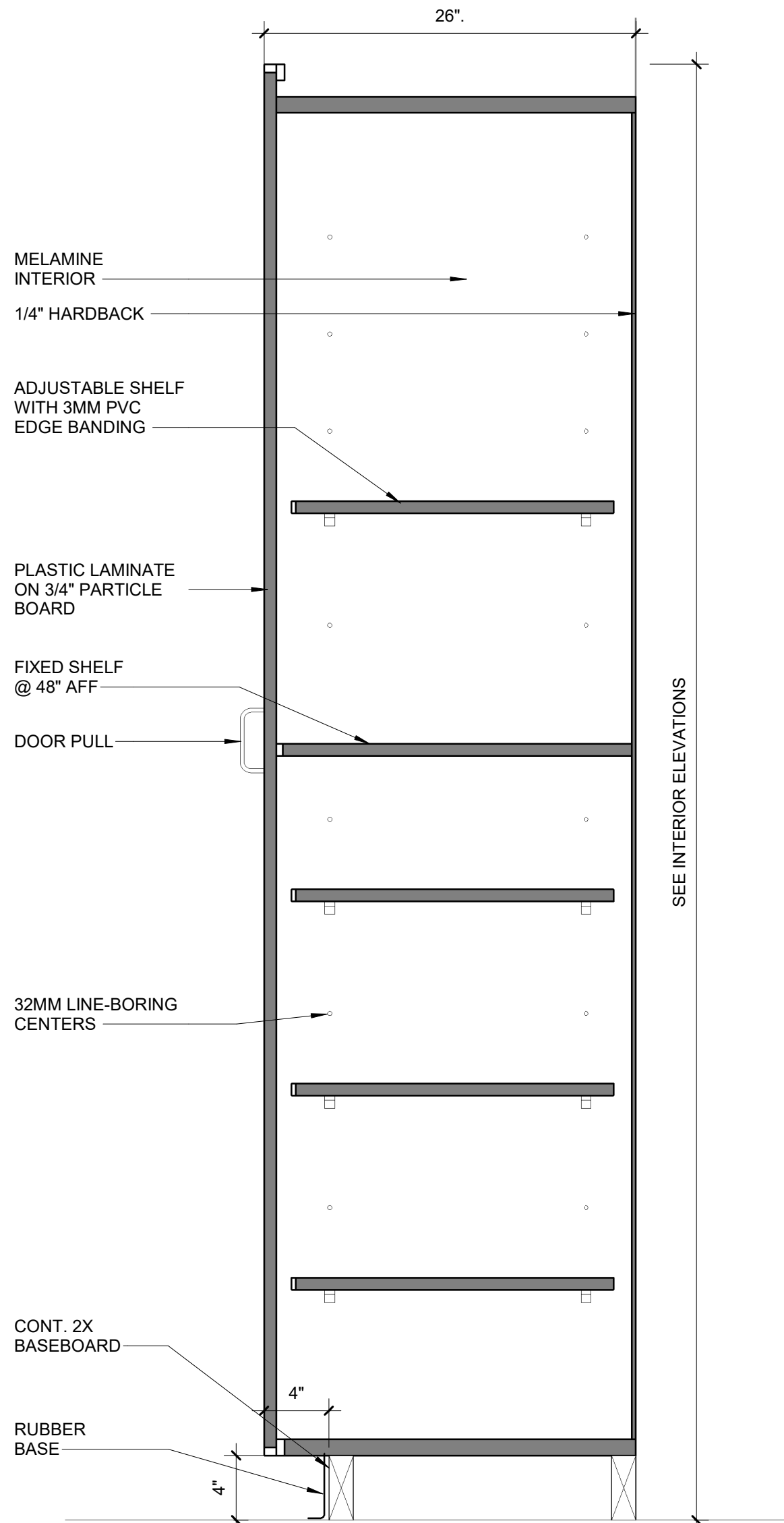


E7 COUNTERTOP - SOLID SURFACE
3" = 1'-0"

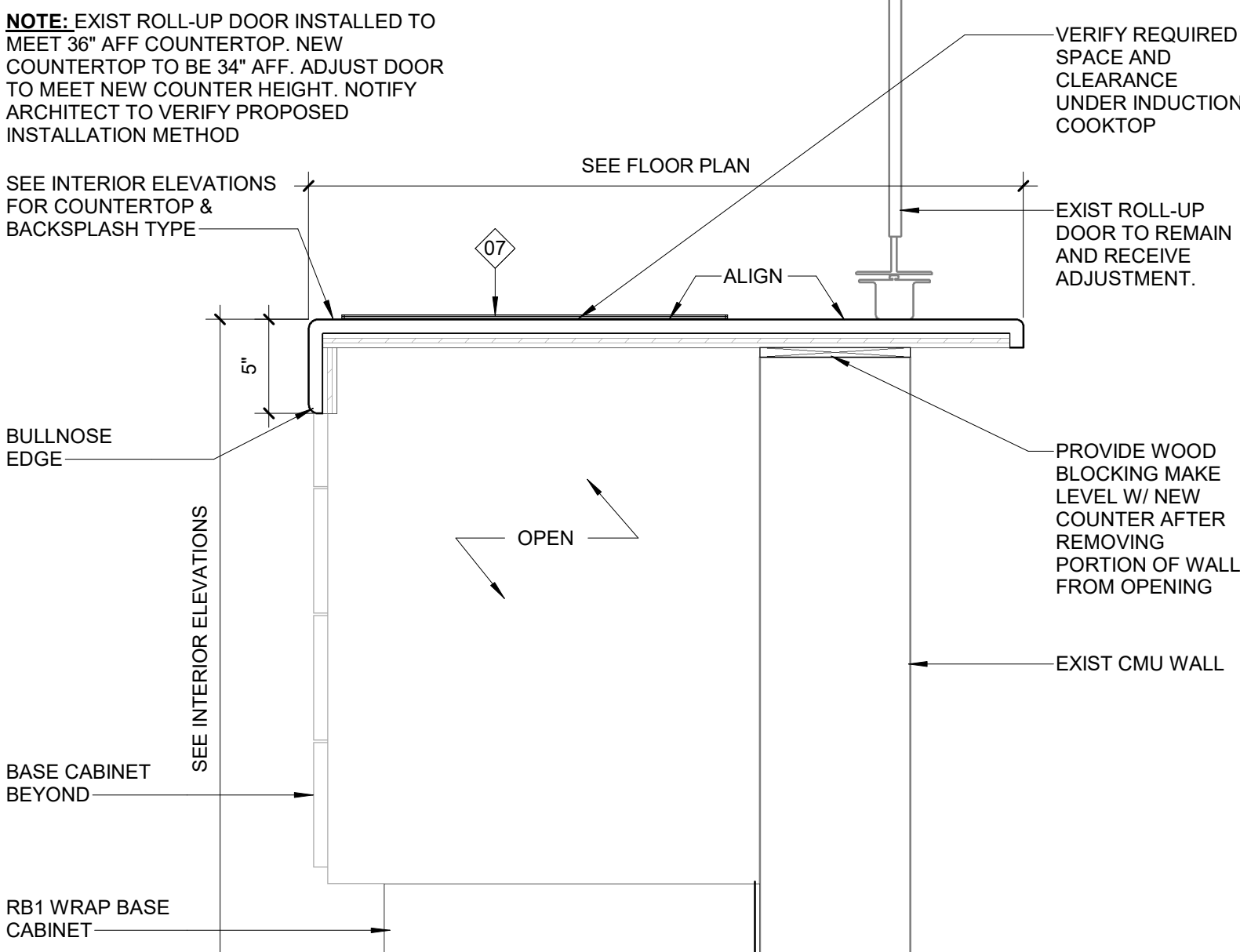


PLAM COUNTERTOP

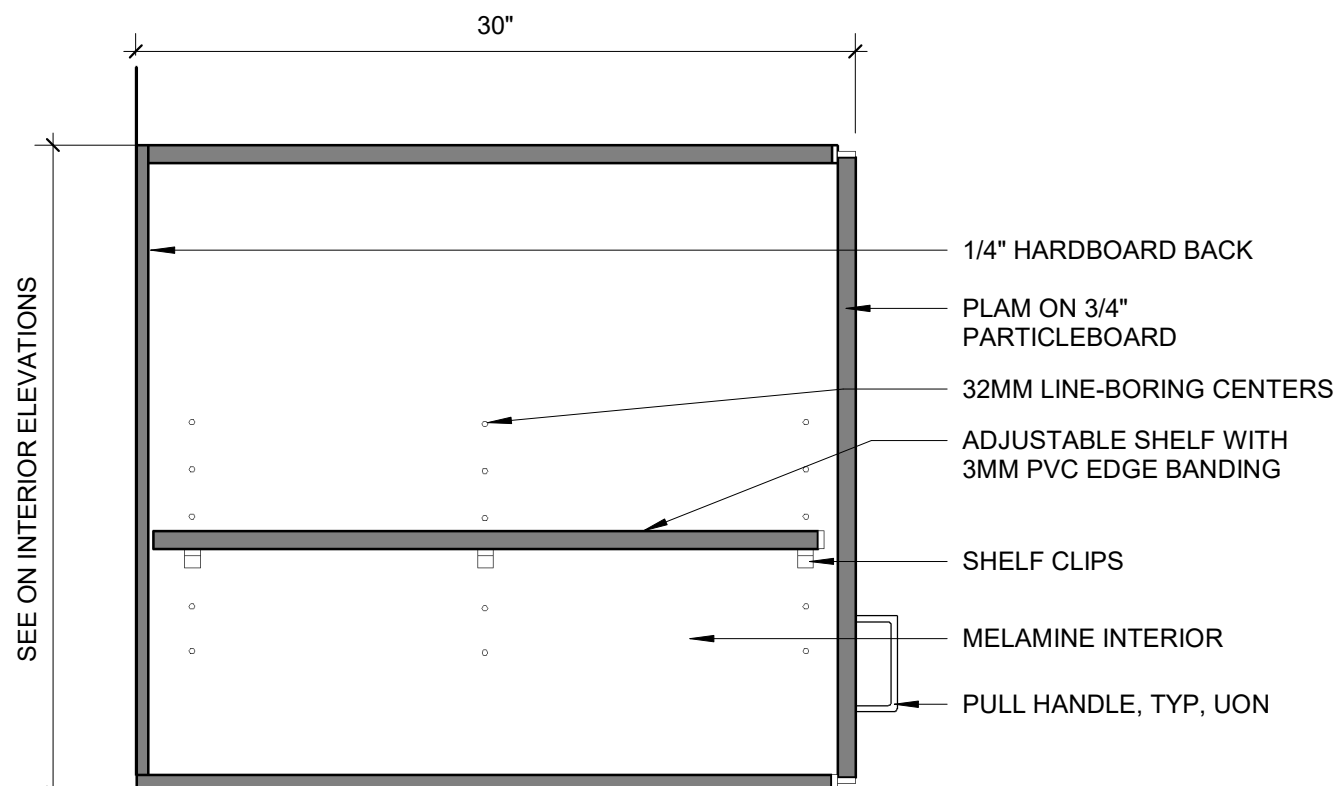
C7 COUNTERTOP - PLAM
3" = 1'-0"



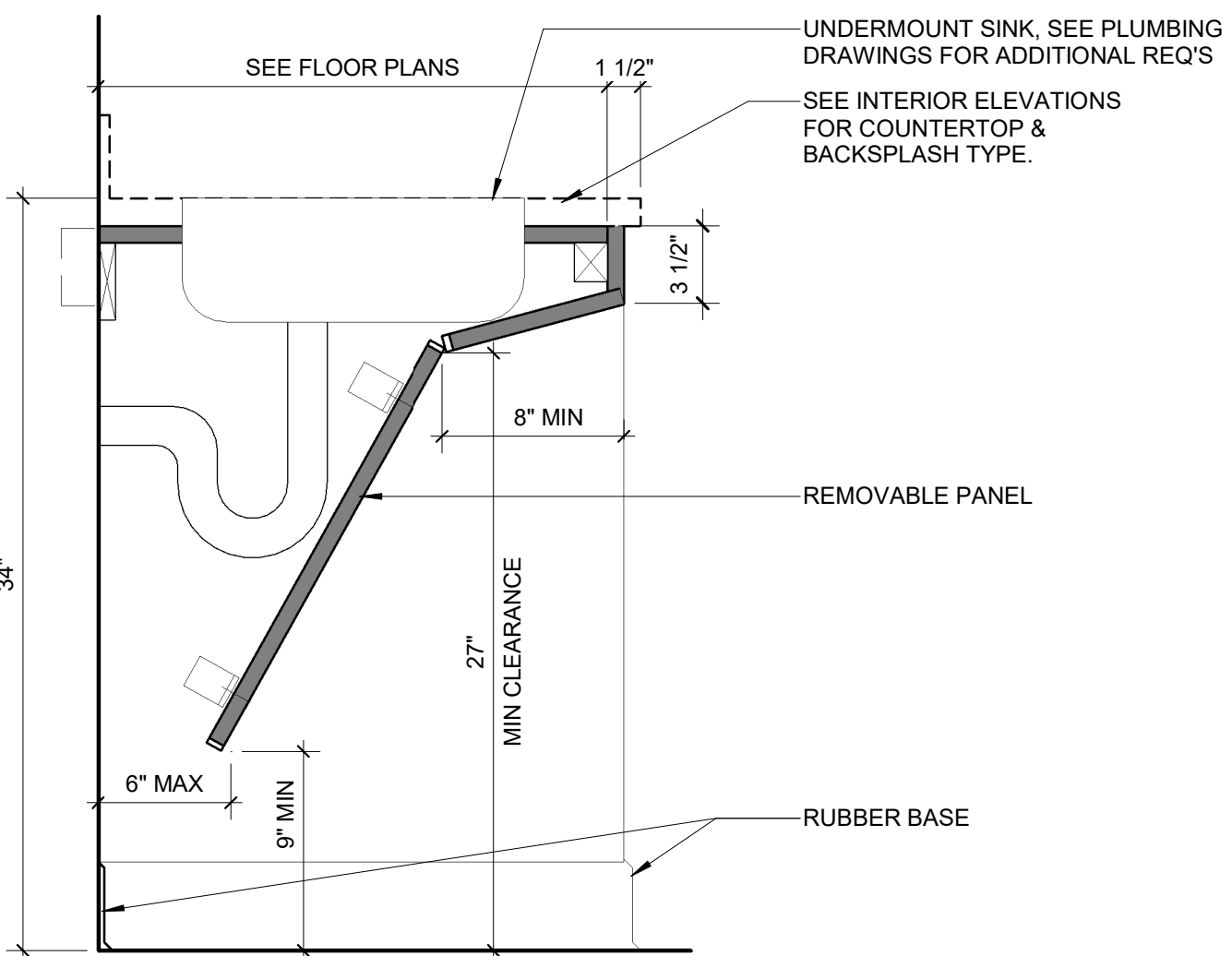
C5 PANTRY SECTION
1 1/2" = 1'-0"



