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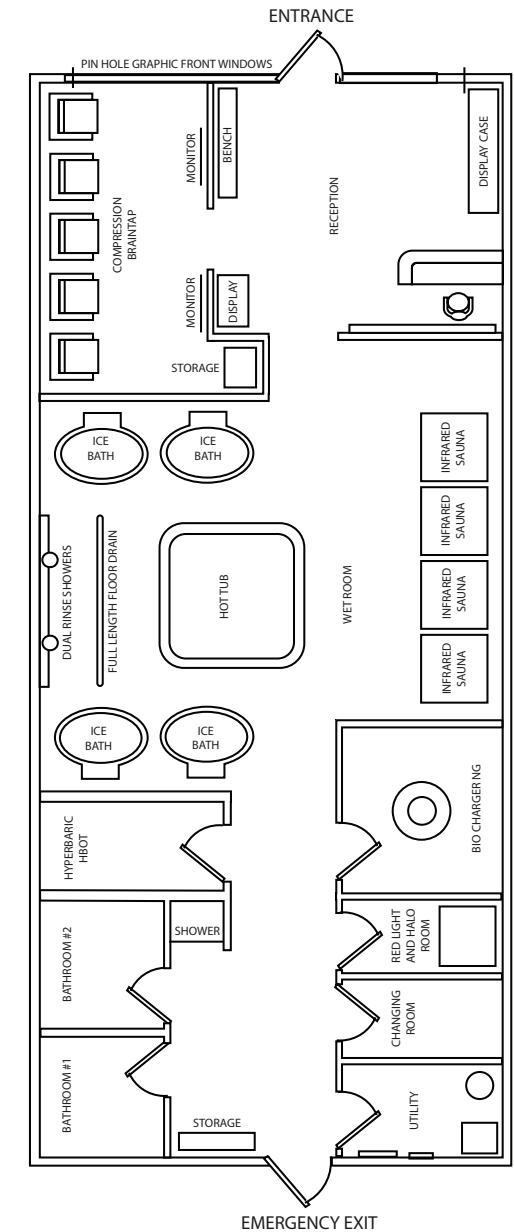
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We are excited to work with you in creating your Augment studio concept plan. The purpose of this document is to carry the unique Augment identity throughout your facility while also providing you and your construction management team the complete specifications on everything from flooring to equipment.

To optimize your time, we recommend the following order:

Step 1: Space Planning: Once you provide the leased space footprint, we will provide you with a concept plan. These plans will prioritize safety, flow patterns, functionality, and visual appeal.

Step 2: Finish Selection Locations: We will identify finish selections and branding graphics locations on the floor plan and/or elevations for your reference. While the design manual provides a generic floor plan with specified finishes, we will customize the selections to your specific location.

Step 3: Flexibility: With space planning and finish selections in place, you'll have a clear direction to create a cohesive space that embodies the Augment aesthetic. Different franchise locations may encounter unique challenges where additional assistance is needed. We encourage you to reach out to us for any further help.

Our goal is to help you create a functional and appealing space that attracts new clientele while staying true to the Augment brand. If you have any questions or require further support, please don't hesitate to contact us.



Augment is a wellness studio that focuses on scientifically-proven results-driven programs.

For building-specific requirements, it is recommended to consult architects and engineering professionals on a case-by-case basis.

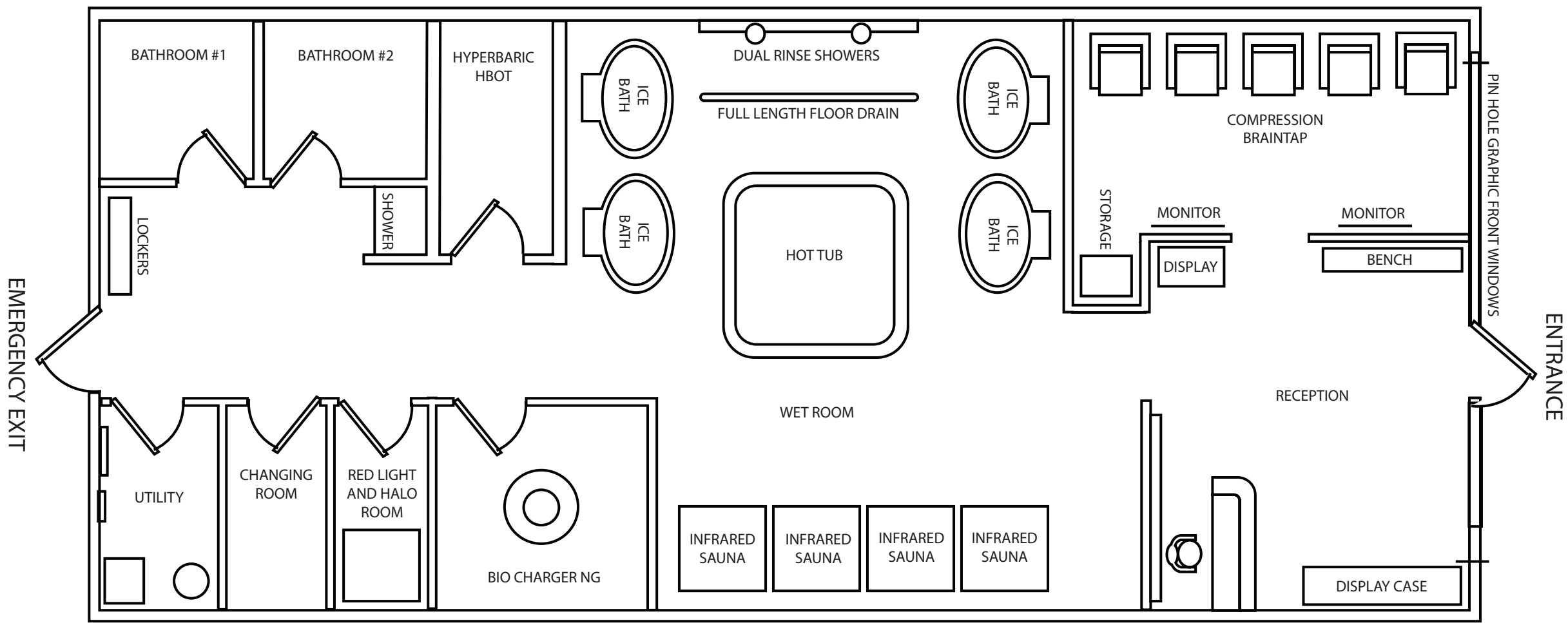
By following the Design Manual and seeking expert advice, franchise owners can create appealing Augment locations that align with the brand's vision and deliver an exceptional wellness experience.

DESIGN MANUAL USAGE

The facility showcased in this design guide is based on a typical strip retail facility with 1,800-2,200 sf leased area, 14-foot ceilings, plumbing services at the back of the building, solid perimeter walls on two sides, and access to at least one exit. Your actual building conditions will be different, and its assumed plans will be custom tailored for each location.

Architects, mechanical, plumbing, electrical and structural engineers shall be consulted to deal with building specific requirements. Local suppliers should be consulted, as regional differences may have impact in material costs as well.





GYPSUM BOARD WALLS AND CEILINGS

- Provide 5/8" Type 'X' Gypsum Board over studs at 24" on center minimum at walls, and 16' on center at ceilings
- Finishes shall be level 4 smooth at all occupied rooms
- Walls to receive a continuous layer of wallpaper or vinyl graphics shall be a level 5 finish
- Storage closets and mechanical/electrical closets may be level 3, primed and painted to match the adjacent room
- Heavy textured finishes are not preferred. Existing spay applied textures shall be floated out.
- At wet wall locations with tile, provide cementitious tile backer board. Wet location 'Green board' is acceptable at walls that do not have fixtures on or adjacent to the wall

WALL AND CEILING PAINT FINISHES

- Ceilings shall be flat latex paint.
- Walls shall typically be eggshell latex paint
- Walls and ceilings at wet rooms shall be satin latex paint (restrooms and supply rooms)
- Paint shall be anti-microbial and no VOC

CEILINGS AND EXPOSED INSULATION

In buildings with high bay spaces and exposed structure without gypsum board, insulation shall be covered with appropriate sheet vapor barrier/retarders with opaque white facings. Facing material and exposed stick pins shall be installed in a consistent pattern with material joints on equal modules.

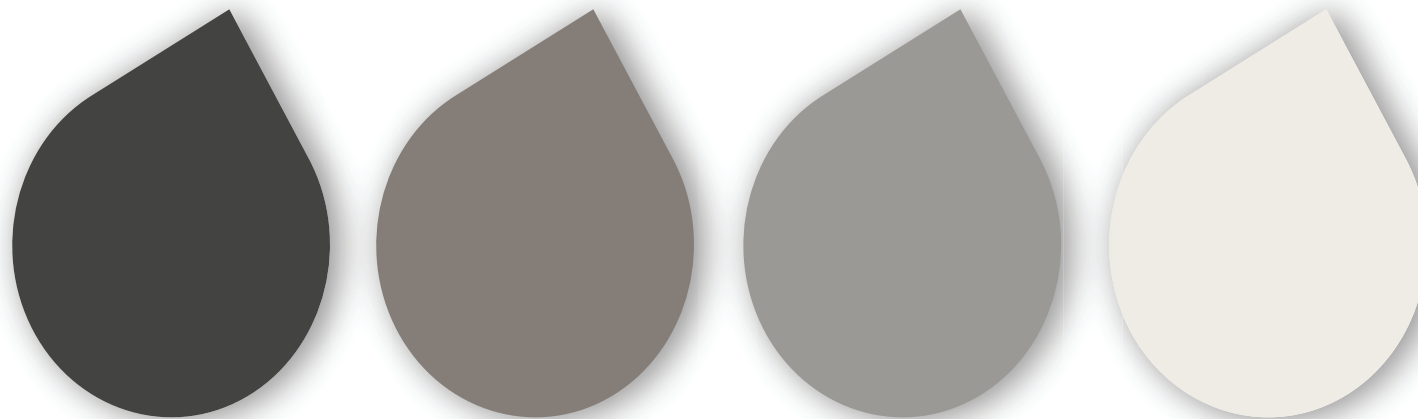
VINYL WALL GRAPHICS

Wall graphics appear throughout the facility tied to the company logo and philosophy. The material is both vinyl cut individual letters and sheet graphics. Walls need to be skim coated to Level 5 finish, primed and painted, and sufficiently dry prior to application.

WALL CORNER GRAPHICS

Provided as needed. Corner guards used shall be 2" X 2" stainless steel 18 gauge minimum, adhered to the wall with construction adhesive.

Goal: To create a health & wellness destination that features an uncompromising modern color palette. These colors evoke a timeless and tailored approach to living. This approach enables us to bring a design aesthetic to any community and location. This modern take on the traditional wellness experience, will allow members to leave the space feeling recharged, confident, and ready to take on the world.



PAINT

Gypsum board walls to be eggshell sheen, typical, except wet room and restrooms

Gypsum board and open ceilings to be flat sheen, typical, except at wet room and restrooms

Manufacturer: Sherwin Williams

<http://www.sherwin-Williams.com/store-locator>

SW 7069

Iron Ore

Interior / Exterior

Location Number: 251-C7

SW 6004

Mink

Interior / Exterior

Location Number: 240-C5

SW 7673

Pewter Cast

Interior / Exterior

Location Number: 282-C4

SW 7004

Snowbound

Interior / Exterior

Location Number: 256-C2

PREVIOUSLY PAINTED GYPSUM BOARD

- Spot Prime: B28W02600 - ProMar® 200 Zero VOC Interior Latex Primer
- 2 Coats: B30W02651 - ProMar® 200 Zero VOC Interior Latex Flat Ceilings
- 2 Coats: B20W12651 - ProMar® 200 Zero VOC Interior Latex Flat Eg-Shel Walls
- 2 Coats: K45W00151 - Pro Industrial PreCatalyzed Waterbased Epoxy Eg-Shel Wet Area Walls

NEW DRYWALL

- Primer: B28W02600 - ProMar® 200 Zero VOC Interior Latex Primer
- 2 Coats: B30W02651 - ProMar® 200 Zero VOC Interior Latex Flat Ceilings
- 2 Coats: B20W12651 - ProMar® 200 Zero VOC Interior Latex Flat Eg-Shel Walls
- 2 Coats: K45W00151 - Pro Industrial PreCatalyzed Waterbased Epoxy Eg-Shel Wet Area Walls

EXISTING WOOD DOORS

- Primer: B51W000620 - ProRite® ProBlock® Interior/Exterior Lated Primer/Sealer
- 2 Coats: B66W00651 - Pro Industrial High Performance Acrylic - Semi-Gloss

NEW WOOD DOORS

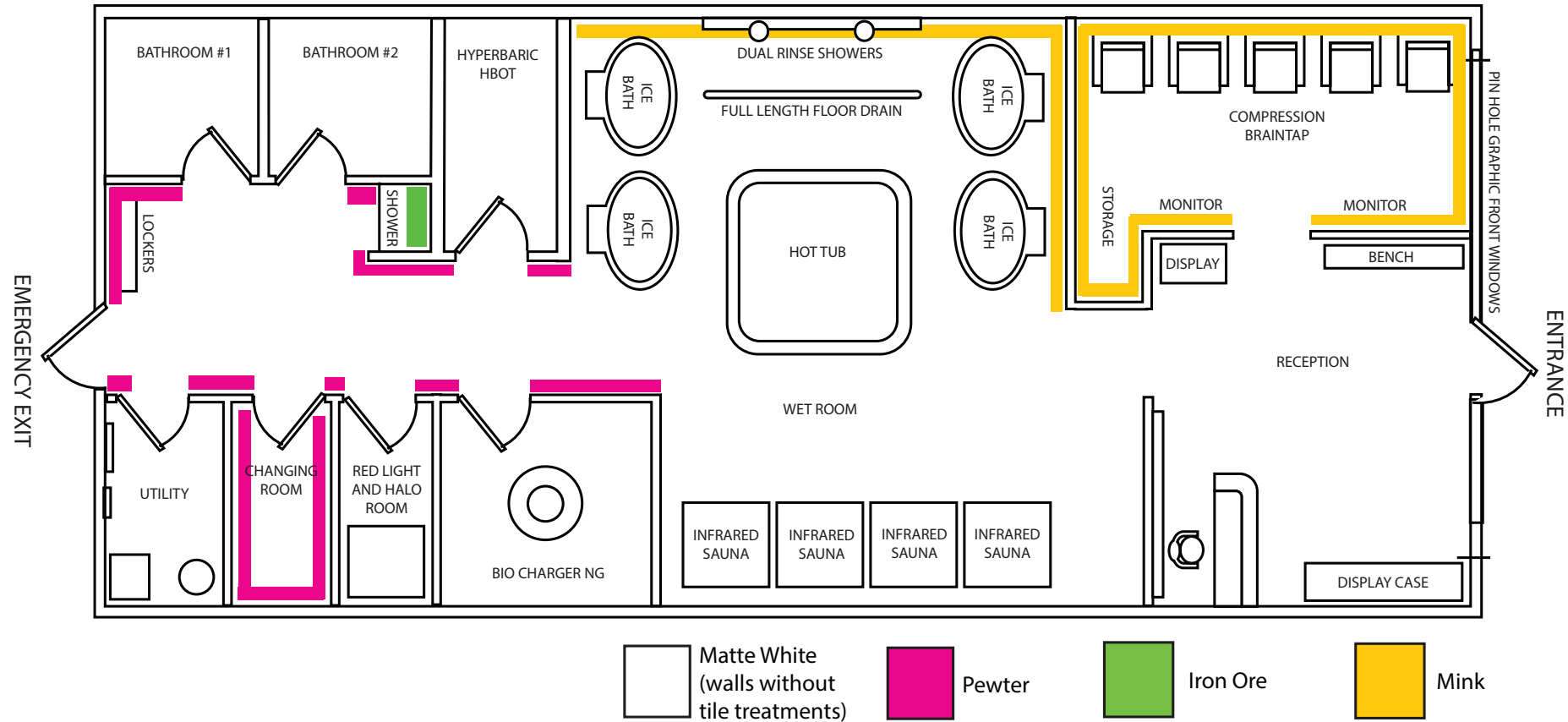
- Primer: B51W000620 - ProRite® ProBlock® Interior/Exterior Lated Primer/Sealer
- 2 Coats: B66W00651 - Pro Industrial High Performance Acrylic - Semi-Gloss

EXISTING METAL DOORS & FRAMES

- Primer: B66W00310 - Pro Industrial Pro-Cryl® Universal Acrylic Primer
- 2 Coats: B66W00651 - Pro Industrial High Performance Acrylic - Semi-Gloss