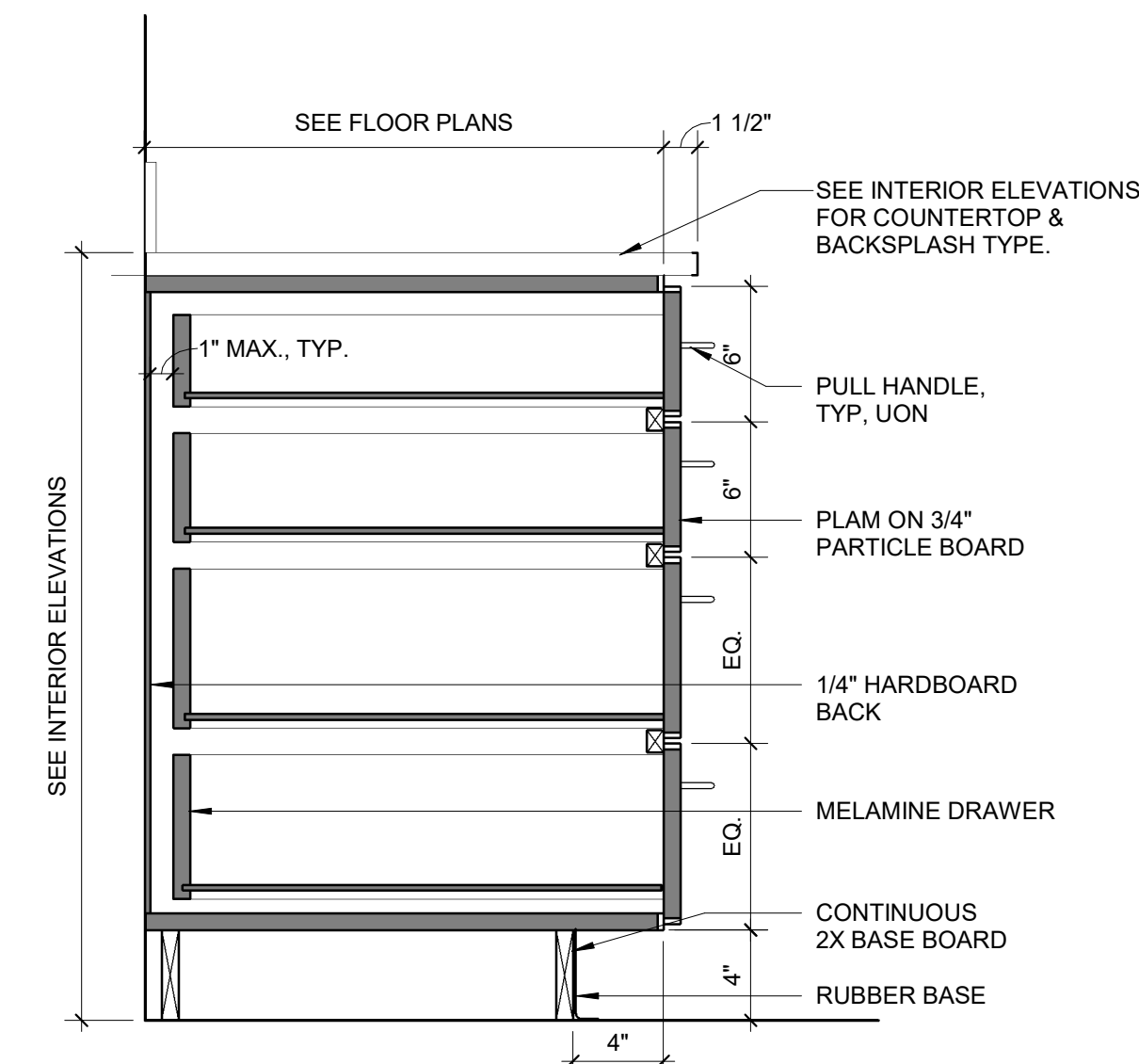
A5 KITCHEN OPENING SECTION
1 1/2" = 1'-0"



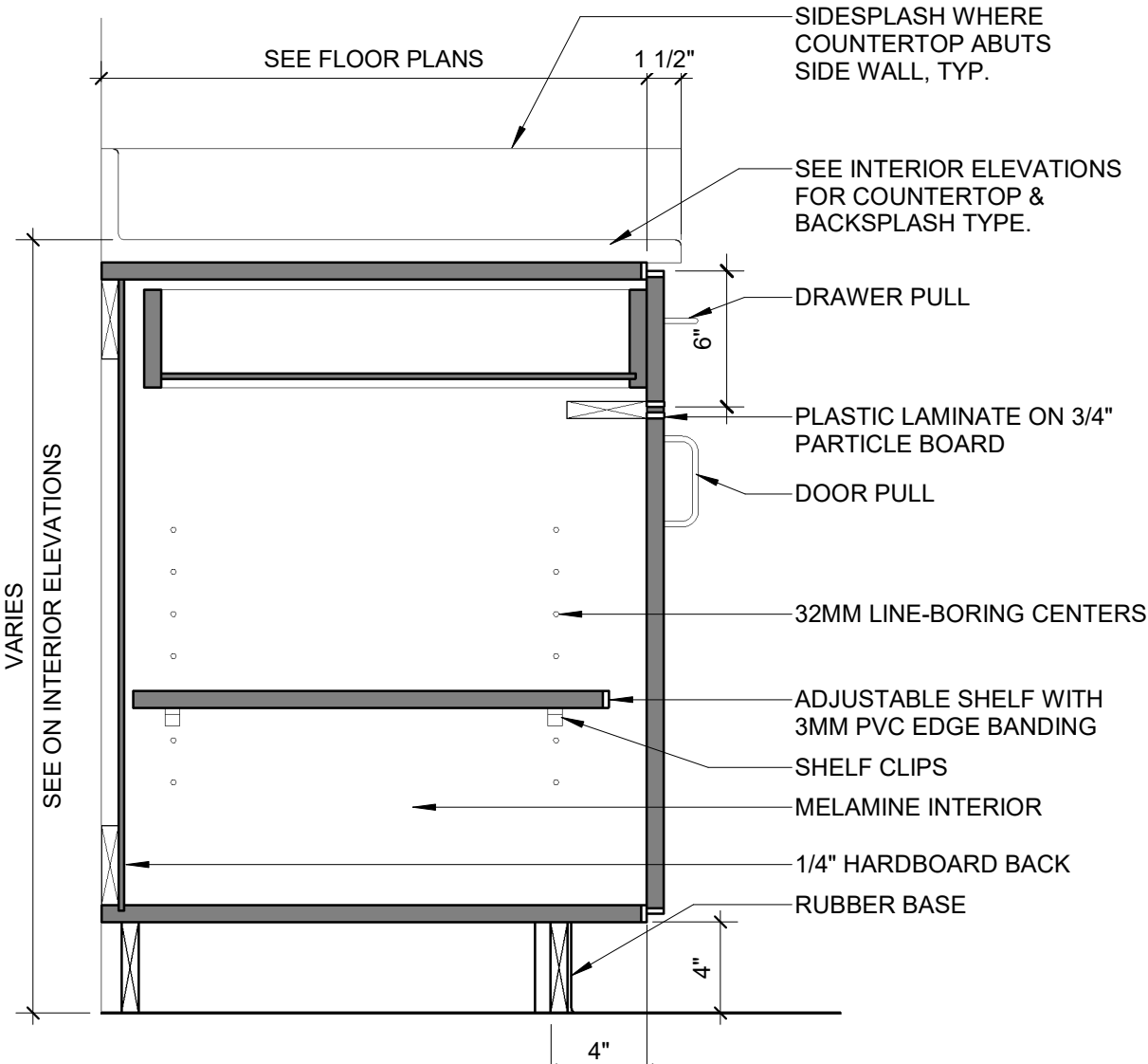
F3 WALL CABINET ABOVE FRIDGE
1 1/2" = 1'-0"



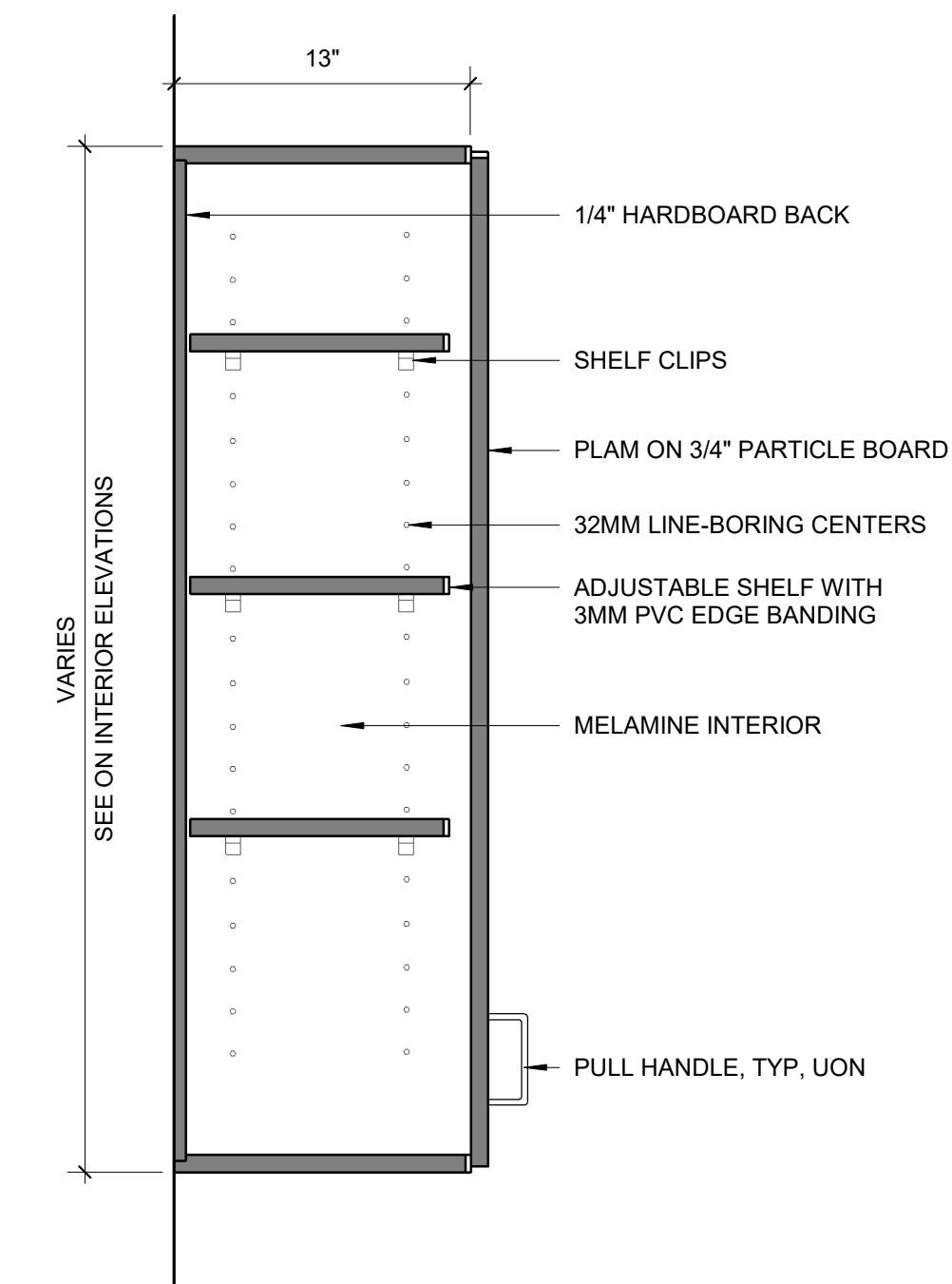
C3 BASE CABINET - SINK W/ KNEE APRON
1 1/2" = 1'-0"



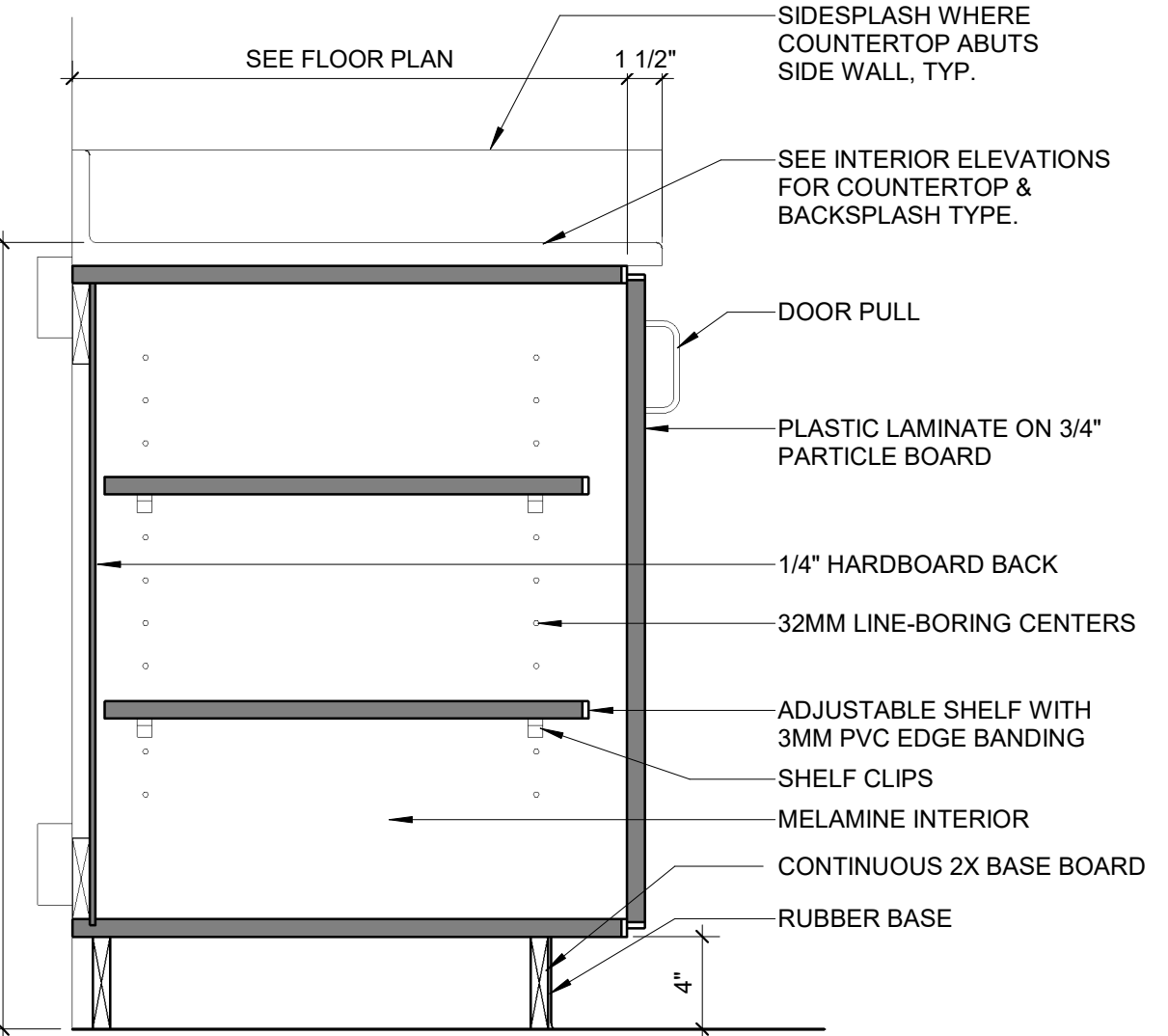
A3 FOUR DRAWER BASE CABINET
1 1/2" = 1'-0"



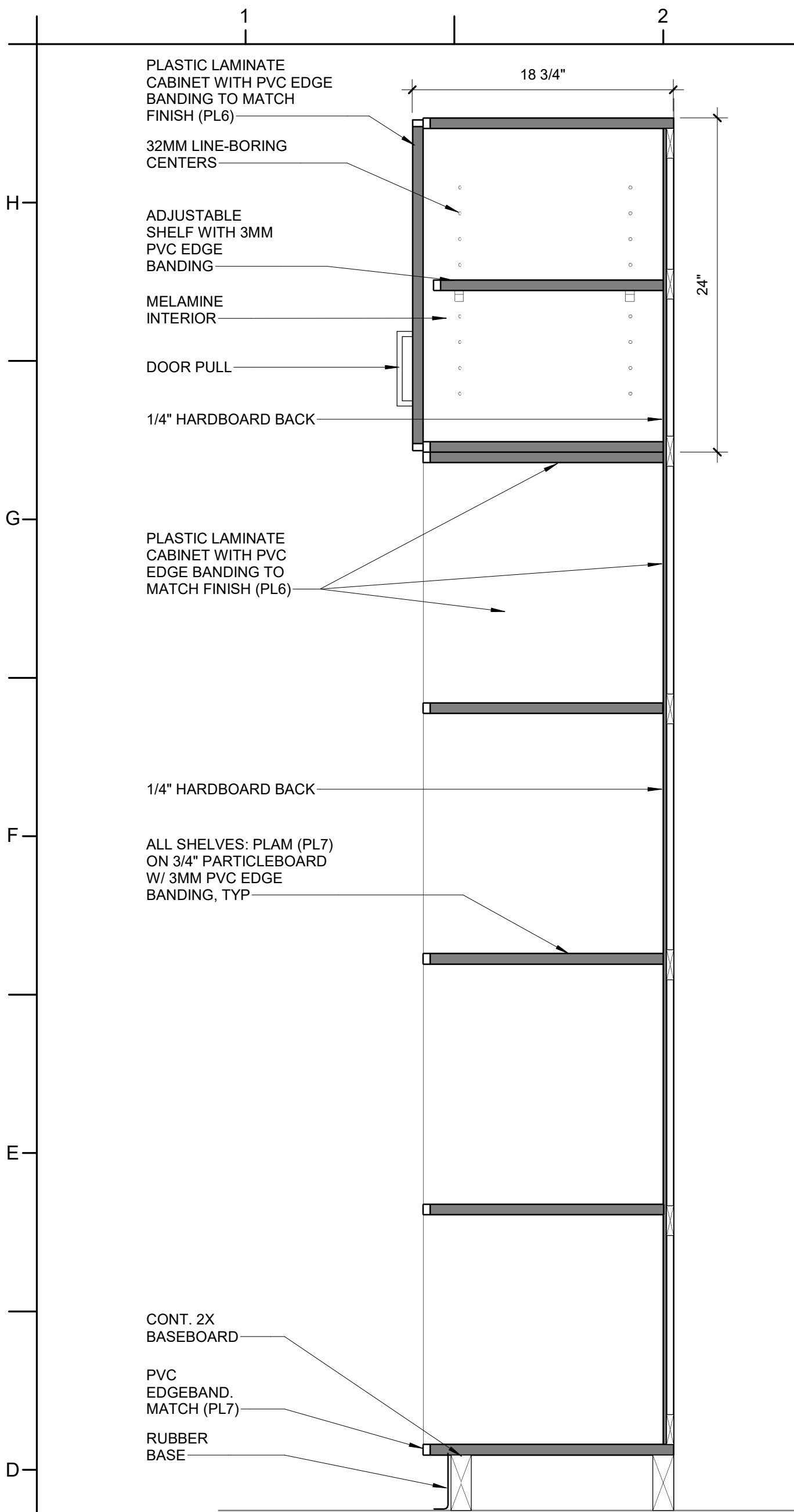
F1 BASE CABINET - DOORS & SHELVING
1 1/2" = 1'-0"