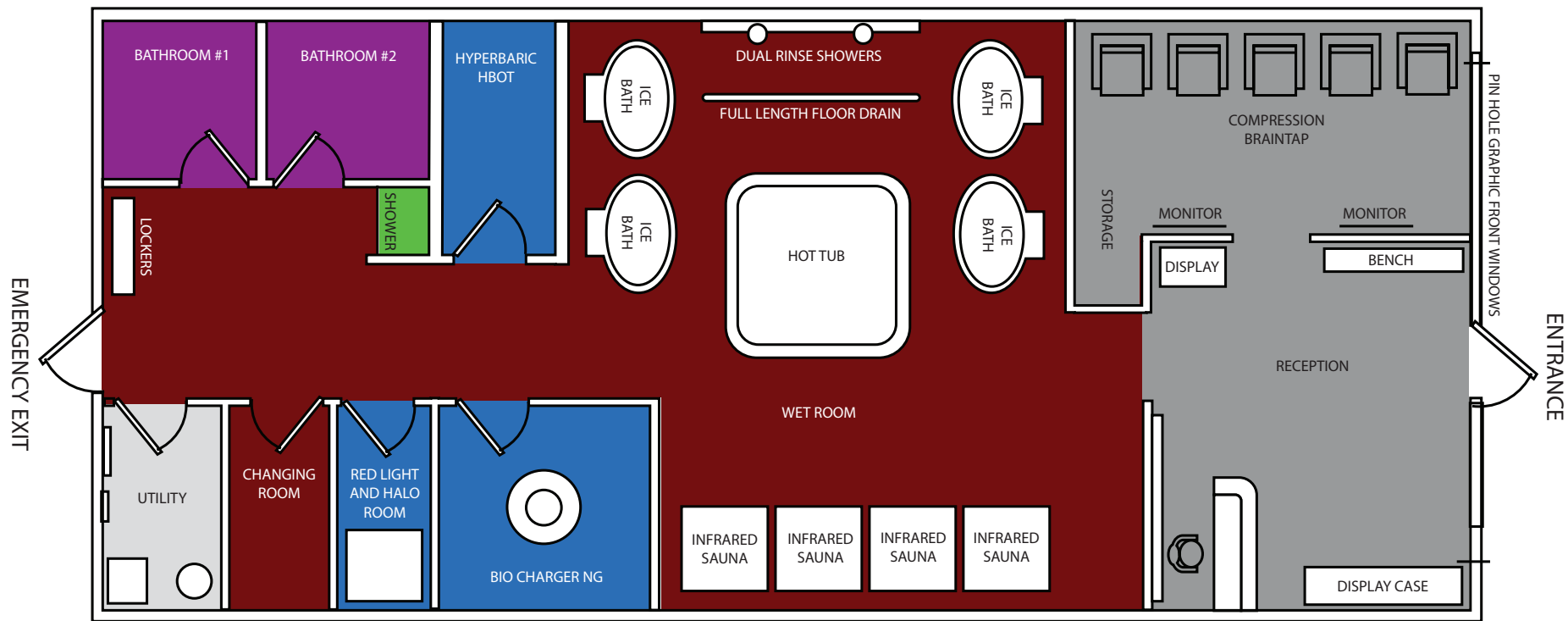
NEW METAL DOORS & FRAMES

- Primer: B66W00310 - Pro Industrial Pro-Cryl® Universal Acrylic Primer
- 2 Coats: B66W00651 - Pro Industrial High Performance Acrylic - Semi-Gloss



ALL NON-DESIGNATED WALL SURFACES

- Snowbound



Livingstone
Nero Tile

Shower Pan
Black Sliced Blend

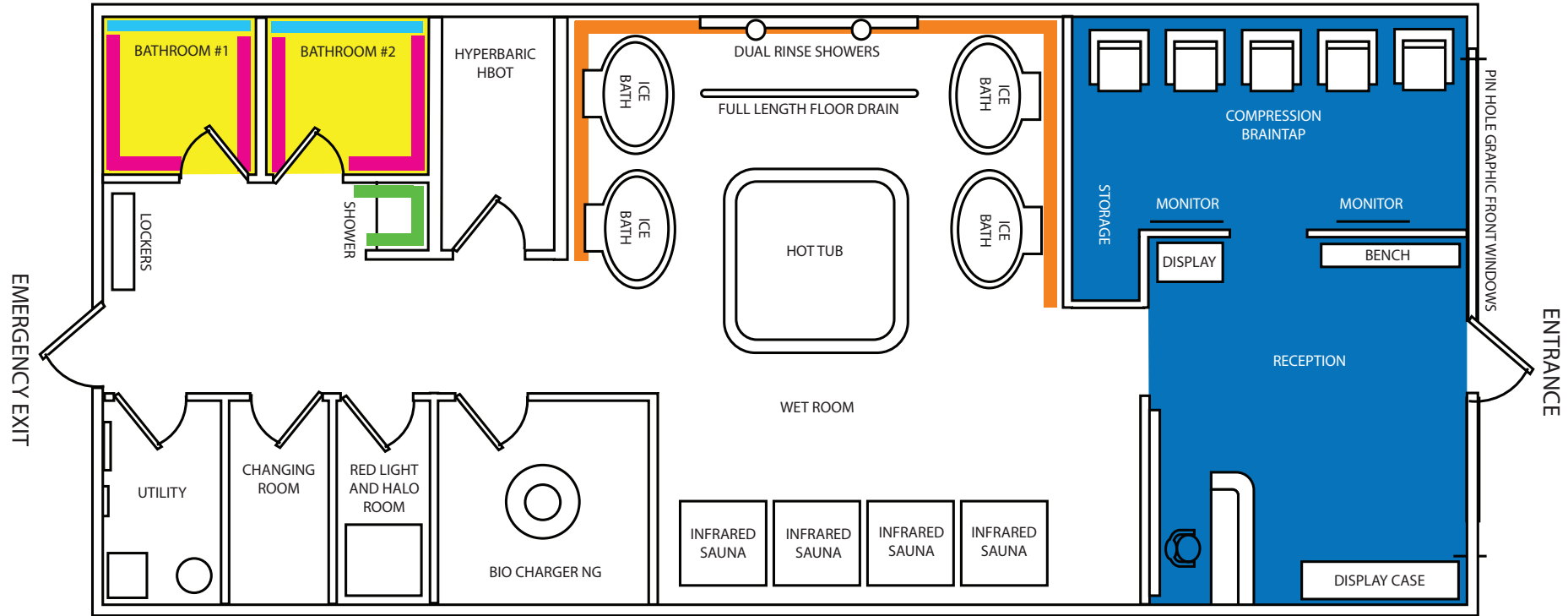
Ecore EBB Motivate
320 Onyx


Ecore Hydrogrip
Deep Lake Color
4" Cove Floor Base

Walden Stone Tile
Floor and Base


Sealed
Concrete


DESIGN FINISHING - WALL & FLOOR CALL OUTS AUGMENT DESIGN GUIDE




 Tile: Sensorial Tartan Matte Ceramic Wall Tile
Grout: Walnut #541

 Tile: Cristalo AC Ceramic Wall
Grout: Arctic White #640

 Tile: Filetto Camel Ceramic Wall Tile
Orient stripes vertically
Grout: Bone #382

 Tile: Ionic Steel
Grout: Dove Grey #370

 Floor & Splash Tile: Walden Stone
Grout: Cape Grey #546

 Floor Tile: Livingstone Nero
Grout: Charcoal #60

ENTRY AND COMPRESSION AREA

- Walden Stone Tile Floor and Base

WET ROOM

- Ecore Hydrogrop in deep lake color
- Ecore Sanitary cove floor base
- Ionic Steel tile wall

Back Hallway

- Ecore Hydrogrop in deep lake color
- 4" Black Rubber cove floor base

Modality Rooms

- Ecore EBB Motivate - color onyx
- 4" Black Rubber cove floor base

Shower

- Flooring Sliced Black Pebble
- Filetto Camel Ceramic Wall Tile 18"X47"

Bathrooms

- Sensorial Tartan Matte
- Accent tile - Cristalo AC Ceramic Wall Tile 12"X35"
- Livingstone Nero floor tile

Utility

- Concrete

GROUTS

- | | |
|-----------------------|-------------------|
| • Tartan | Walnut #541 |
| • Cristalo | Arctic White #640 |
| • Walden Stone | Cape Grey #546 |
| • Ionic Steel | Dove Gray #370 |
| • Filetto Camel | Bone #382 |
| • Sliced Black Pebble | Dove Gray #370 |
| • Livingstone Nero | Charcoal #60 |

HOME DEPOT TILE BASE GROUT

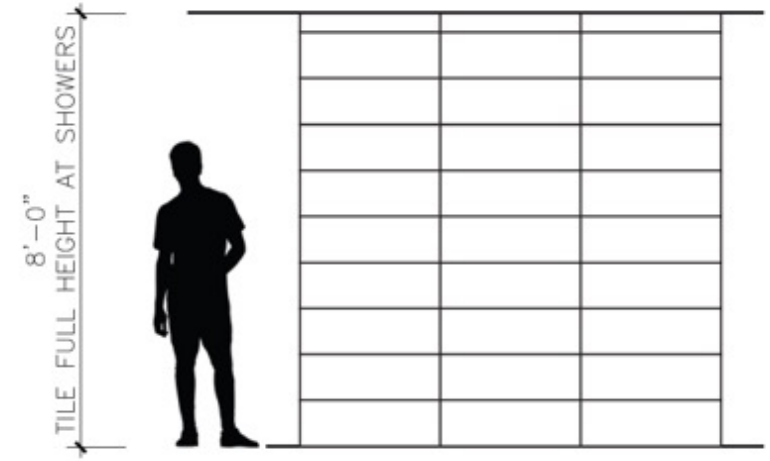


WET ROOM ACCENT WALLS

- Patchwood Charcoal
Dove Gray #370
- Sliced Black Pebble
Dove Gray #370
- Livingstone Nero
Charcoal #60