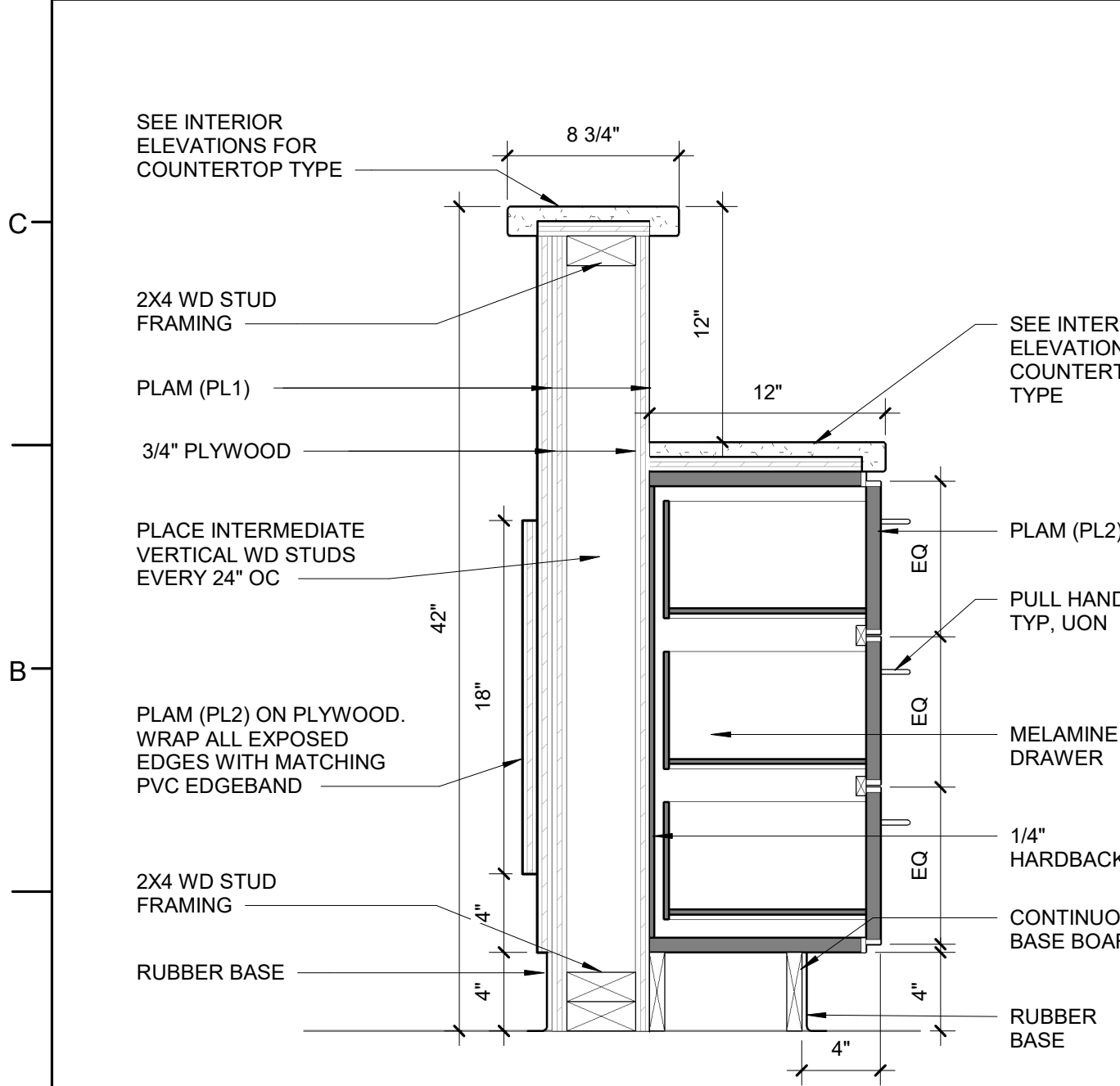
C1 TYP. WALL CABINET
1 1/2" = 1'-0"



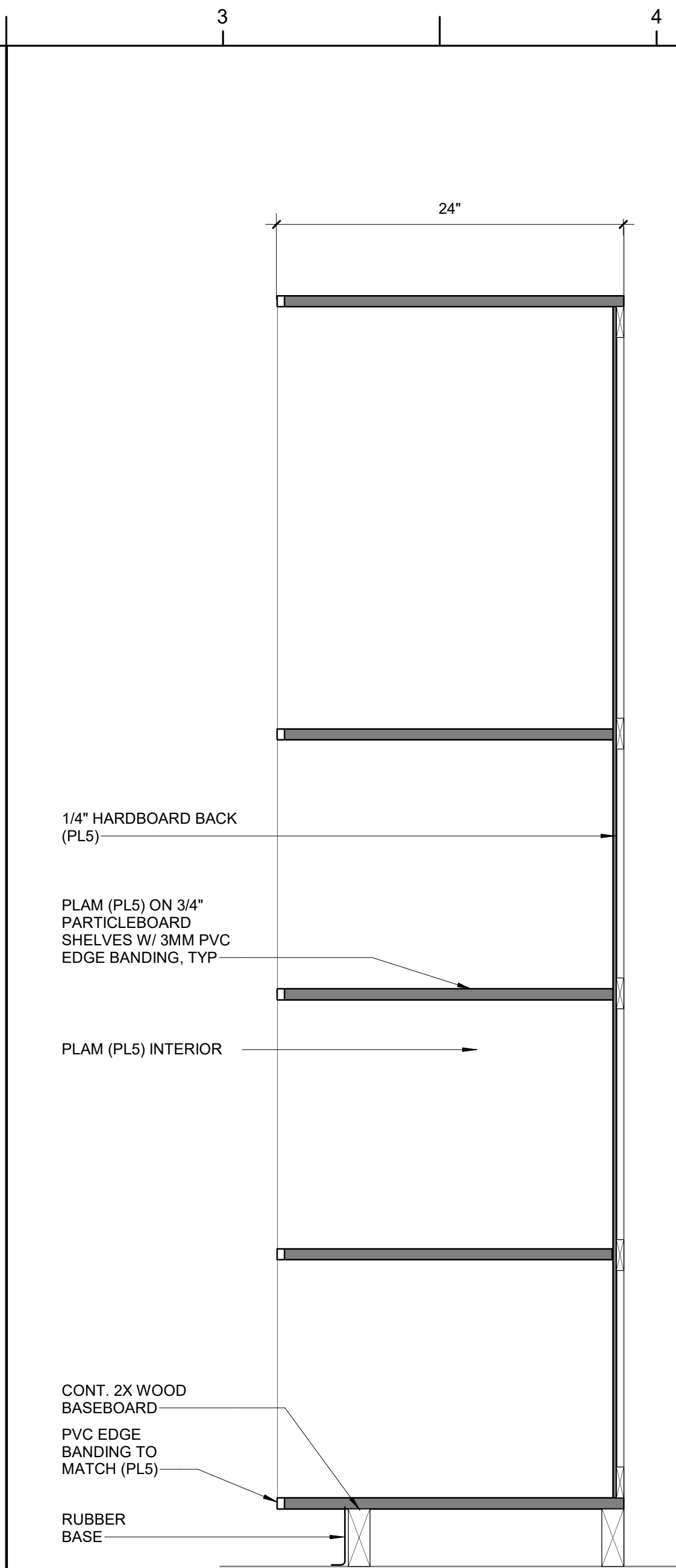
A1 BASE CABINET - SHELVING
1 1/2" = 1'-0"



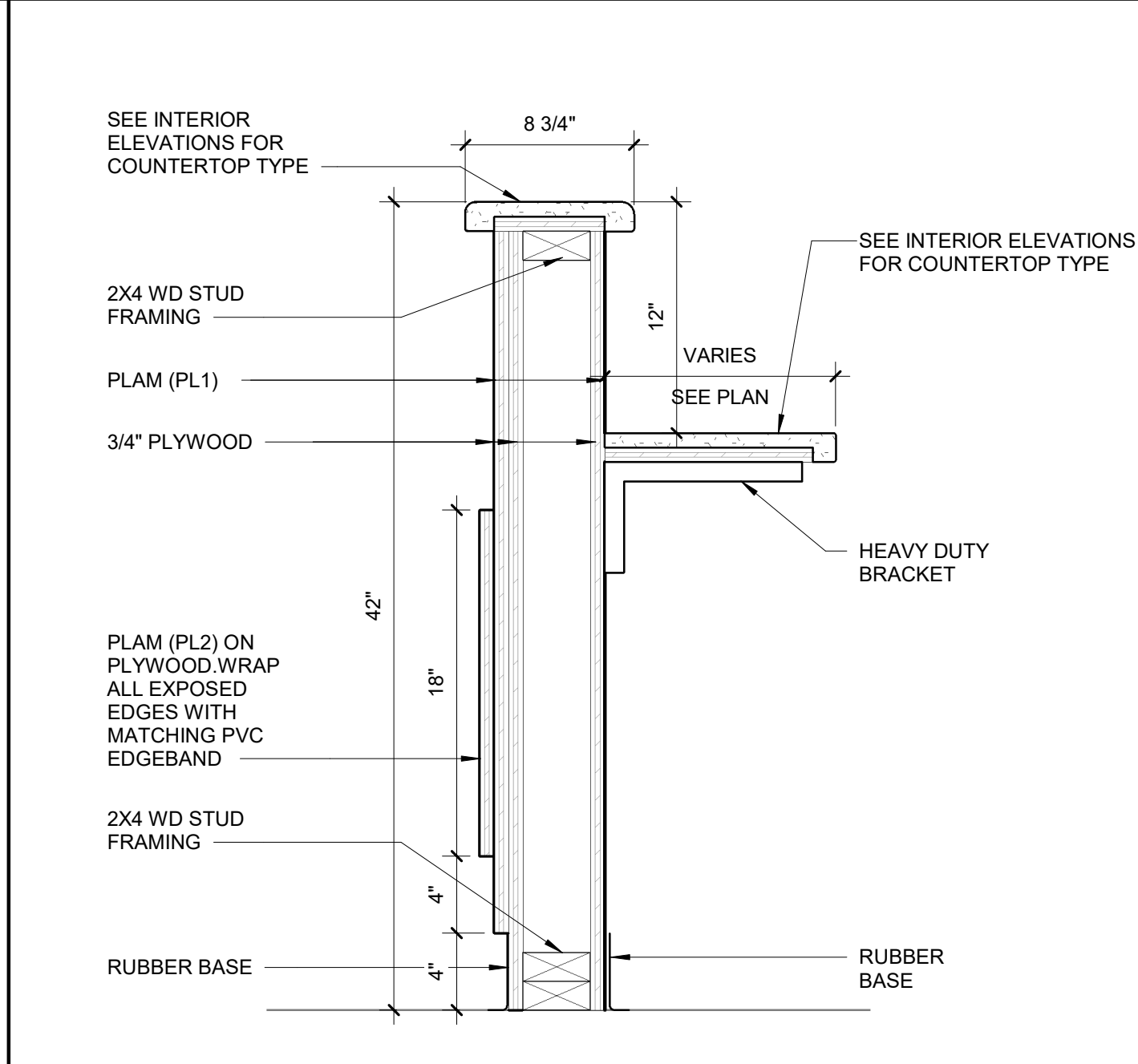
D1 CUBBY AND CABINET SECTION
1 1/2" = 1'-0"



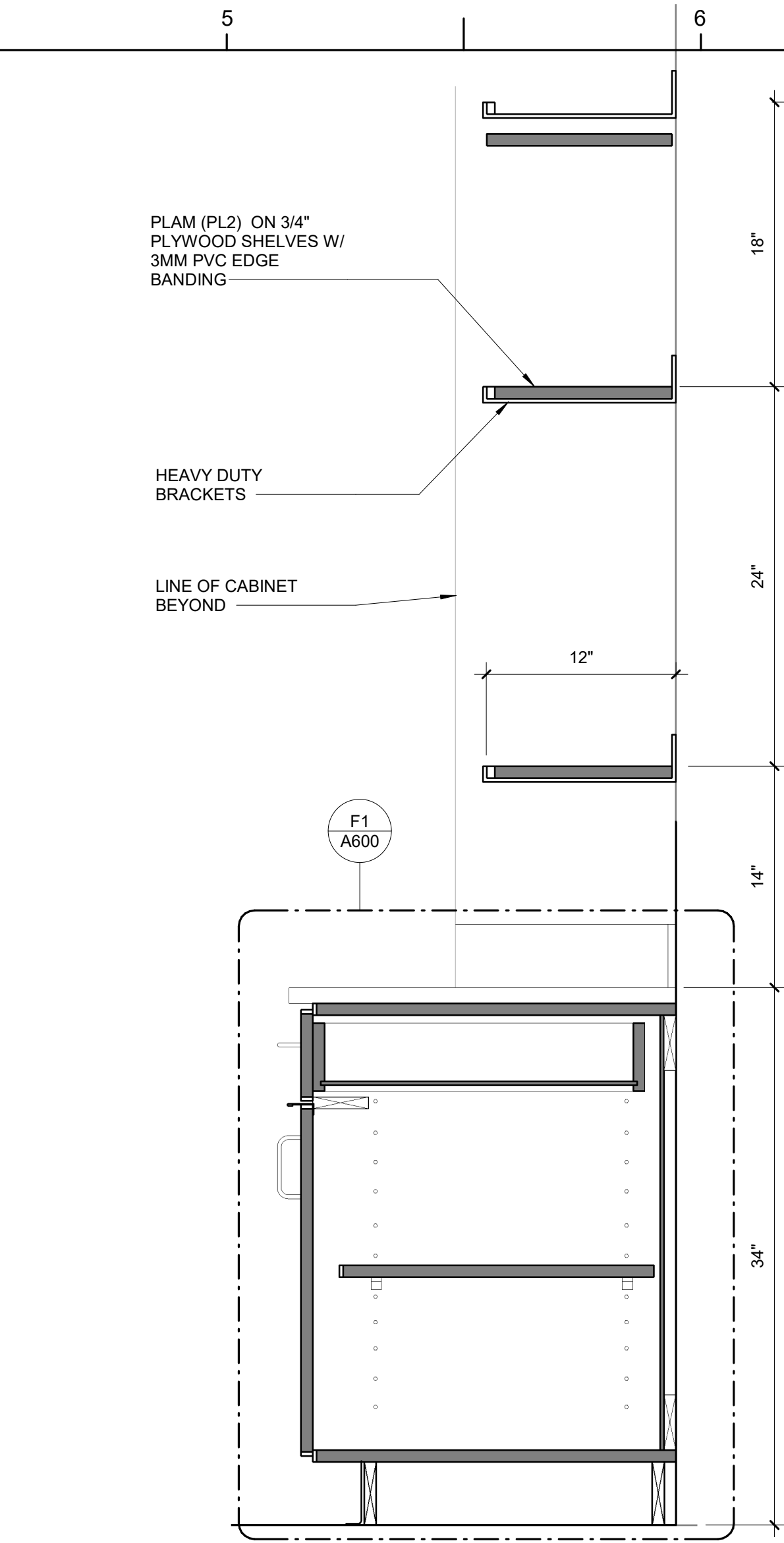
A1 RECEPTION DESK SECTION
1 1/2" = 1'-0"