WALL BASE

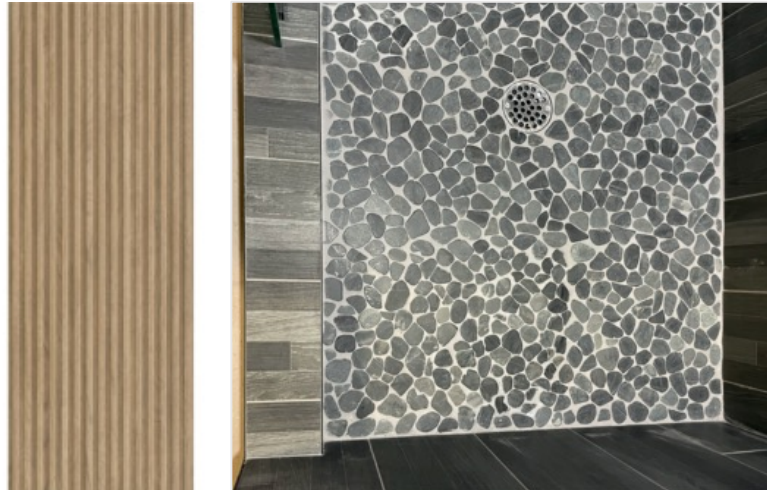
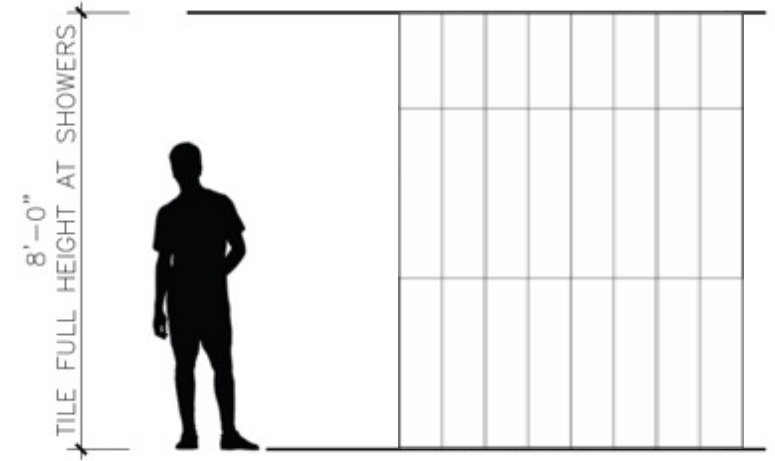
- Wet Room - 4" Cove Flooring





SHOWER

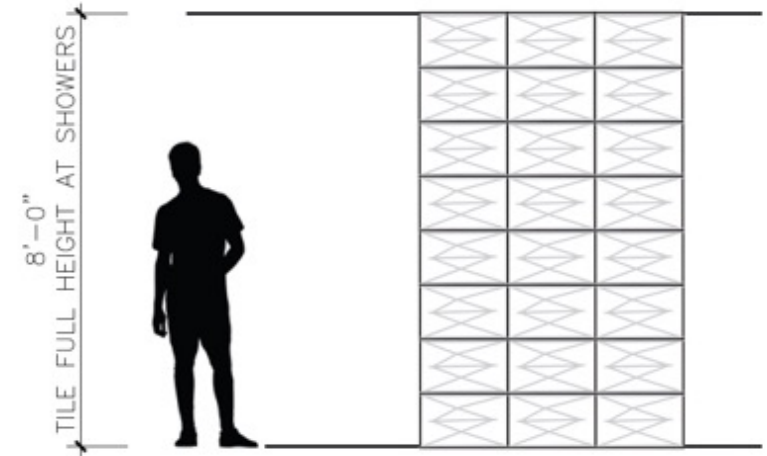
- Filetto Camel Ceramic Wall Tile 18" X 47"
Dove Gray #370
- Sliced Black Pebble 12" X 12"
Dove Gray #370





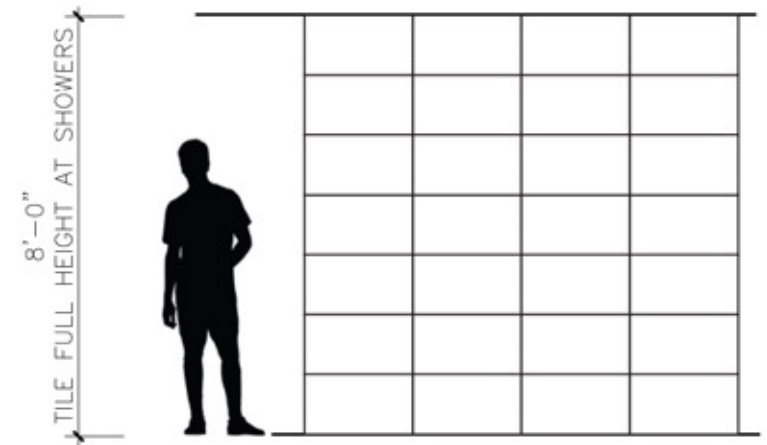
BATHROOM ACCENT WALL

- . Cristalo AC Ceramic Wall Tile - 12 x 35 in.



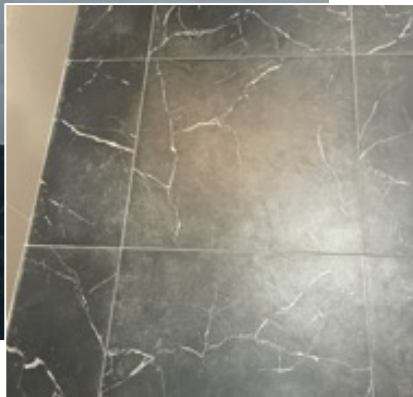
BATHROOM NON-ACCENT WALL

- . Sensorial Tartan Matte Ceramic Wall Tile - 13 x 39 in.



FLOOR TILE

- . Livingstone Nero



MOSS WALL

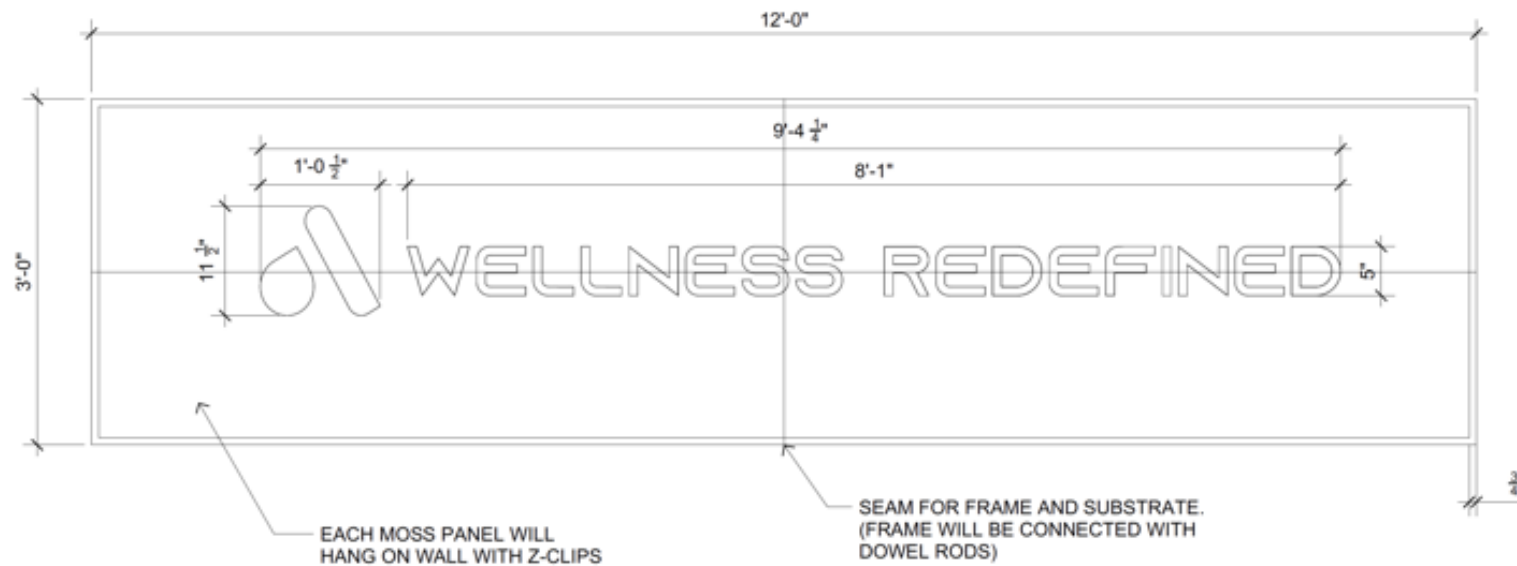
- Located above Compression Chairs
- Dark Green Pole Moss
- Vendor: Green Oasis, San Antonio



Materials



Dark Green
Pole Moss
(34.2 ft²)



ELEVATIONS MUST BE VERIFIED
WITH FIELD MEASUREMENTS

USAGE GUIDELINES

In order to protect and grow the Augment brand, please follow our standard guidelines. Other sizes and resolutions of the logo, some suitable for print, will be provided on your Augment shared drive. Additional guidelines regarding the logo's appearance are given below:

1. These represent the complete Augment logo and tagline "Wellness Redefined."
2. When the logo is used on a dark background, for legibility, you must use the white logo with the transparent background. When the logo is used on a light background, you must use the black logo.
3. There should be sufficient clear space around the logo.
4. Typeface for the tagline is "Azonic" regular.
5. Never change the logo from its original black or white design.
6. The modified "A" for Augment can be either stacked or positioned horizontally.
7. Never reorganize the elements. Do not stretch or distort the logo.
8. Never add elements to the logo.