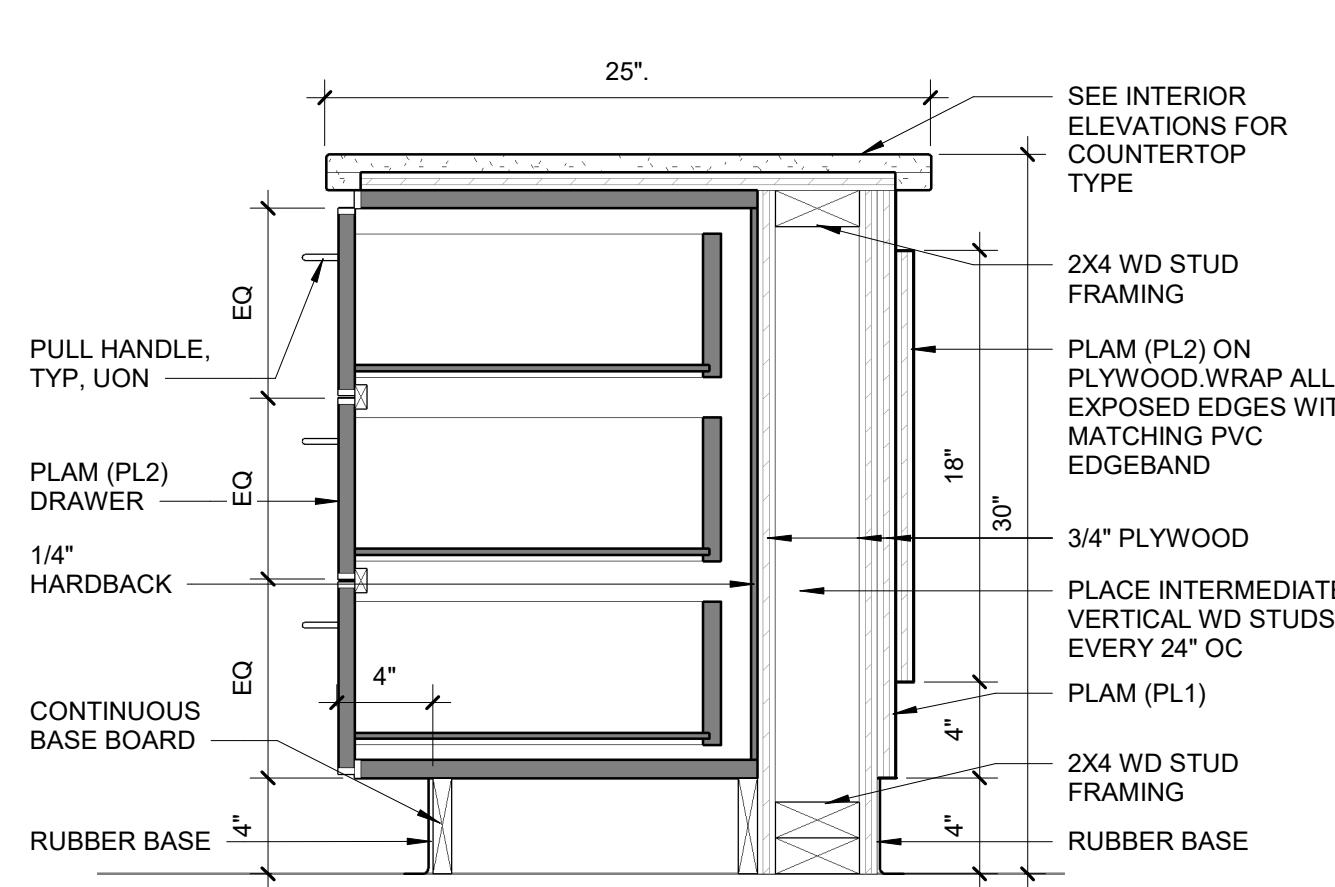
D3 CUBBY SECTION
1 1/2" = 1'-0"



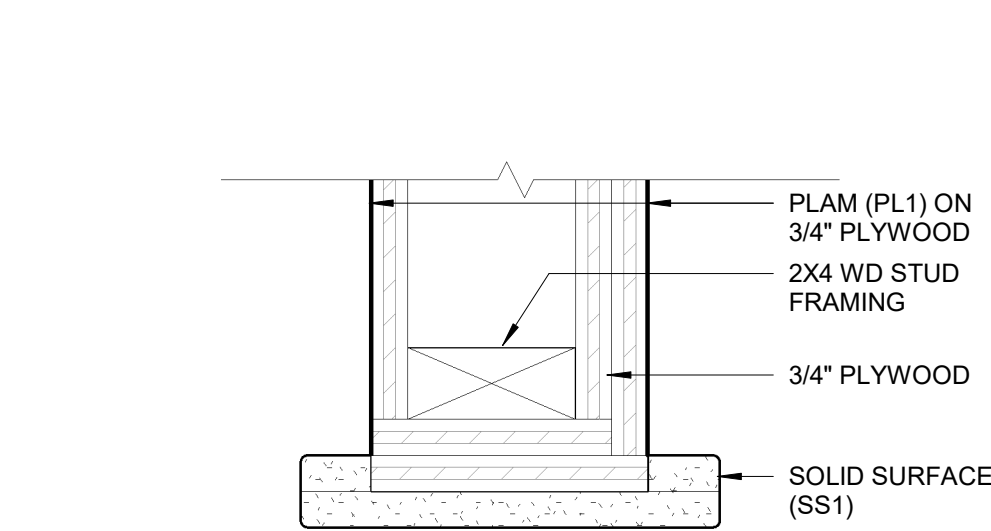
A3 RECEPTION DESK SECTION
1 1/2" = 1'-0"



D4 SHELVING SECTION
1 1/2" = 1'-0"



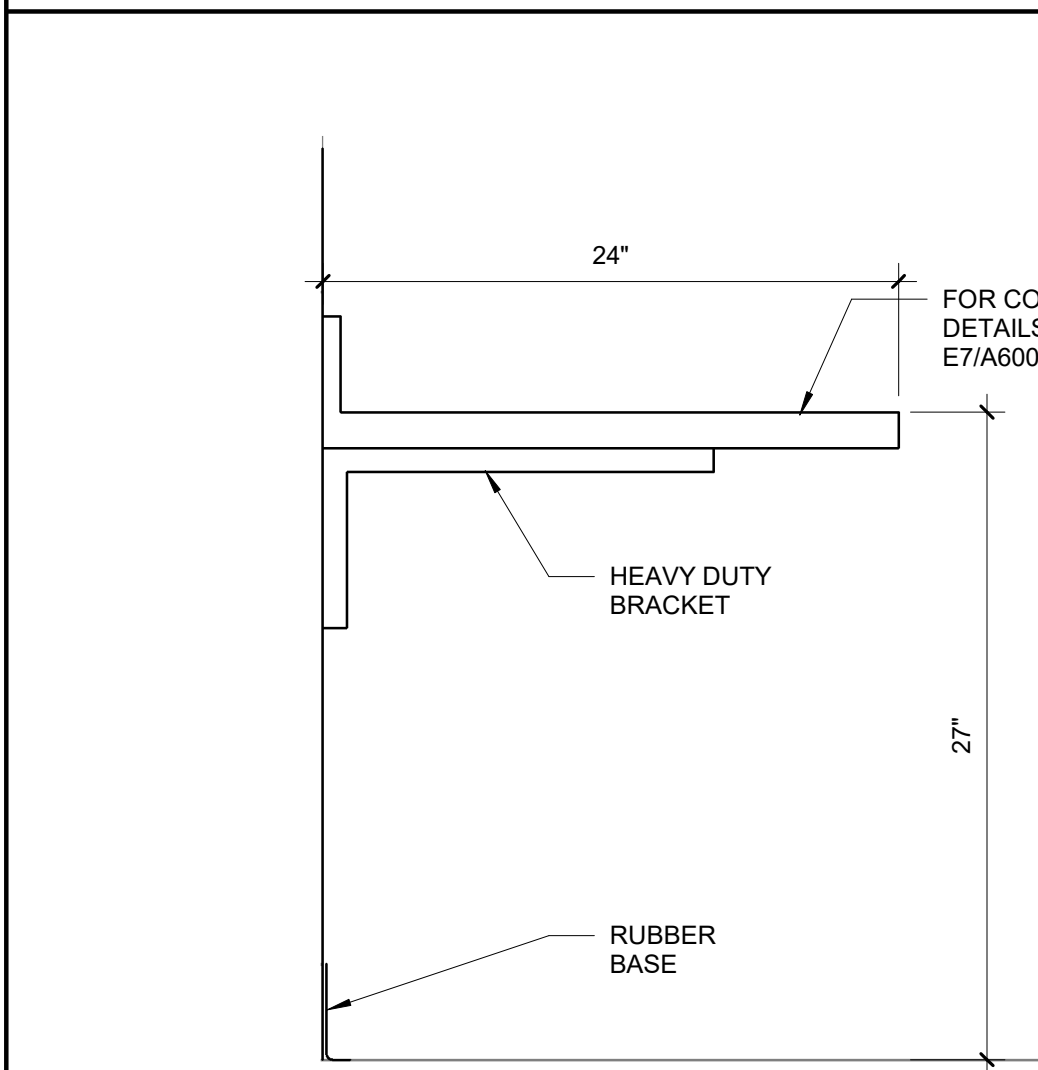
B5 RECEPTION DESK SECTION
1 1/2" = 1'-0"



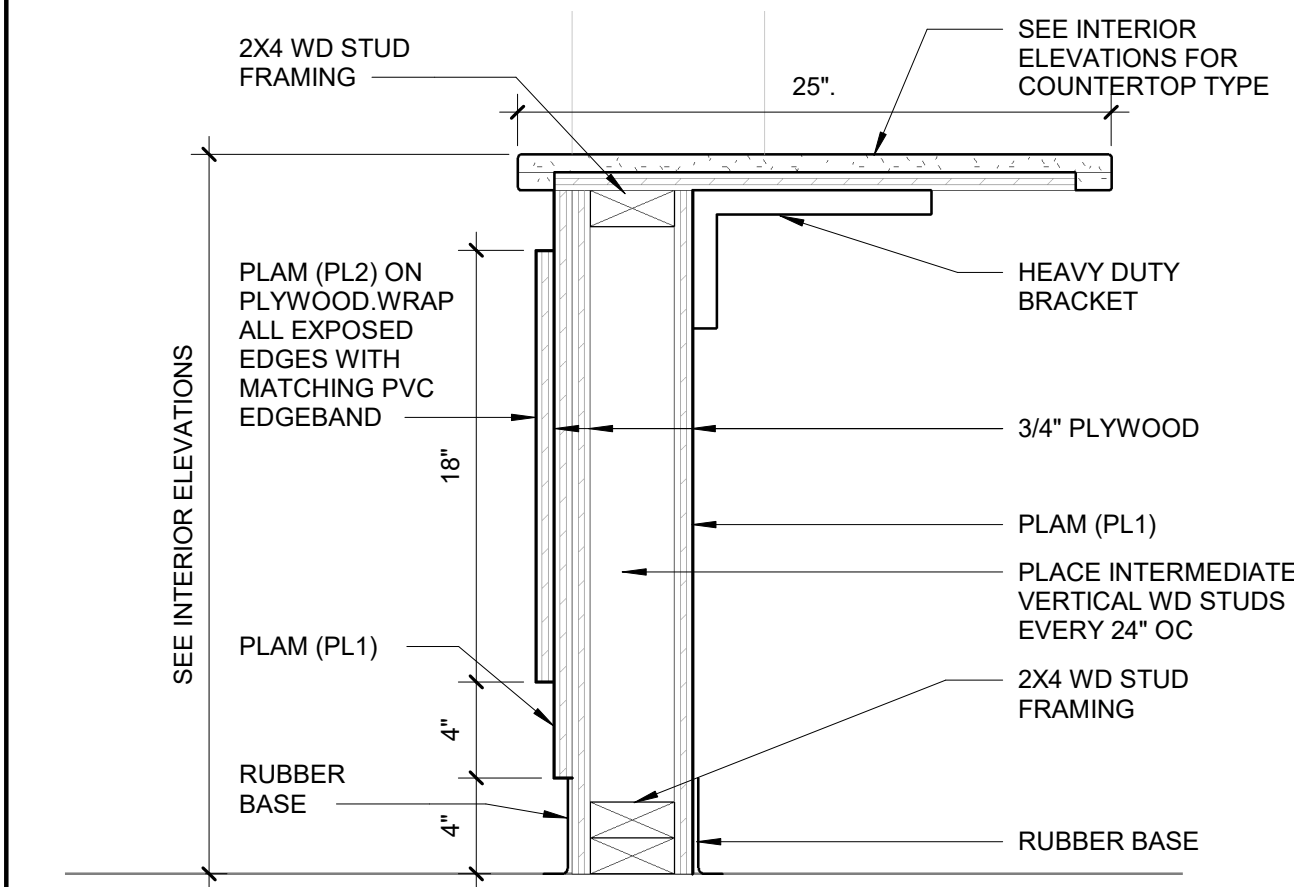
A5 SOLID SURFACE EDGE PLAN DETAIL
3" = 1'-0"

CASEWORK GENERAL NOTES:

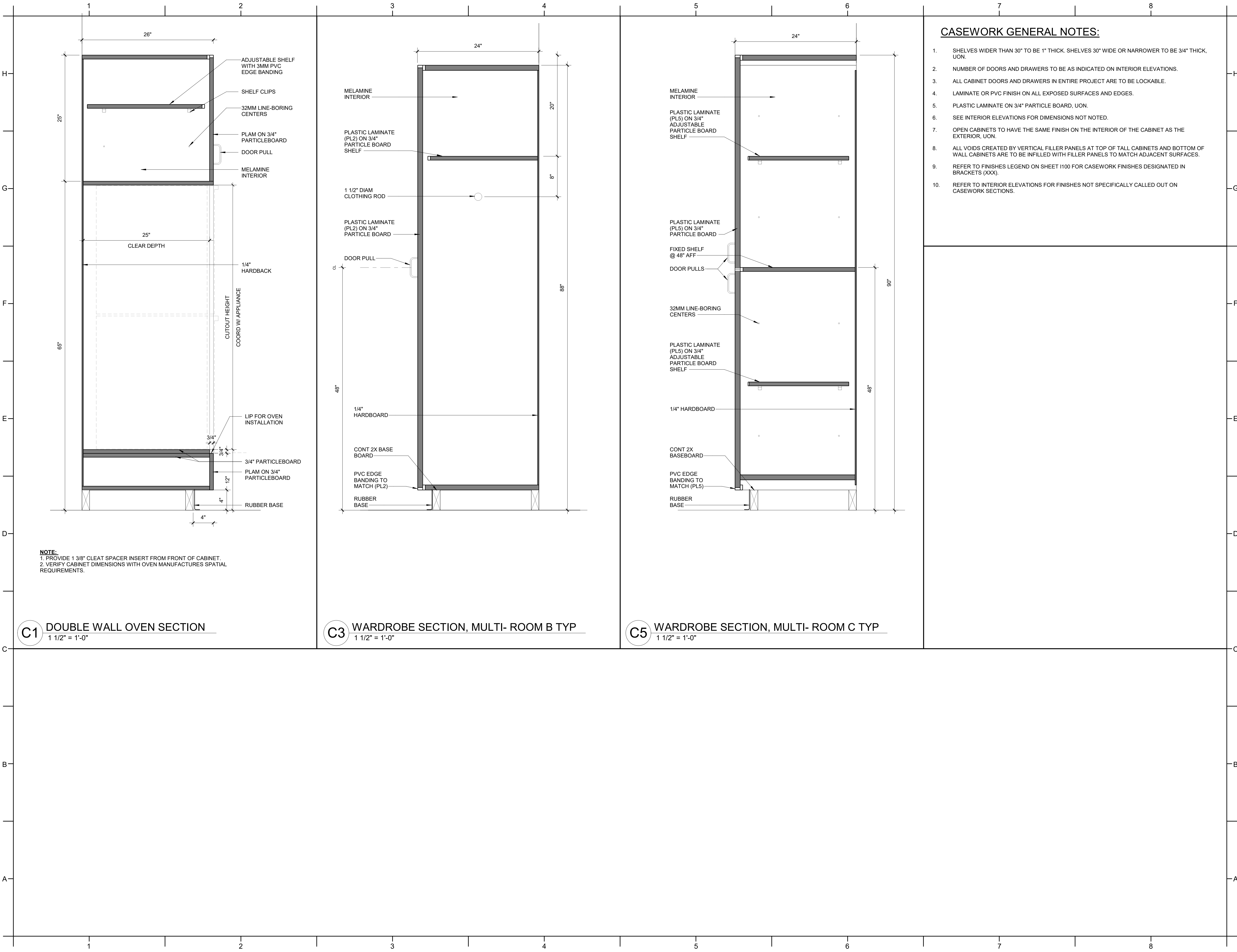
1. SHELVES WIDER THAN 30" TO BE 1" THICK. SHELVES 30" WIDE OR NARROWER TO BE 3/4" THICK, UON.
2. NUMBER OF DOORS AND DRAWERS TO BE AS INDICATED ON INTERIOR ELEVATIONS.
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4. LAMINATE OR PVC FINISH ON ALL EXPOSED SURFACES AND EDGES.
5. PLASTIC LAMINATE ON 3/4" PARTICLE BOARD, UON.
6. SEE INTERIOR ELEVATIONS FOR DIMENSIONS NOT NOTED.
7. OPEN CABINETS TO HAVE THE SAME FINISH ON THE INTERIOR OF THE CABINET AS THE EXTERIOR, UON.
8. ALL VOIDS CREATED BY VERTICAL FILLER PANELS AT TOP OF TALL CABINETS AND BOTTOM OF WALL CABINETS ARE TO BE INFILLED WITH FILLER PANELS TO MATCH ADJACENT SURFACES.
9. REFER TO FINISHES LEGEND ON SHEET I100 FOR CASEWORK FINISHES DESIGNATED IN BRACKETS (XXX).
10. REFER TO INTERIOR ELEVATIONS FOR FINISHES NOT SPECIFICALLY CALLED OUT ON CASEWORK SECTIONS.



D7 OFFICE DESK SECTION
1 1/2" = 1'-0"



B7 RECEPTION DESK SECTION
1 1/2" = 1'-0"



PROJECT INFORMATION

PEACH ROAD
CENTER
RENOVATION
CITY OF RALEIGH
COR ID: 274-PR-PEACH 2023
911 Illeagnes Rd.
Raleigh, NC 27603

SEALS



DKA JOB NUMBER

2319

REVISIONS

NO.	DESCRIPTION

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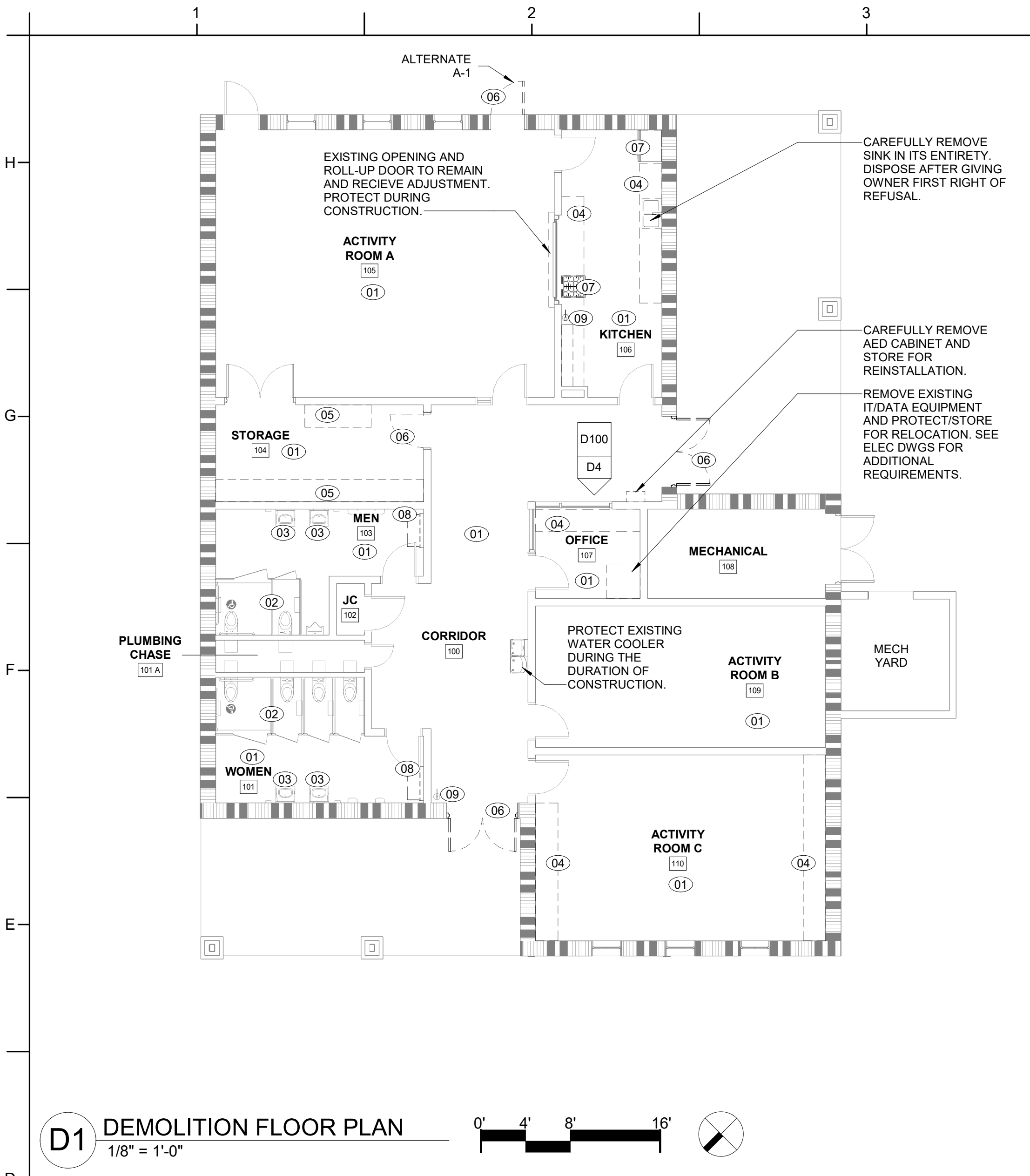
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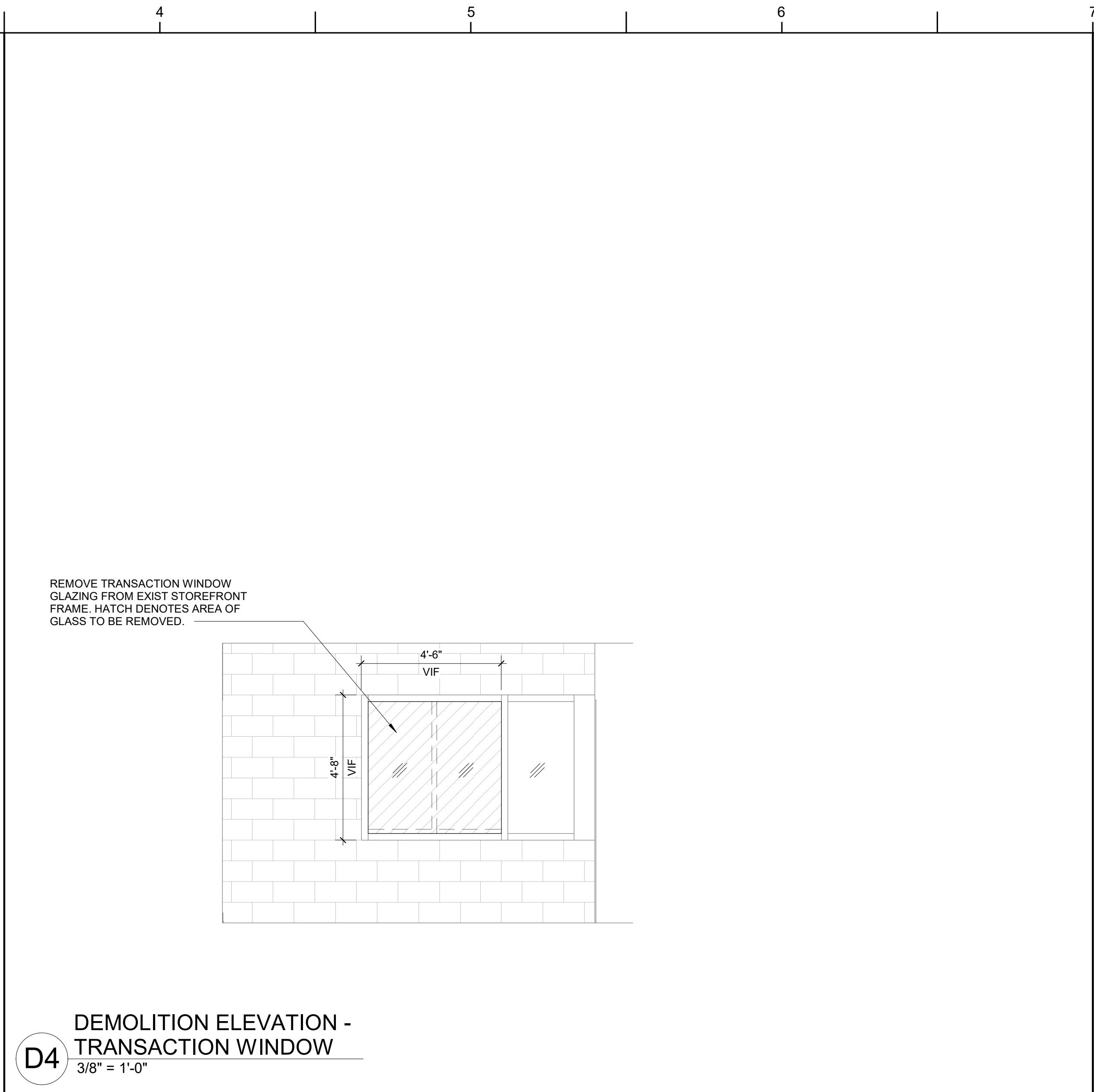
PERMIT SET
10/30/2023

SHEET TITLE
CASEWORK
DETAILS

A602



D1 DEMOLITION FLOOR PLAN
1/8" = 1'-0"



D4 DEMOLITION ELEVATION - TRANSACTION WINDOW
3/8" = 1'-0"

DEMOLITION PLAN KEY NOTES

NOTE: KEY NOTES SUPPLEMENT INFORMATION FOUND ELSEWHERE IN THE DRAWINGS. SEE PLANS FOR KEYED ITEM LOCATIONS. SEE SHEET A001 FOR SELECTIVE DEMOLITION GENERAL NOTES.

NUMBER	DESCRIPTION
01	DEMOLISH EXISTING FLOOR FINISH AND BASE. DEMO TO INCLUDE ALL ADHESIVES TO PROVIDE CLEAN AND SMOOTH SUBFLOOR FOR NEW WORK.
02	CAREFULLY REMOVE & PROTECT EXISTING TOILETS AND TOILET PARTITIONS FOR THE DURATION OF CONSTRUCTION TO BE REINSTALLED IN THE SAME LOCATION.
03	EXISTING SINKS TO REMAIN. REMOVE EXISTING PIPE COVER AND PREP FOR NEW REPLACEMENT.
04	DEMOLISH CASEWORK AND ACCESSORIES IN ITS ENTIRETY.
05	DEMOLISH STORAGE SHELVING UNITS IN THEIR ENTIRETY.
06	DEMOLISH EXIST DOOR AND PREP OPENING FOR NEW DOOR.
07	CAREFULLY REMOVE EXISTING APPLIANCES IN THEIR ENTIRETY. DISPOSE AFTER GIVING OWNER FIRST RIGHT OF REFUSAL.
08	CAREFULLY REMOVE CHANGING STATION IN ITS ENTIRETY. DISPOSE AFTER GIVING OWNER FIRST RIGHT OF REFUSAL.
09	CAREFULLY REMOVE AND STORE FIRE EXTINGUISHER FOR REQUIREMENTS.

PEACH ROAD
CENTER
RENOVATION
CITY OF RALEIGH
COR ID: 274-PR-PEACH 2023
911 Ileagnes Rd.
Raleigh, NC 27603

SEALS

DAVIS KANE ARCHITECTS, P.A.
50304
RALEIGH, NC

JIMMY ARDEL EDWARDS
13823
RALEIGH, NC

DKA JOB NUMBER

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DATE ISSUED

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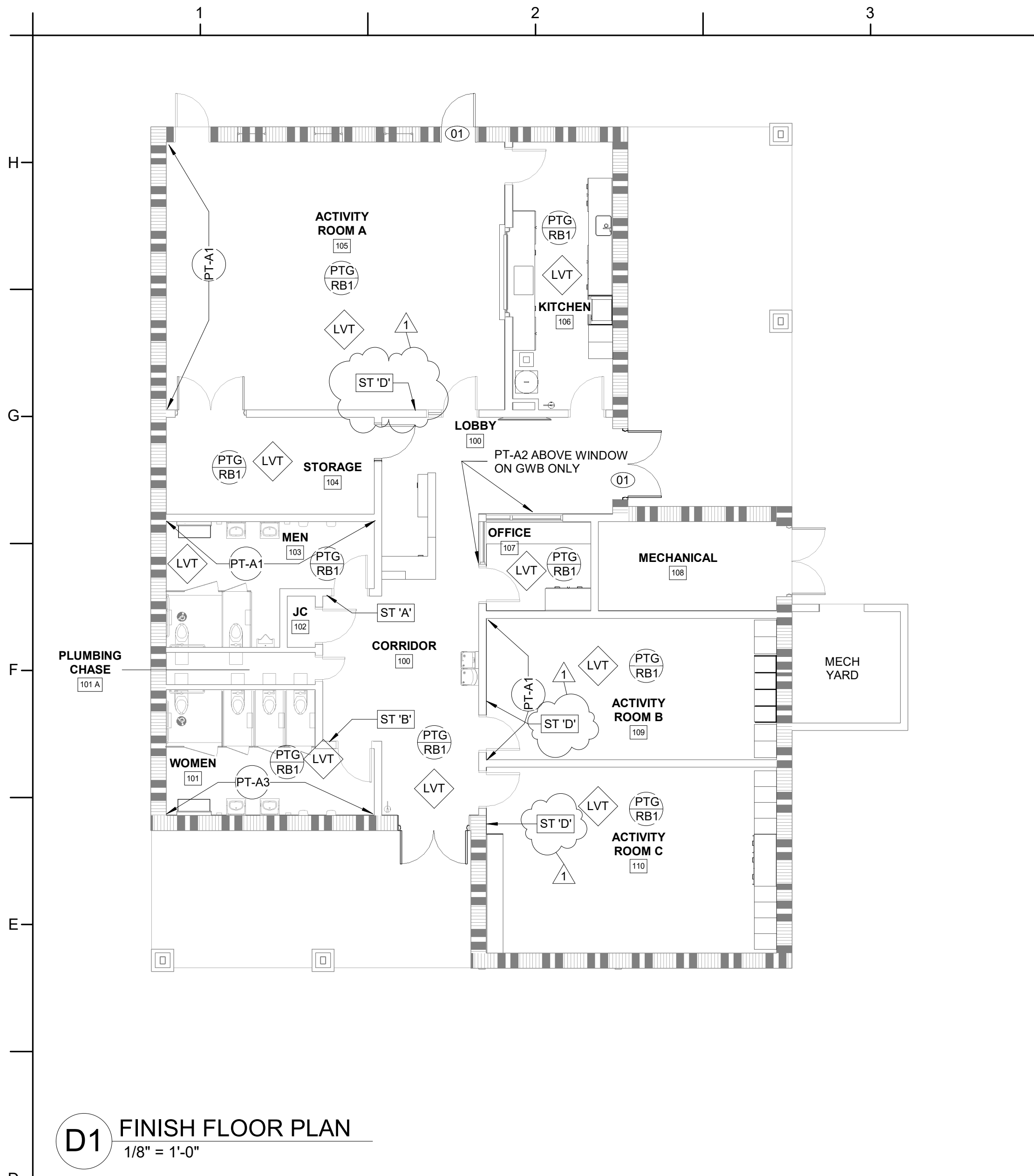
DEMOLITION PLANS
& DETAILS

D100

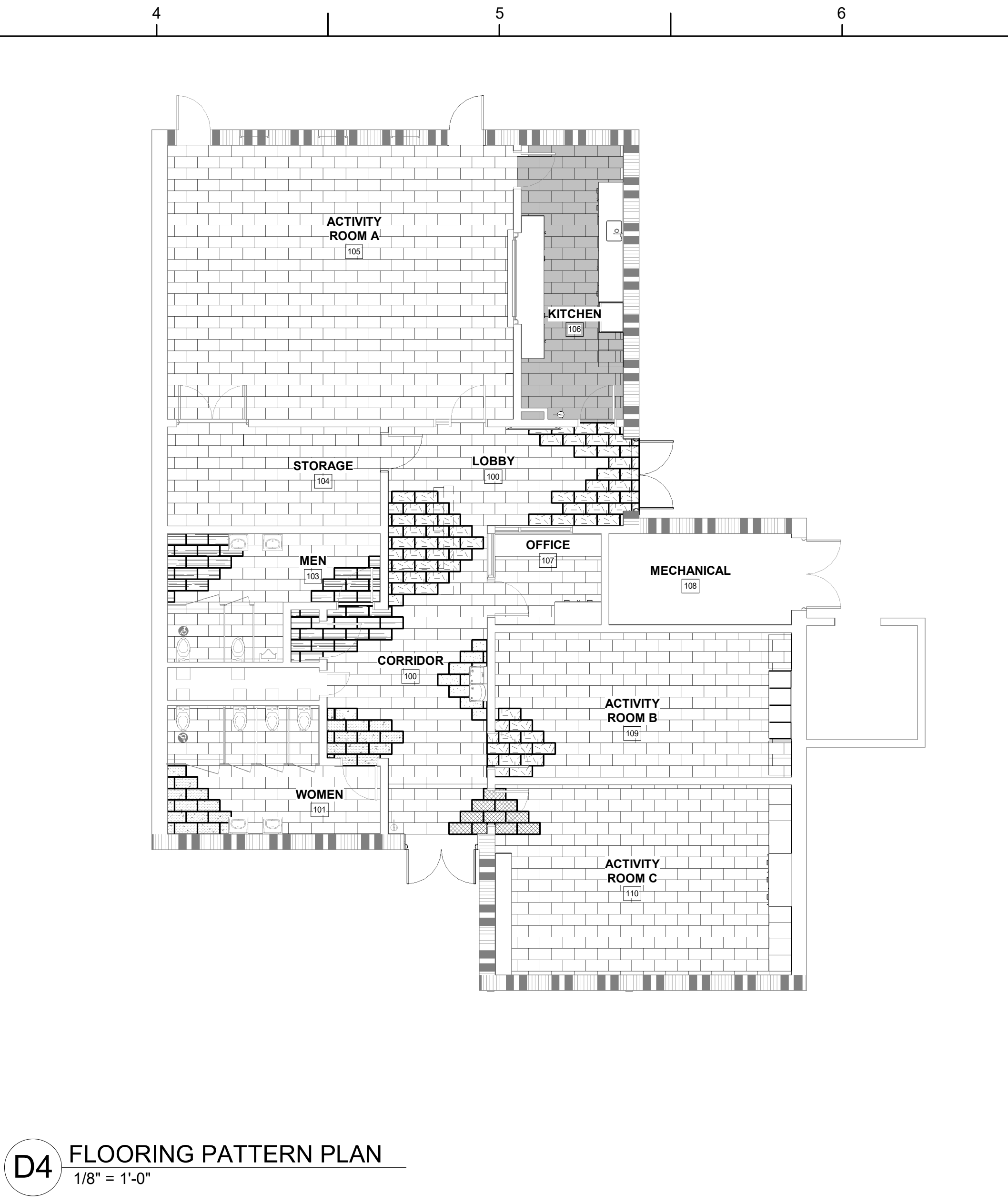
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JT
BG