LOGO TYPE AND COLOR

- Horizontal
- Stacked
- Color: 100% Black
- Reverse: 100% White

FONT

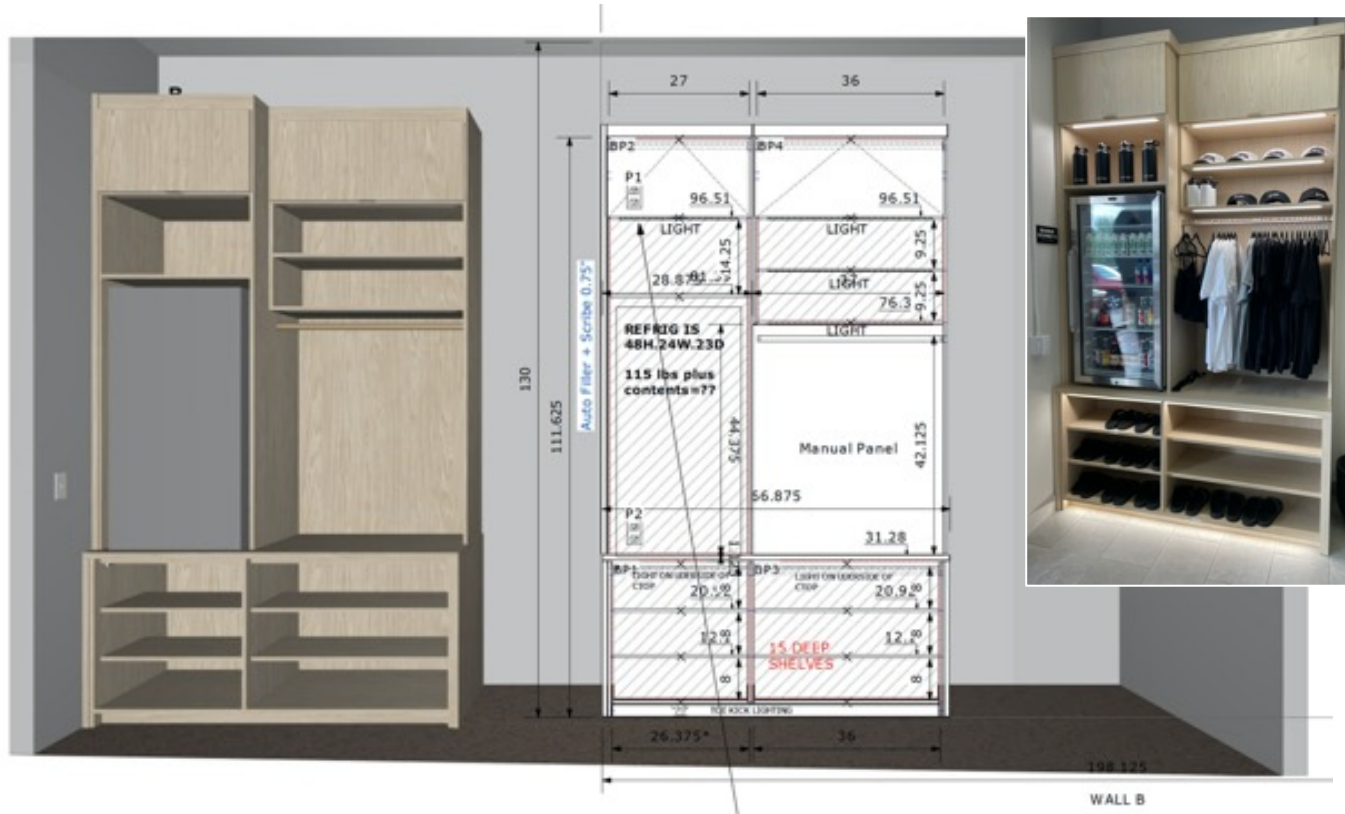
- Azonic

TAG LINE

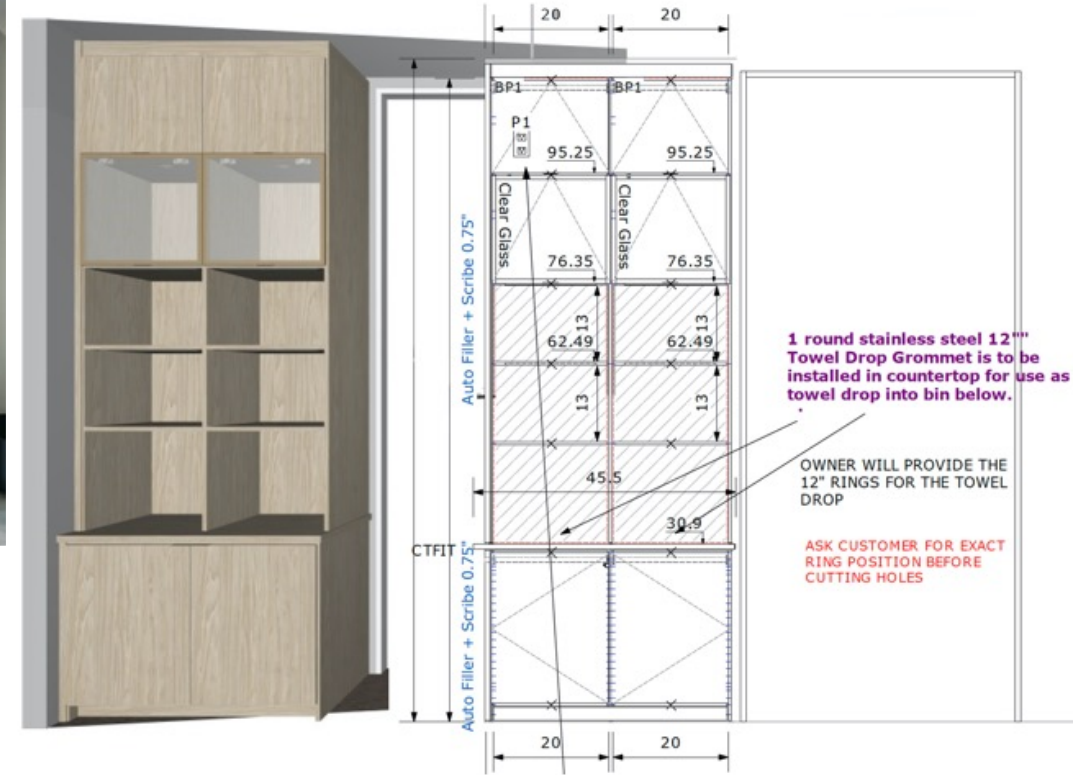
- Wellness Redefined



RETAIL UNIT



TOWEL BUILT-IN



CABINETS

- California Closets
- Specifications listed above for front two cabinets

RECEPTION

- Custom Wood & Laminate Front Desk
- Built to specifications

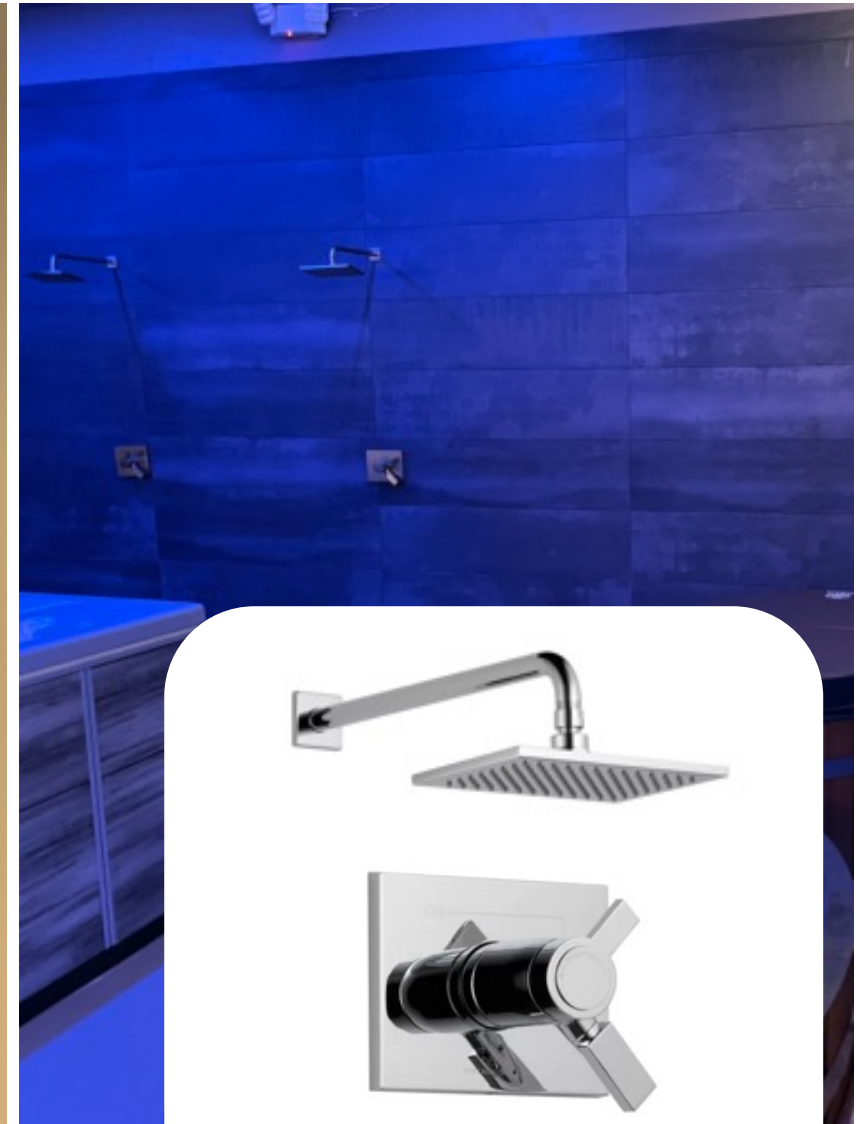


INTERIOR WET ROOM SHOWER

- Vero Volume Control Shower Faucet Trim with Lever Handles and Temp Assure
- Delta 16" Shower Arm in Chrome
- Drain - 8' floor drain

LOCKER AREA SHOWER

- Vero Volume Control Shower Faucet Trim with Lever Handles and Temp Assure
- Delta 16" Shower Arm in tint
- Delta 3" standard shower drain cover tint
- 24" Glass partition and matching hardware



INTERIOR SOLID DOORS AND FRAMES

- Door frames shall be Timely knockdown with TA-28 aluminum casing frames in “Alumatone” (SC108) and casings in clear anodized aluminum.
- Doors shall be solid core wood, stained.
- Glazed interior openings adjacent to doors shall have coordinating installation hardware. Provide tempered glazing as required by local codes, typically at 18” or closer to the floor and locations opposite of door strikes.

INTERIOR HARDWARE

- Door hardware shall be black 36” handles
- Bolt lock commercial privacy locks on (and all closures) for restrooms, red light room, and changing room/s.
- No lock on hyperbaric oxygen room or Bio Charger NG room

INTERIOR WINDOW TO COMPRESSION

- Interior window to compression area shall be built into non-supporting wall.

INTERIOR DOORWAYS CUT OUT SIZES

- Interior doorway to compression and wet room areas shall be built into non-supporting walls.

EXTERIOR STOREFRONT

- Exterior storefront shall be cleaned, repaired, and replaced on an as needed basis. Entry into foyers with either single or double sets of doors shall be provided as required by code for energy conservation.
- Interior storefront meeting up with existing exterior storefront shall match colors.