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D1 FINISH FLOOR PLAN
1/8" = 1'-0"



D4 FLOORING PATTERN PLAN
1/8" = 1'-0"

INTERIOR FINISHES LEGEND					
NUMBER CATEGORY	NUMBER	B.O.D. MANUFACTURER	PATTERN/COLOR	NOTES	AVAILABLE MANUFACTURERS
BASE	RB1	JOHNSONITE	92 - BLUE LAGOON	THERMOPLASTIC RUBBER WALL BASE; TYPE TP KITCHEN FLOOR	FLEXCO, ROPPE, MANNINGTON
LUXURY VINYL TILE	LVT A1	MANNINGTON	COLOR ANCHOR TRUFFLE		JJ FLOORING, ARMSTRONG FLOORING, TARKETT/JOHNSONITE
LUXURY VINYL TILE	LVT A2	MANNINGTON	COLOR ANCHOR SQUASH BLOSSOM		JJ FLOORING, ARMSTRONG FLOORING, TARKETT/JOHNSONITE
LUXURY VINYL TILE	LVT A3	MANNINGTON	COLOR ANCHOR BIG WAVE		JJ FLOORING, ARMSTRONG FLOORING, TARKETT/JOHNSONITE
LUXURY VINYL TILE	LVT A4	MANNINGTON	COLOR ANCHOR LAGOON		JJ FLOORING, ARMSTRONG FLOORING, TARKETT/JOHNSONITE
LUXURY VINYL TILE	LVT A5	MANNINGTON	COLOR ANCHOR GRANNY SMITH		JJ FLOORING, ARMSTRONG FLOORING, TARKETT/JOHNSONITE
LUXURY VINYL TILE	LVT A6	MANNINGTON	COLOR ANCHOR MILK THISTLE		JJ FLOORING, ARMSTRONG FLOORING, TARKETT/JOHNSONITE
LUXURY VINYL TILE	LVTG	MANNINGTON	COLOR ANCHOR FLANNEL	FIELD LVT COLOR- SEMI-GLOSS	JJ FLOORING, ARMSTRONG FLOORING, TARKETT/JOHNSONITE
PAINT - ACCENT 1	PT-A1	SHERWIN WILLIAMS	6229 - TEMPE STAR	SEMI-GLOSS	BENJAMIN MOORE, PPG PAINTS, GLIDDEN
PAINT - ACCENT 2	PT-A2	SHERWIN WILLIAMS	6883 - RAUCOUS ORANGE	SEMI-GLOSS	BENJAMIN MOORE, PPG PAINTS, GLIDDEN
PAINT - ACCENT 3	PT-A3	SHERWIN WILLIAMS	6545 - MAJESTIC PURPLE	SEMI-GLOSS	MATCH EXISTING
PAINT - DOOR FRAME	PT-DF	SHERWIN WILLIAMS	6229 - TEMPE STAR	HIGH GLOSS	BENJAMIN MOORE, PPG PAINTS, GLIDDEN
PAINT - GENERAL	PTG	SHERWIN WILLIAMS	7005- PURE WHITE	FIELD WALL COLOR	BENJAMIN MOORE, PPG PAINTS, GLIDDEN
PLASTIC LAMINATE	PL1	FORMICA	7197-58 DOVER WHITE	RECEPTION DESK MAIN LAMINATE	WILSONART, LABDESIGNS
PLASTIC LAMINATE	PL2	WILSONART	Y0357 - INK SOUP	RECEPTION DESK ACCENT PANEL, CUBBY LAMINATE (SEE INT. ELEVATIONS)	FORMICA, LABDESIGNS
PLASTIC LAMINATE	PL3	FORMICA	6127 - MUSLIN FABRIC	KITCHEN CASEWORK, OFFICE CASEWORK	WILSONART, LABDESIGNS
PLASTIC LAMINATE	PL4	FORMICA	6698 PALOMA POLAR	CUSTOM OFFICE DESK	WILSONART, LABDESIGNS
PLASTIC LAMINATE	PL5	WILSONART	13088 - DRAGON FIRE	CUBBY CASEWORK - SEE INT. ELEVATIONS	FORMICA, LABDESIGNS
PLASTIC LAMINATE	PL6	WILSONART	Y0733 - ORANGE CRUSH	CUBBY CASEWORK - SEE INT. ELEVATIONS	FORMICA, LABDESIGNS
PLASTIC LAMINATE	PL7	LABDESIGNS	PV169 - APPLE TESSERACT	CUBBY CASEWORK - SEE INT. ELEVATIONS	WILSONART, FORMICA
SOLID SURFACE	SS1	FORMICA	505 SEA GLASS	RECEPTION DESK COUNTERTOPS	WILSONART LLC, DUPONT DE NEMOURS, INC
SOLID SURFACE	SS2	FORMICA	620 TUMBLED HARVEST	KITCHEN COUNTERTOPS	WILSONART LLC, DUPONT DE NEMOURS, INC

FINISHES GENERAL NOTES:

- SEE INTERIOR ELEVATIONS AND DETAILS FOR LOCATION OF CASEWORK AND WALL FINISH SELECTIONS NOT SHOWN ON PLAN.
- WHERE PAINT IS INDICATED ON LEGEND, PROVIDE THE FOLLOWING:
FINISH LOCATION
SEMI-GLOSS MASONRY WALLS, UON
HIGH-GLOSS INTERIOR FRAMES
- PAINT COLORS PROVIDED IN FINISHES LEGEND ARE FOR COLOR MATCH ONLY.
- FOR INFORMATION ABOUT THRESHOLDS SEE DOOR SCHEDULE.

ROOM FINISH SCHEDULE

#	NAME	FLOOR	WALL	BASE	EXIST CLG HGT	SIGN TYPE
100	LOBBY	LVT	PNT	RB	9'-6"	N/A
100	CORRIDOR	LVT	PNT	RB	9'-6"	N/A
101	WOMEN	LVT	PNT	RB	9'-0"	B
101 A	PLUMBING CHASE	ETR	ETR	ETR	OPEN	C
102	JC					C
103	MEN	LVT	PNT	RB	9'-0"	A
104	STORAGE	LVT	PNT	RB	9'-0"	C
105	ACTIVITY ROOM A	LVT	PNT	RB	10'-0"	C
106	KITCHEN	LVT	PNT	RB	10'-0"	C
106	MECH YARD	ETR	ETR	ETR	N/A	N/A
107	OFFICE	LVT	PNT	RB	10'-0"	C
108	MECHANICAL	ETR	ETR	ETR	OPEN	N/A
109	ACTIVITY ROOM B	LVT	PNT	RB	10'-0"	C
110	ACTIVITY ROOM C	LVT	PNT	RB	10'-0"	C

INTERIOR SIGNAGE NOTES:

- REFERENCE ROOM SCHEDULE FOR SIGNAGE LOCATIONS.
- ALL INTERIOR DOORS TO RECEIVE SIGN TYPE "C" UON. SEE FINISH PLAN FOR OTHER SIGN TYPE LOCATIONS.
- TEXT SHOWN ON SIGNS IS SAMPLE TEXT ONLY.
- SEE SHEET A001 FOR MOUNTING HEIGHTS.
- SEE INTERIOR FINISHES PLANS FOR SIGNAGE LOCATIONS NOT NOTED IN ROOM SCHEDULE. ON FINISHES PLANS, "ST" DENOTES SIGN TYPE. FOR EXAMPLE, "ST-K" DENOTES SIGN TYPE K.
- REFER TO SIGN SPECIFICATION AND SIGN SCHEDULE FOR NAMING CONVENTION

FINISHES KEY:

- LUXURY VINYL TILE GENERAL
- LUXURY VINYL TILE ACCENT 1
- LUXURY VINYL TILE ACCENT 2
- LUXURY VINYL TILE ACCENT 3
- LUXURY VINYL TILE ACCENT 4
- LUXURY VINYL TILE ACCENT 5
- LUXURY VINYL TILE ACCENT 6

FINISHES SYMBOL LEGEND

- FINISHES
- CPT FLOORING
 - PT B WALL UON
 - PT BASE UON
 - PT ACCENT PAINT
 - WC WALLCOVERING
 - ST B SIGN TYPE

PROJECT INFORMATION

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RENOVATION
CITY OF RALEIGH
COR ID: 274-PR-PEACH 2023
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Raleigh, NC 27603

SEALS



DKA JOB NUMBER

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REVISIONS

1 COR REV 11.20.23

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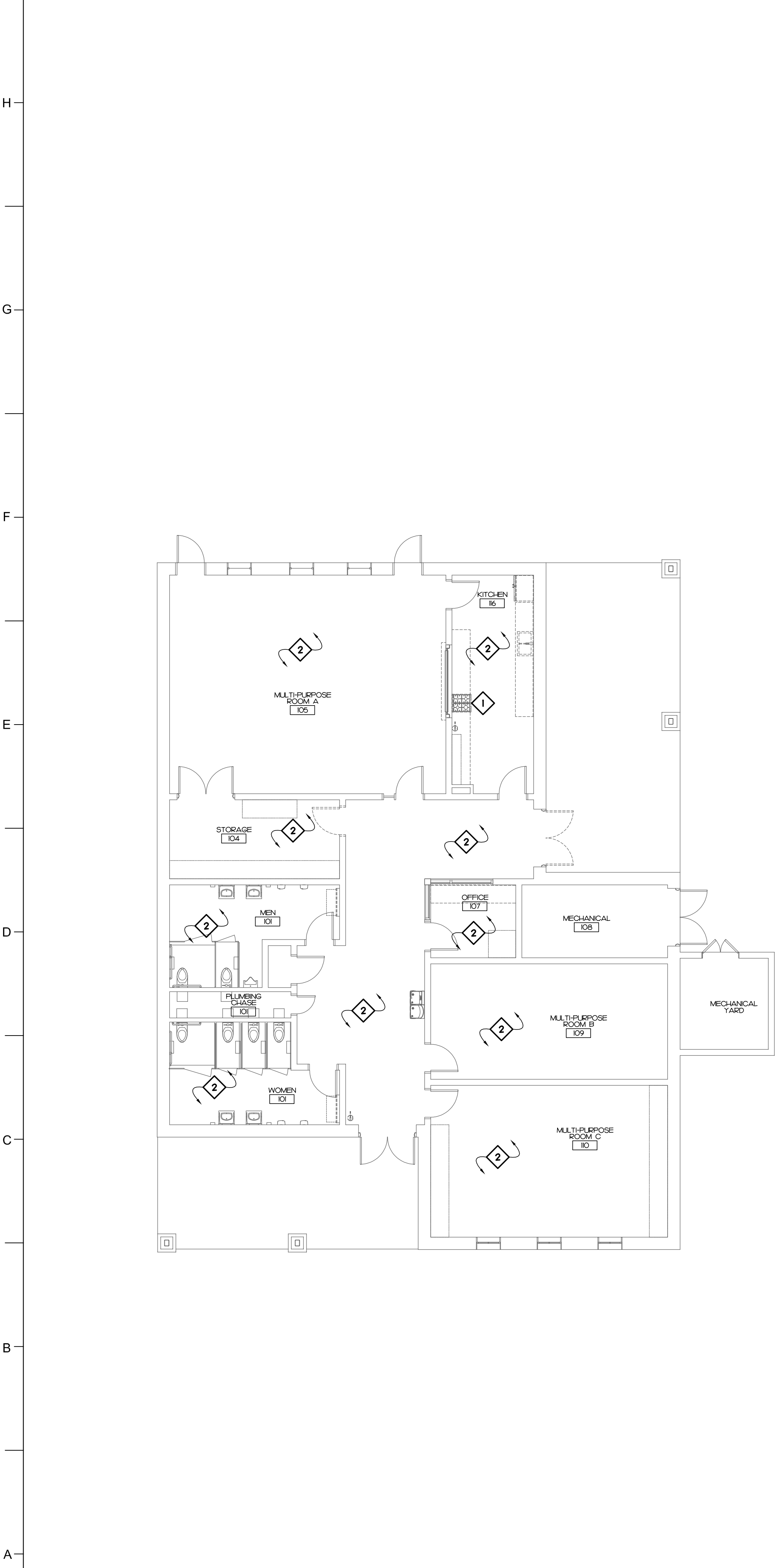
SHEET TITLE
FINISH PLANS,
SCHEDULES &
DETAILS

1100

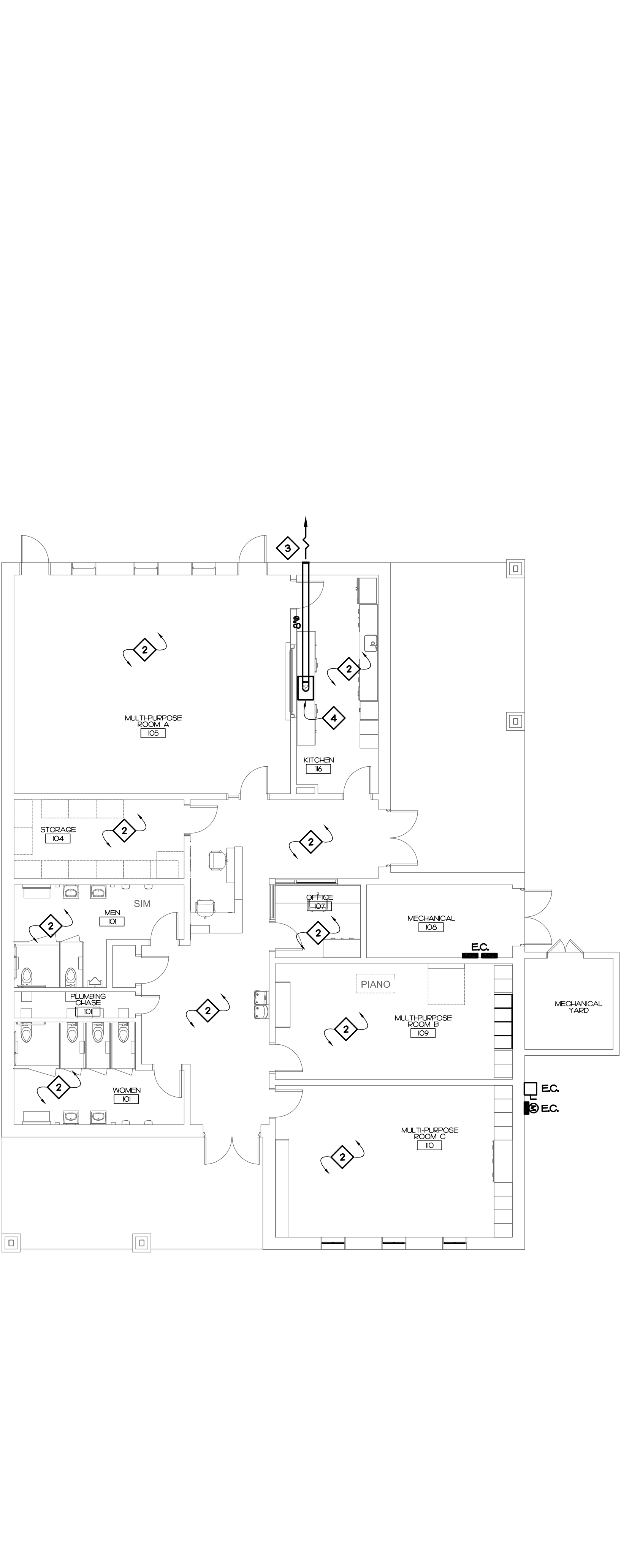


	SANITARY SEWER DEMAND FU	WATER DEMAND FU	WATER DEMAND GPM
REMOVED ¹	-4.0	-2.0	-5.0
ADDED ¹	+4.0	+2.0	+5.0
NET ¹	0.0	0.0	0.0

P100



A1 MECHANICAL DEMOLITION PLAN
1/8" = 1'-0"



A4 MECHANICAL RENOVATION PLAN
1/8" = 1'-0"

MECHANICAL KEY NOTES

- 1 REMOVE EXISTING RANGE.
- 2 DO NOT ALTER EXISTING AIR DISTRIBUTION IN THIS AREA.
- 3 ROUTE RANGE HOOD EXHAUST DUCT TO EXTERIOR. TERMINATE WITH WALL CAP. ENSURE THAT THE BOTTOM OF THE EXHAUST OUTLET IS A MINIMUM OF 10'-0" ABOVE FINISHED GRADE.
- 4 RESIDENTIAL RANGE HOOD PROVIDED BY GENERAL CONTRACTOR. MECHANICAL CONTRACTOR TO PROVIDE AND ROUTE EXHAUST DUCTWORK TO EXTERIOR AS SHOWN.