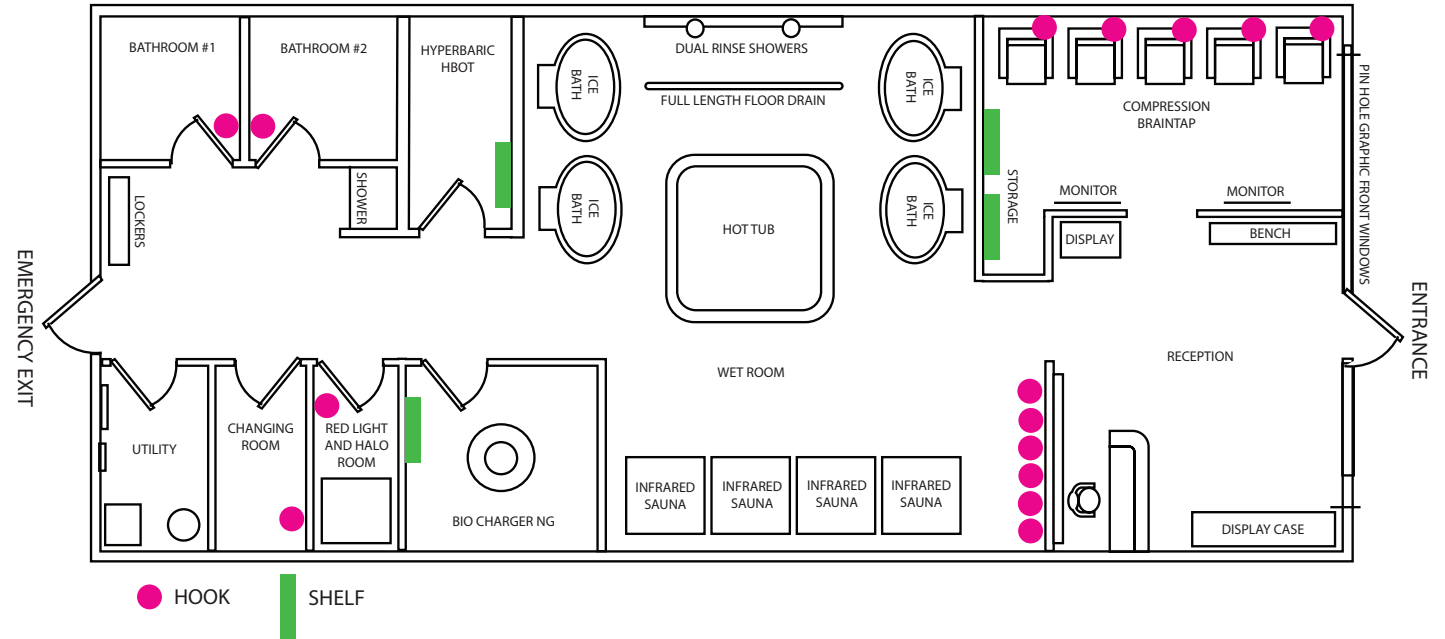


INTERIOR HOOKS & SHELVES LOCATION TYPE

- Shelfology



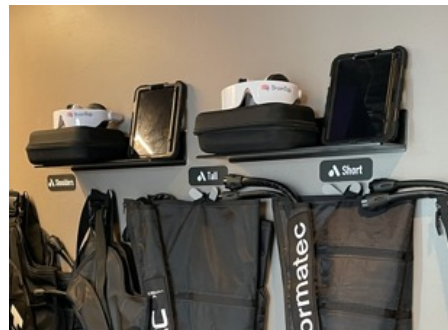
**Wet Room
Word Wall
6 Single Hooks**



Hooks 3-Up



Hook Single



Shelves

INTERIOR SIGNAGE LOCATION

- Signarama



Reception

- Augment Logo
- Franchise

Wet Room

- Rules
- Shower Request
- Wall Graphics

Hallway

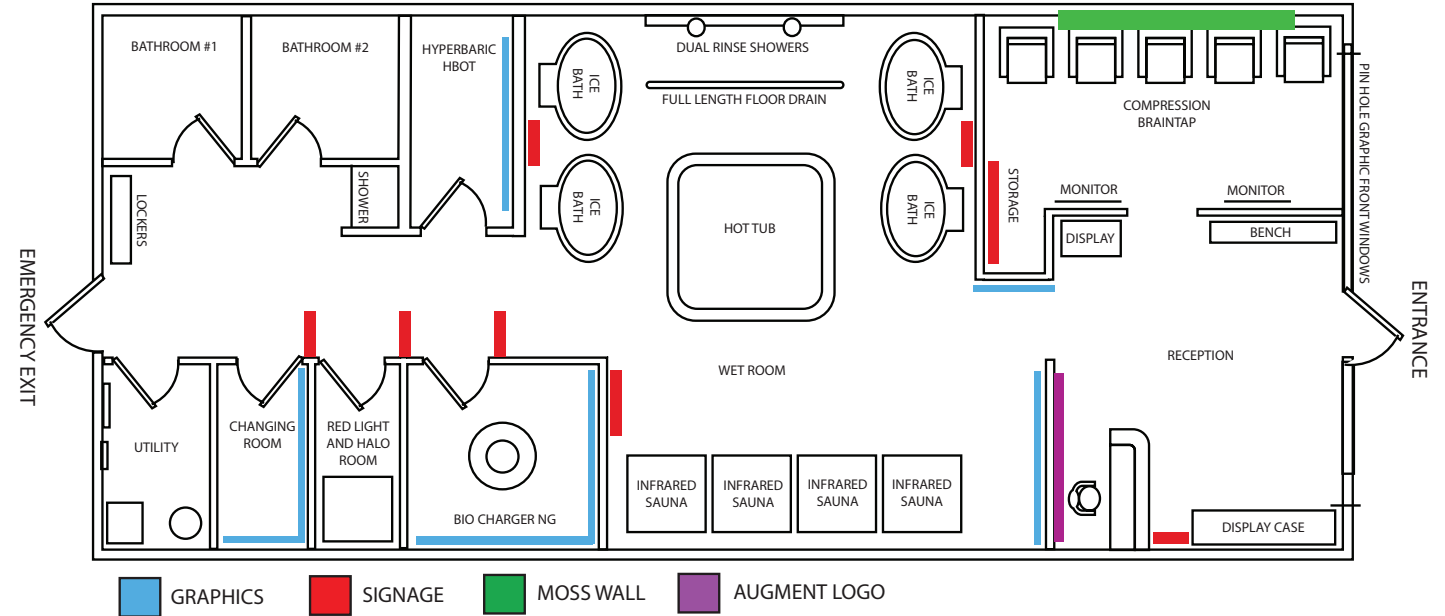
- Modality Rooms

Modality Rooms

- Wall Graphics

Compression Room

- Sleeve storage
- Brain Tap storage



INTERIOR FLOORING

- Various suppliers

Reception

- Walden Stone Tile and base with Cape Grey #546

Wet Room

- Ecore Hydrogrip with 4" cove base.
- Deep lake color

Modality Rooms

- Ecore EBB Motivate 320
- Onyx color

Bathrooms Rooms

- Livingstone Nero Tile with Charcoal #60

Common Area Shower

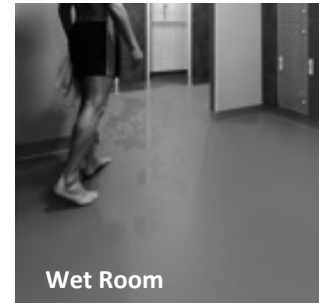
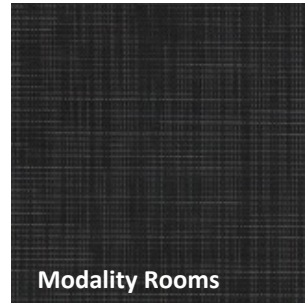
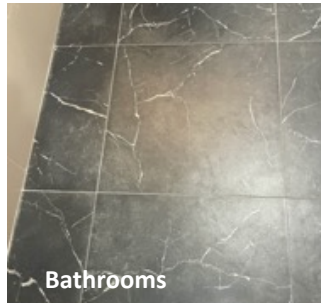
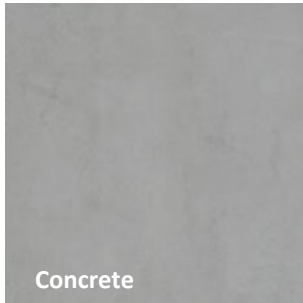
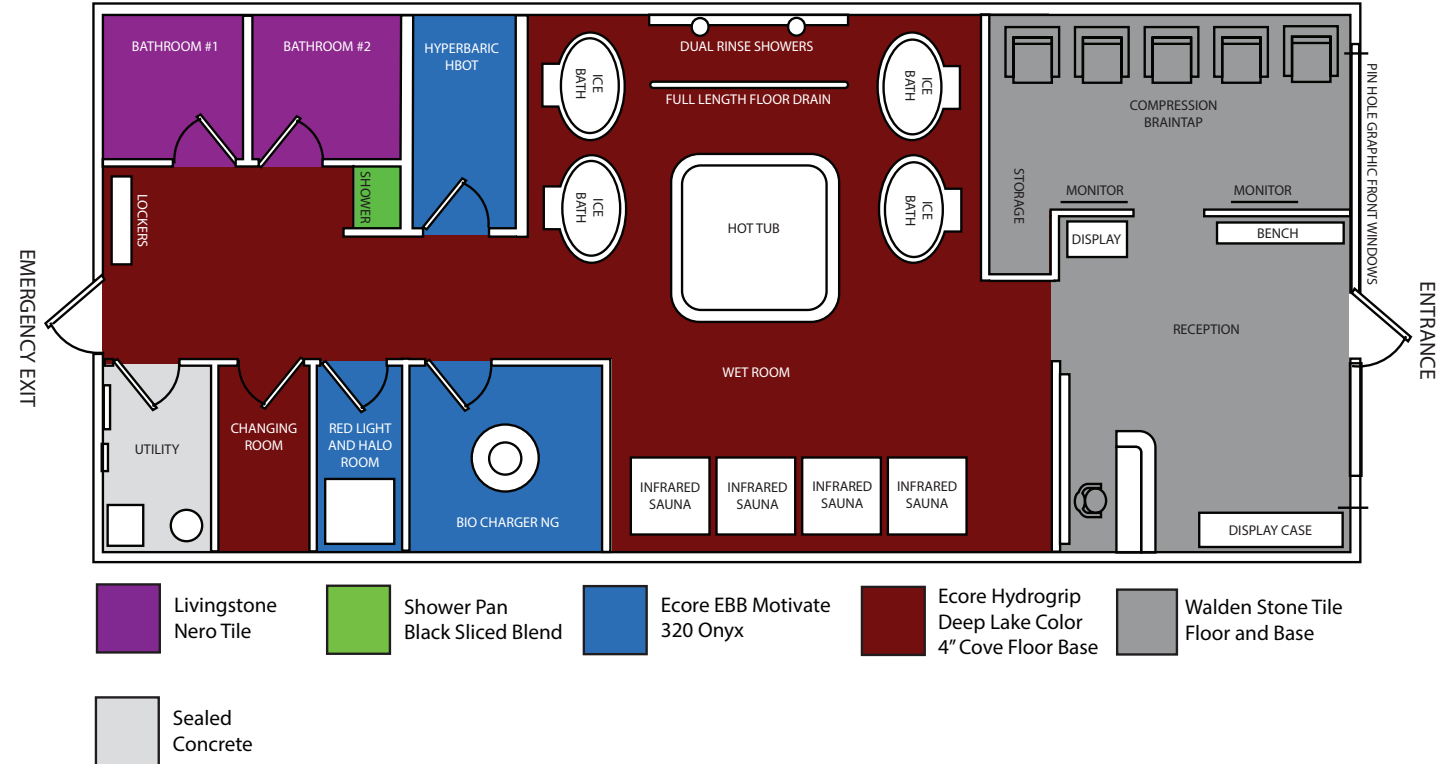
- Black sliced stone with Dove Grey #60

Entry & Compression Rooms

- Walden Stone Tile Floor with Dove Grey #370

Utility Room

- Sealed concrete



INTERIOR LIGHTING

- Various suppliers

Reception

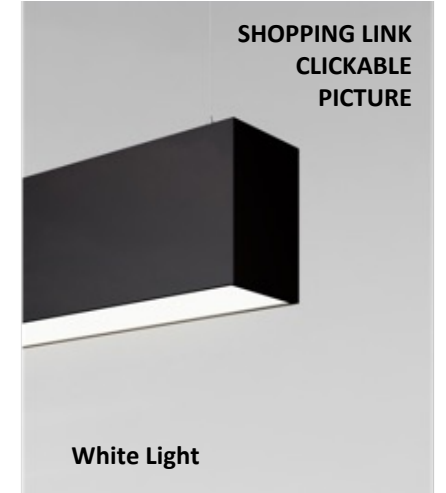
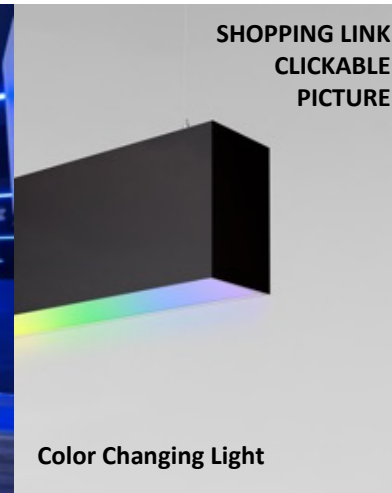
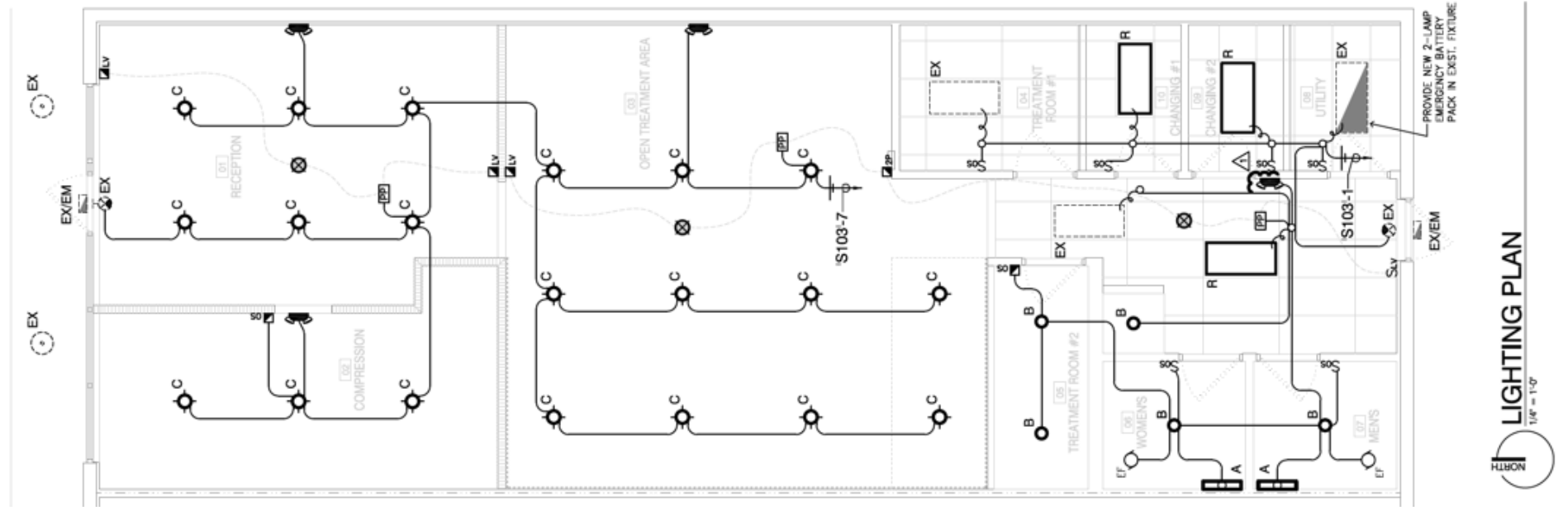
- 2.75" Color temperature/directional switch LED Pendant Light
<https://www.alconlighting.com/12180.html>

Wet Room

- 2.4" RGBW color changing LED linear pendant light
<https://www.alconlighting.com/12100-23-p-rgbw.html>

Compression Room

- 1 light single drum LED pendant - copper
<https://www.allmodern.com/lighting/pdp/1-light-single-drum-led-pendant-a001179758.html>



SPECIALTY EQUIPMENT

- Provided by Dyson, Suitmate, Elkay, and Zogics



Dyson hand dryer

Location:
Bathrooms

Dyson Airblade V (HU02-N-LV) Hand Dryer, Nickel, 110-120V (Standard Volt) with HEPA Filtration



Suitmate Spin Dryer

Location:
Changing Room

Model 115V 20AMP 60HZ
SELF-TIMED UNIT
SPECIFICATIONS:
Dimensions: 15" LG. X 15"
HIGH X 23" DEEP Weight:
approx. 55lbs.