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE CODE, ALL LOCAL AND OTHER APPLICABLE CODES.
2. ANY PERMITS AND INSPECTION FEES SHALL BE SECURED AND PAID FOR BY THE MECHANICAL CONTRACTOR (M.C.).
3. ALL WORK SHALL BE PERFORMED BY EXPERIENCED AND SKILLED CRAFTSMAN. THE M.C. SHALL COORDINATE ALL OF HIS WORK WITH ALL OTHER CONTRACTORS.
4. THE MECHANICAL PLANS AND SPECIFICATIONS SHALL BE THOROUGHLY REVIEWED PRIOR TO PURCHASING MATERIALS AND INSTALLATION. ALL DISCREPANCIES OR INTERFERENCES SHALL BE BROUGHT TO THE ENGINEERS' ATTENTION.
5. THESE PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW MINOR DETAILS AND LOCATIONS. FOR DIMENSIONS, REFER TO THE ARCHITECTURAL PLANS.
6. THE M.C. SHALL BE RESPONSIBLE FOR ALL ELECTRICAL STARTERS, INTERLOCKS, CONTROL WIRING. THE ELECTRICAL CONTRACTOR SHALL PROVIDE POWER WIRING, CONDUIT FROM THE DISCONNECT TO M.C. EQUIPMENT. THE M.C. SHALL BE RESPONSIBLE FOR ALL FINAL CONNECTION TO HIS EQUIPMENT.
7. THE M.C. SHALL INSURE THAT ALL MECHANICAL EQUIPMENT INSTALLED UNDER HIS CONTRACT SHALL OPERATE FREE OF OBJECTIONABLE NOISE AND VIBRATION.
8. THE M.C. SHALL KEEP THE PREMISES CLEAR OF DEBRIS FROM HIS WORK DURING CONSTRUCTION AND LEAVE THE AREA AND BUILDING CLEAN AT THE COMPLETION OF HIS WORK. HE SHALL ALSO LEAVE CLEAN ALL EXPOSED EQUIPMENT IN HIS CONTRACT.
9. ALL DUCTWORK SIZES SHOWN ARE ACTUAL SHEET METAL DIMENSIONS. EXTERNALLY WRAP ALL DUCT WITH 3" FOIL-BACKED INSULATION FOR A MINIMUM OF R-8.

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SHEET METAL DUCT

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT METHOD OF COMPLIANCE

PREScriptive ☒ ENERGY COST BUDGET ☐

THERMAL ZONE 4A

EXTERIOR DESIGN CONDITIONS

winter dry bulb: 16°F
summer dry bulb: 93°F
relative humidity: 46%

INTERIOR DESIGN CONDITIONS

winter dry bulb: 70°F
summer dry bulb: 74°F
relative humidity: 50%

BUILDING HEATING LOAD: BLOCK LOAD - EXISTING

BUILDING COOLING LOAD: BLOCK LOAD - EXISTING

MECHANICAL SPACING CONDITIONING SYSTEM

Unitary:

description of unit:
heating efficiency:
cooling efficiency:
heat output of unit:
cooling output of unit:

Boiler: NA
total boiler capacity, If oversized state reason.

Chiller: NA
total chiller capacity, If oversized state reason.

LIST EQUIPMENT EFFICIENCIES: SEE SCHEDULES ON SHEET(S) THIS SHEET

EQUIPMENT SCHEDULES WITH MOTORS (MECHANICAL SYSTEMS)

motor horsepower:
number of phases:
minimum efficiency:
motor type:
of poles:

DESIGNER STATEMENT

To the best of my knowledge and belief, the design of this building complies with the mechanical systems, service systems and equipment requirements of the North Carolina State Energy Code.

SIGNED: Harrison Holt
SPR16/10/17/DK438

NAME: J. Harrison Holt, PE

TITLE: Professional Engineer

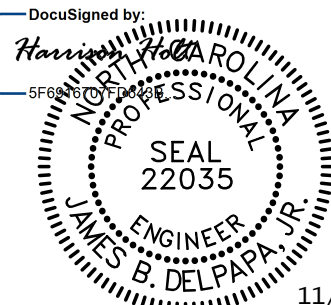
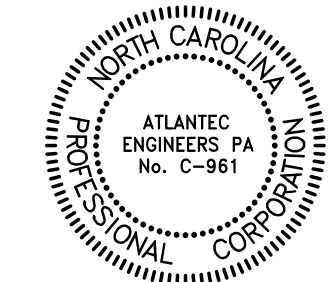


PROJECT INFORMATION

PEACH RD. CENTER RENOVATION CITY OF RALEIGH

911 Ileanes Rd.
Raleigh NC 27603

SEALS



11/13/2023

DKA JOB NUMBER

2319

REVISIONS

NO.	DESCRIPTION

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DOCUMENTATION
10/30/2023

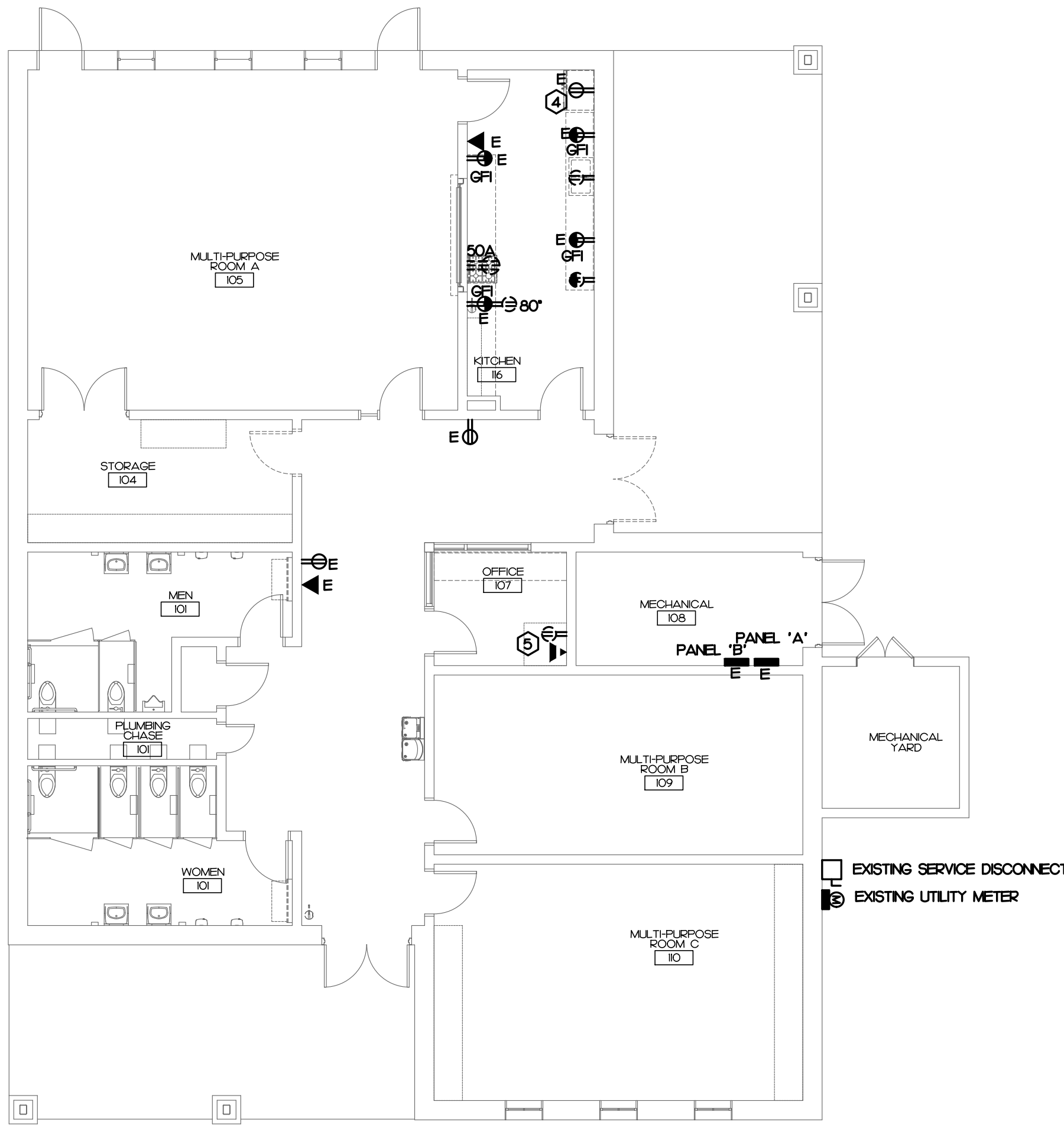
SHEET TITLE

MECHANICAL PLAN

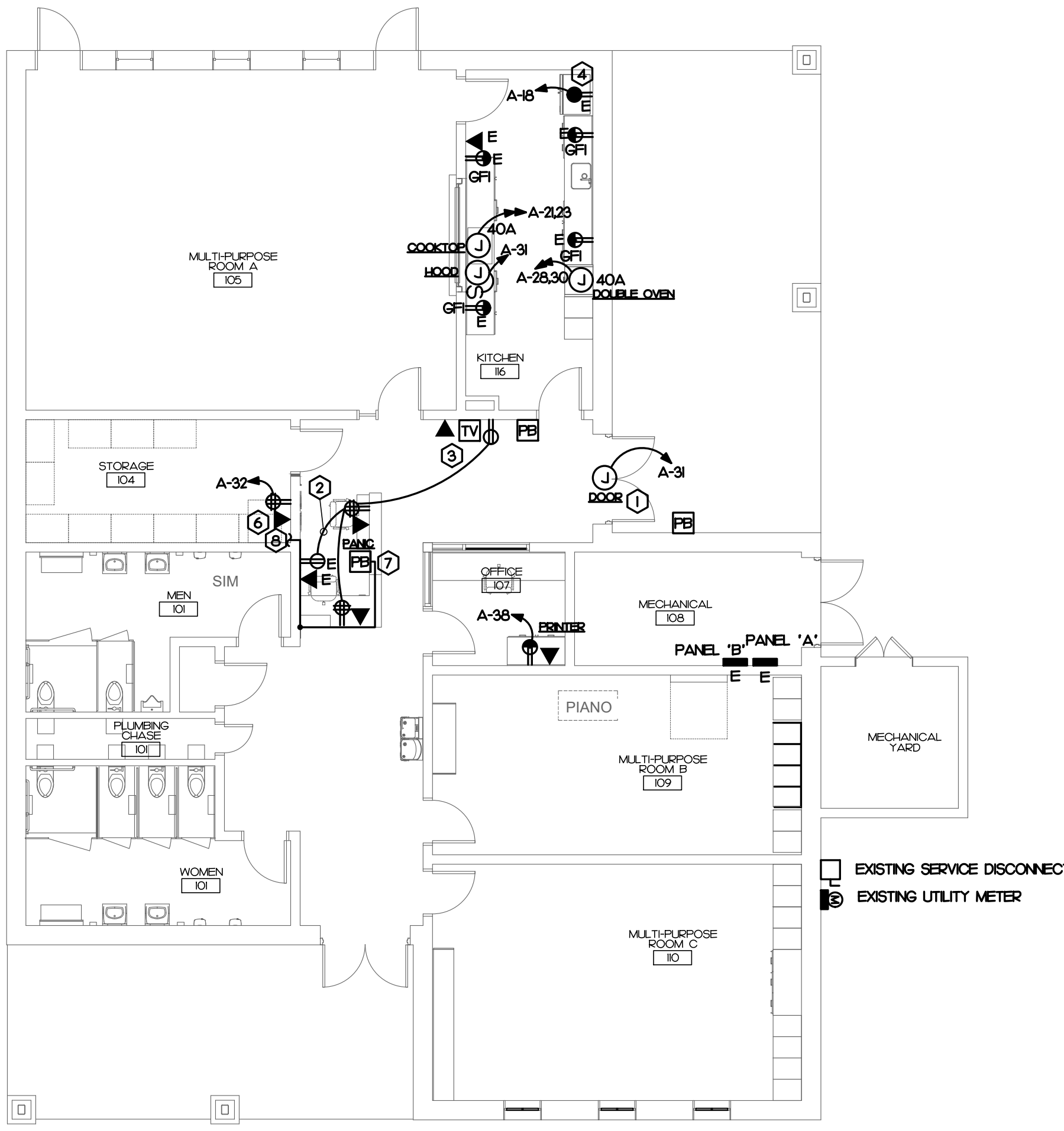
M100

DEMOLITION SYMBOL LEGEND

- EXISTING DUPLEX RECEPTACLE TO BE REMOVED
- EXISTING ABOVE COUNTER RECEPTACLE TO BE REMOVED
- EXISTING DUPLEX TO REMAIN
- EXISTING ABOVE COUNTER GFI DUPLEX TO REMAIN
- EXISTING COMMUNICATION OUTLET TO REMAIN
- EXISTING COMMUNICATION OUTLET TO BE REMOVED
- EXISTING 250V RECEPTACLE TO BE REMOVED, 'AMP' DESIGNATED RATING.
- EXISTING 120/240V PANEL BOARD.



NOTE:
1. OUTLETS AND CONDUIT ON EXISTING MASONRY WALLS TO BE SURFACE MOUNTED.



KEY NOTES

- POWER FOR ADA DOOR. MAKE ALL FINAL CONNECTIONS TO DOOR OPENER PER MANUFACTURER RECOMMENDATIONS.
- CONNECT TO EXISTING 120V CIRCUIT.
- FIELD COORDINATE EXACT HEIGHT OF TV WITH ARCHITECT.
- EXISTING REFRIGERATOR RECEPTACLE TO REMAIN. EXISTING BRANCH CIRCUIT TO BE PROTECTED BY GFI BREAKER.
- EXISTING IT/DATA RACK TO BE RELOCATED. SEE PICTURE AND NOTE BELOW.
- RELOCATED IT/DATA RACK. EXTEND/MODIFY EXISTING DATA CABLEING TO NEW LOCATION.
- COORDINATE EXACT REQUIREMENTS OF PANIC BUTTON WITH SECURITY VENDOR. PANIC BUTTON TO CALL POLICE WHEN PUSHED.
- APPROXIMATE 3/4" CONDUIT ROUTING FOR PANIC BUTTON. FIELD COORDINATE EXACT ROUTING AND TERMINATING LOCATION SECURITY VENDOR.

EXISTING DATA RACK

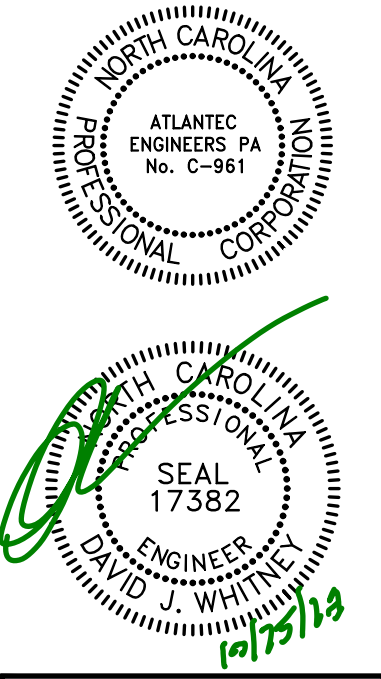


NOTE:
1. EXISTING DATA RACK TO BE RELOCATED. RELOCATE ALL EXISTING CAT 6 CABLES AND TV CABLES FROM EXISTING LOCATION TO THE NEW LOCATION. ANY CABLES THAT ARE NOT OF SUFFICIENT LENGTH TO BE RELOCATED SHALL BE REPLACED AND RE-FILLED. SPlicing OF CABLES IS NOT ACCEPTABLE.

PROJECT INFORMATION

PEACH RD. CENTER
RENOVATION
CITY OF RALEIGH

SEALS



DKA JOB NUMBER
2319

REVISIONS

NO.	DESCRIPTION

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CONSTRUCTION
DOCUMENTATION
10/30/2023

SHEET TITLE
ELECTRICAL PLAN

E100

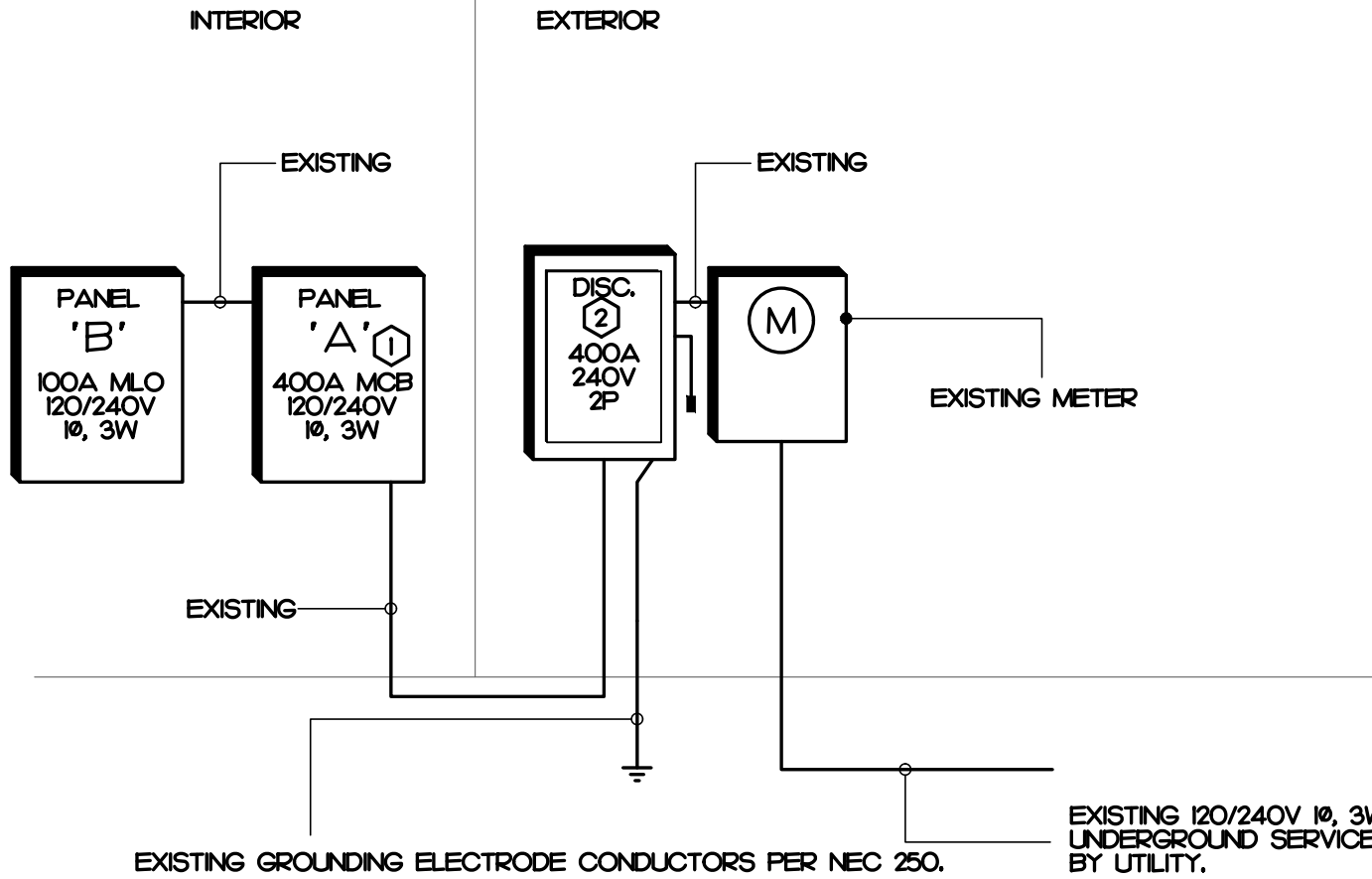
EXISTING POWER RISER

KEY NOTES

- ① EXISTING PANEL.
② EXISTING 400 AMP SERVICE DISCONNECT

NOTES

- 1 RISER SHOWN FOR REFERENCE. ALL EQUIPMENT IS EXISTING TO REMAIN.



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SYMBOL LEGEND

SYMBOL	DESCRIPTION	REMARKS
S	SINGLE POLE TOGGLE SWITCH, MOUNT 42" AFF. UNLESS NOTED OTHERWISE.	HUBBELL CS221-10 WITH NPJ COVER PLATE
⊕	SPECIFICATION GRADE DUPLEX TAMPER RESISTANT RECEPTACLE, MOUNT 16" AFF. UNLESS OTHERWISE NOTED.	HUBBELL HBL5362-10-TR WITH NPJ8 COVER PLATE
GFI ⊕	SPECIFICATION GRADE TAMPER RESISTANT GFCI RECEPTACLE, MOUNT 16" AFF. UNLESS NOTED OTHERWISE.	HUBBELL GFT1ST20-10 WITH NPJ26 COVER PLATE
GFI ⊕	SPECIFICATION GRADE DUPLEX TAMPER RESISTANT RECEPTACLE, MOUNT 4" ABOVE COUNTER/BACKSPLASH.	HUBBELL HBL5362-10-TR WITH NPJ8 COVER PLATE
GFI ⊕	SPECIFICATION GRADE DUPLEX RECEPTACLE, MOUNT 16" AFF. UNLESS OTHERWISE NOTED. FED FROM GFCI CIRCUIT BREAKER.	HUBBELL GFT1ST20-10 WITH NPJ26 COVER PLATE
⊙	JUNCTION BOX SIZED PER NEC.	EXISTING
□	DISCONNECT SWITCH SEE PLANS FOR SIZE AND TYPE	SQUARE D HEAVY DUTY
—	NEW CONCEALED WIRING	PER NEC.
—	LOW VOLTAGE WIRING FOR OCCUPANCY SWITCH AND POWER PACK.	PER NEC.
—	UNSWITCHED LIGHTING CONDUCTOR	PER NEC.
→	HOME RUN TO PANEL BOARD, NUMBERS OF ARROW INDICATE CIRCUITS	PER NEC.
—	120/240V 1Ø, 3W PANEL BOARD - SEE PANEL SCHEDULES	EXISTING
⊕	UTILITY METER BASE	EXISTING
TV	TV OUTLET - MOUNT 16" AFF. UNLESS OTHERWISE NOTED. STUB 3/4" CONDUIT TO ACCESSIBLE CEILING OR ATTIC SPACE. OUTLET, COVER PLATE AND WIRING BY OTHERS.	SINGLE GANG BOX, HUBBELL NPJ3 COVER PLATE
▼	COMMUNICATION OUTLET - MOUNT 16" AFF. UNLESS OTHERWISE NOTED. STUB 3/4" CONDUIT TO ACCESSIBLE CEILING OR ATTIC SPACE. OUTLET, COVER PLATE AND WIRING BY OTHERS.	SINGLE GANG BOX, HUBBELL NPJ3 COVER PLATE
⊕	ADA PUSH BUTTON FOR AUTOMATIC DOOR OPENER, FURNISHED BY GC INSTALLED BY EC, MOUNT AT 42" AFF.	
⊕	PANIC PUSH BUTTON TO CALL POLICE WHEN PUSHED, FURNISHED BY GC INSTALLED BY EC, MOUNT AT 42" AFF.	

NOTE:

- 1 E.C. SHALL SUBMIT CATALOG SHEETS FOR COLOR AND MATERIAL APPROVAL OF ALL SWITCH, RECEPTACLE AND WALL PLATE TO ARCHITECT PRIOR PURCHASING ANY.

GENERAL NOTES

- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR FLOOR PLAN DIMENSIONS. DO NOT SCALE THESE DRAWINGS.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE ANY AND ALL WORK WITH OTHER TRADES INVOLVED IN THE PROJECT, PRIOR TO THE INSTALLATION OF HIS EQUIPMENT SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND TO ALLOW FOR OPTIMUM MAINTENANCE AND WORKING SPACE.
- USE OF THE CONDUIT SYSTEM FOR EQUIPMENT GROUNDING SHALL NOT BE ACCEPTABLE. A SEPARATE GREEN GROUND WIRE SHALL BE RUN WITH THE CIRCUIT CONDUCTORS IN EACH CONDUIT.
- ALL BREAKER SIZES, SHOWN FOR MECHANICAL EQUIPMENT, SHALL BE VERIFIED BEFORE THE PURCHASE OR INSTALLATION OF SAID EQUIPMENT, WITH THE EQUIPMENT SUPPLIER AND THE MECHANICAL CONTRACTOR.
- ALL WORK AND MATERIAL SHALL BE PROVIDED IN ACCORDANCE WITH THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND 2020 NATIONAL ELECTRICAL CODE (NFPA 70).
- EACH CONTRACTOR SHALL PROVIDE HIS OWN SUPPORT OF ALL DEVICES AND EQUIPMENT PROVIDED BY HIM AND SHALL SUPPORT SUCH EQUIPMENT PER APPROVED GOVERNING CODES OR PER APPROVAL OF THE ENGINEER. UNACCEPTABLE WORKMANSHIP OR MATERIALS SHALL BE REPLACED AT THE REQUEST OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- THE MOUNTING HEIGHTS AND LOCATIONS OF ALL WALL MOUNTED OUTLETS AND JUNCTION BOXES SHALL BE REVIEWED AND COORDINATED WITH THE ARCHITECT, PRIOR TO INSTALLATION FOR USE WITH THE ACTUAL EQUIPMENT, CASEWORK, AND MILLWORK TO BE FURNISHED.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY DISCONNECTS, SWITCHES, AND RECEPTACLES UNDER THE ELECTRICAL BID AND SHALL INCLUDE ALL NECESSARY CIRCUITS TO AND FINAL CONNECTIONS TO THE EQUIPMENT PROVIDED BY ALL SUPPLIERS. SEE DETAILS FOR CONNECTION TO EQUIPMENT PROVIDED BY MECHANICAL AND PLUMBING CONTRACTORS.
- PENETRATION:
 - WHERE ELECTRICAL EQUIPMENT PENETRATES RATED WALLS AND CEILINGS, EXTERIOR WALLS, THEY SHALL BE PROPERLY SEALED PER APPROVED UL METHODS.
 - WHERE ELECTRICAL EQUIPMENT PENETRATES EXTERIOR WALLS, THEY SHALL BE PROPERLY SEALED WITH METHODS APPROVED BY THE ENGINEER. SUBMIT DETAIL OF PROPOSED SEALING METHODS.
- ALL PERMITS AND INSPECTION FEES SHALL BE SECURED AND PAID BY THE ELECTRICAL CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE COMPLETE UPDATED TYPEWRITTEN PANEL SCHEDULES FOR ALL PANELBOARDS.
- AS BUILT DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY THE CEILING TYPES WITH THE GENERAL CONTRACTOR PRIOR TO THE PURCHASE OF ANY LIGHT FIXTURES SO THAT THE PROPER TRIM WILL BE PROVIDED FOR ALL FIXTURES. ANY DIFFERENCES WILL BE THE RESPONSIBILITY OF THIS CONTRACTOR.
- ALL WIRE SIZES INDICATED ON THE PANEL SCHEDULES ARE BASED ON 75 DEGREE COPPER THIN/THIN WIRE. ALL WIRE TERMINALS AND EQUIPMENT SHALL BE LISTED AND APPROVED FOR 75°C. ONLY THIN/THIN WIRE SHALL BE INSTALLED IN WET AND EXTERIOR LOCATION.
- MINIMUM CONDUIT SIZE SHALL BE 1/2" AND MINIMUM WIRE SIZE SHALL BE #12 AWG.
- ARMORED CABLE (TYPE AC) AND METAL-CLAD CABLE (TYPE MC) ARE ACCEPTABLE WIRING METHODS SUBJECT TO THE FOLLOWING RESTRICTIONS:
 - SEE NEC 320.10 FOR RESTRICTIONS.
 - PENETRATIONS OF RATED WALLS SHALL BE IN ACCORDANCE WITH APPROVED UL PENETRATION METHODS.
 - CABLE SHALL NOT BE USED FOR HOME RUN TO PANEL BOARD.
 - CABLE SHALL ONLY BE INSTALLED IN CONCEALED SPACE AND FURRED AREAS. MAX. LENGTH OF EACH SECTION IN ACCESSIBLE CONCEALED CEILING SPACES SHALL NOT EXCEED 10 FT.
 - WHERE REQUIRED BY NEC 517.3, CABLE SHALL BE LISTED FOR THE USE.
- THE MAXIMUM NUMBER OF HOMERUNS IN A CONDUIT SHALL NOT EXCEED THREE (3). FEEDING CIRCUITS WITH SHARED NEUTRAL SHALL BE SWITCHED TOGETHER.
- WHERE OUTLETS ARE SHOWN BACK TO BACK ON RATED WALLS, STAGGER OUTLETS SO THAT THEY ARE SEPARATED BY A MINIMUM OF 24".
- ALL DISCONNECTS SHALL HAVE SEPARATE NEUTRAL AND GROUND BARS.
- ALL PANELS SHALL BE THREE PHASE, FOUR WIRE UNLESS OTHERWISE NOTED.
- BOXES AND CONDUITS SHALL NOT BE INSTALLED RECESSED IN A 3-HOUR OR HIGHER RATED WALL. WHEN OUTLETS ARE INDICATED ON THESE WALLS, FIELD COORDINATE CONDUIT AND BOX INSTALLATION.
- FOR ALL RECEPTACLES LOCATED ABOVE COUNTER TOP, MOUNTING HEIGHT SHALL COMPLY WITH ANSI A17.1 SECTION 308. E.C. SHALL FIELD VERIFY CASEWORK DETAIL WITH ARCHITECT PRIOR TO ROUGH-IN.
- ELECTRICAL IDENTIFICATION
 - FURNISH AND INSTALL ENGRAVED LAMINATED PHENOLIC NAMEPLATES FOR ALL SAFETY SWITCHES, PANEL BOARDS, TRANSFORMERS, SWITCHBOARDS, MOTOR CONTROL CENTERS AND OTHER ELECTRICAL EQUIPMENT SUPPLIED FOR THE PROJECT FOR IDENTIFICATION.
 - FURNISH AND INSTALL SELF-ADHESIVE PLASTIC TAPE FOR ALL RECEPTACLE AND WALL SWITCH COVER PLATES INDICATING CIRCUIT NUMBERS.
- PRIOR TO CONNECTING ANY NEW RECEPTACLES TO EXISTING CIRCUITS, THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY THAT NO MORE THAN 10 RECEPTACLES ARE CONNECTED TO A 20 AMP CIRCUIT. AFTER RECONNECTING ALL NEW AND RELOCATED LIGHT FIXTURES THE ELECTRICAL CONTRACTOR SHALL MEASURE THE CONNECTED LOAD FOR EACH LIGHTING CIRCUIT TO INSURE THAT NO MORE THAN 16 AMPS IS CONNECTED TO A 20 AMP CIRCUIT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EITHER OF THE ABOVE CONDITIONS CAN NOT BE ACHIEVED.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CIRCUIT CONTINUITY TO ALL LIGHTING DEVICES AND EQUIPMENT NOT SUBJECT TO REMOVAL. PROVIDE ADDITIONAL CONDUIT AND WIRING AS REQUIRED.
- RELOCATE AS NECESSARY ALL EXISTING CIRCUITS FOUND PASSING THROUGH THE AREA OF CONSTRUCTION, AND WHICH ARE PRESENTLY IN USE IN OTHER PARTS OF THE BUILDING UNAFFECTED BY THIS PROJECT PHASE, TO MAINTAIN THE CONTINUITY OF SERVICE AND GROUNDING, AND TO CONCEAL THEM ABOVE NEW CEILINGS.
- WHERE EXISTING EQUIPMENT AND DEVICES SHALL BE REMOVED, THE CONTRACTOR SHALL REMOVE ALL THE ASSOCIATED CONDUIT AND CONDUCTORS THAT SHALL NOT REMAIN IN OPERATION BACK TO THEIR RESPECTIVE SOURCE OR TO THE POINT ON A SHARED CIRCUIT FROM WHERE THE EQUIPMENT OR DEVICE IS SERVED.

PROJECT INFORMATION

PEACH RD. CENTER
RENOVATION
CITY OF RALEIGH

911 Ileguines Rd.
Raleigh NC 27603

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2319

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10/30/2023

SHEET TITLE

ELECTRICAL
NOTES, LEGEND,
RISER, SCHEDULE

E200