Elkay ezH2O Liv Pro In-Wall Commercial Filtered Water Dispenser - Aspen White

Location:
Common area by open lockers



Zogics 16 gallon Trash Receptacle

Location:
Common area by lockers

•**Dimensions:** 14.25" L x 14.25" W x 28.25" H
•**MPN:** HLS16STR
•**Capacity:** 16 Gallons (61 Liters)
•**Color:** Stainless Steel Body / ABS Plastic Lid

SIGNATURE SERIES - WHITE

- Provided by Cintas



**Toilet Paper
Dispenser**



**Air
Freshener
Dispenser**



**Hand Towel
Dispenser**

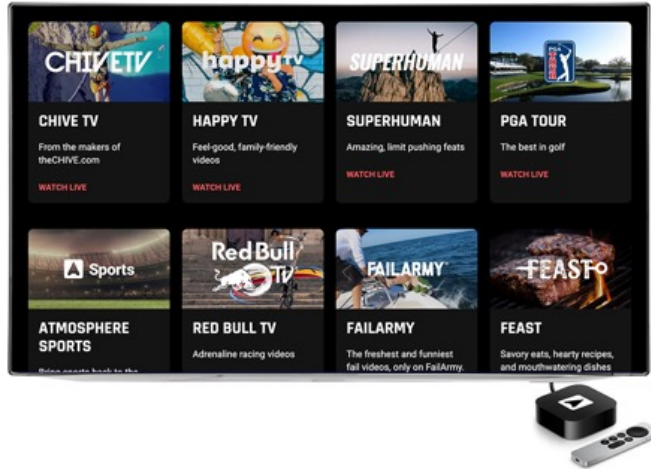


**Trash
Receptacle**



**AED Lease or
Purchase**

SPECIALTY EQUIPMENT



**55" Smart Monitors with
Atmosphere TV Subscription**



**Whynter
Beverage
Refrigerator:**

Model: CBM-815WS,
Freestanding
Commercial
Beverage Merch/
Refrig w/Superlit
Door, 8.1 Cu. Ft.



**LED Digital
Programmable
Message Board
and Clock:**

Model



**Digital wireless
Sound System:**

Model

**Digital wireless
ceiling
speakers:**

Model

SPECIALTY ELECTRONIC EQUIPMENT



Desktop PC, Monitor, Keyboard, and Mouse

Model: Windows 10

Configuration: 16Mgs Ram, SSD



Software:

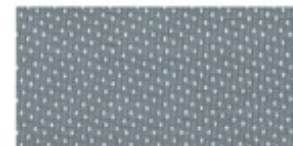
GloFox

Standard credit card reader - wired:

Model

SOLAR SHADES

- Hunter Douglas
- Mechanism: manual continuous loop with clutch, electric motorization suggested.
- Shearweave 2710 in Oyster/Pewter or T Screen 9703 in White/Charcoal/Grey recommended
- Openness factor and fabric TBD with windows facing direction and room usage



WATER HEATERS

- Water heating shall be supplied by a two-tank water heating system sized for peak anticipated usage. In the event that one tank is temporarily disabled, the system shall allow for the second tank to continue supplying hot water to all facilities.

RESTROOM FIXTURES

- Restroom fixtures shall be chrome with coordinating hardware.

RESTROOM DISPENSERS AND SUPPLIES

- Cintas is the preferred vendor for janitorial supplies and offer a designer series of towel, soap, and paper dispensers in a coordinated white color.

RESTROOM SINKS

- Insert



Single-Handle
Single Hole
Bathroom
Faucet in
Chrome



Rectangular Matte Black Ceramic
wall mounted bathroom sink with
overflow and standard 1.25" drain.



American Standard Toilet
and Tank



Frameless Anti-Fog Silver
Vanity Mirror 21" x 32"

FURNITURE AND ACCESSORIES

- **Bio Charger support table:**
Size: 36" X15"H
Composition: Wood
Manufacturer/Model #: Safavieh Couture Julianna
Modern Wood Coffee Table
- **Bio Charger Room Bean Bag Chairs:**
Size: Large 30 Sq.
Composition: Vegan leather - caramel
Manufacturer/Model #: Modern Lounger Bean Bag chairs
- **Compression Room Chairs**
Human Touch PC-420 Compression Chair Sycamore
- **Compression Room Tables**
Size: L 25.6 X W 14.2 X H 15.7
Composition: Wood/Black
Manufacturer/Model #: [Manhattan Comfort Brookside Black 25.6 Inch Rectangle End Table](#)
- **Reception Area Rustic Bench and Cushion**
Size: 72" length
Bench Manufacturer/Model #: Anton solid wood dining
Cushion: Anton Dining Bench Cushion 72"
- **Wet Room Balance Bars**
Size: 90" tall x 34" wide x 9" Depth
Mfg: Beyond Balance Wooden Stall Bars



- Available from Signarama
Contact information:

- Available from Signarama
Contact information:



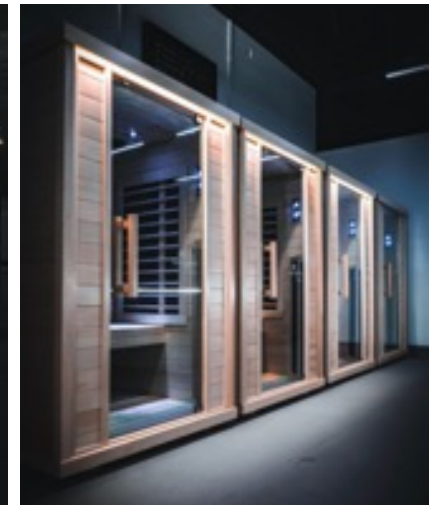
ICE BATHS

- Chilly Goat by Master Spas
 - Alpine Glacier
- Dimensions:** 84" x 42" x 30" (214 cm x 107 cm x 77 cm)
Fill Volume: 120 gallons (455 L)
Dry Weight: 560 lbs (255 kg)
Full Weight: 1750 lbs (794 kg)
Power Requirement: 120V / 15Amp
Horsepower 2.1 hp
Jets: 2
LED Lighting: Yes
Seating Capacity: 1



INFRARED SAUNAS

- SunLighten Amplify 2-person Infrared Saunas
- Dimensions:** 50.9W x 45.9D x 77.7H - Includes 2 feet for access
Wood finish: Eucalyptus
120V 20A circuit and outlet required



HOT TUB

- Bullfrog M7
- Features: Seats 9, 6 jetpaks
Dimensions: 7'7" (2.31m) x 7'7" (2.31m) x 37" (.94m)
Water Capacity: 453 gal/1716 Liters

RED LIGHT BOOTH

- Mfg: Vitality Booth
Vitality Booth Pro Medium
Dimensions: 88"(H) x 67"(W) x 52"(D) | 640 LB
Seats up to 2 adults per session.
Three integrated red light panels.

HALO DRY SALT ATTACHMENT

- Mfg: Vitality Booth
Connects to the side of the Vitality Booth

HALOGENERATOR SALT

- Mfg: Himalayan Secrets
Pharmaceutical Grade Salt
Approved for Halogenerators - Use in Salt Therapy
5 LB. Jar



COMPRESSION SLEEVES

- Mfg: Hyperice
Normatec Compression Sleeves
Includes: Normatec 3 control unit
Attachments (different sizes are available)
Leg attachments (2)
Arm attachments (2)
Hip attachment (1)
Power supply (connects to standard 110V outlet)
Hose - Connects the control unit to the attachments



COMPRESSION CHAIRS

- Mfg: Human Touch
Model PC-420 Compression Chair Sycamore
Power supply (connects to standard 110V outlet)

BRAIN TAP HEADSETS

- Mfg: BrainTap
Single model - one-size fits all
Rechargeable Battery operated
Charger (connects to standard 110V outlet)



VITAERIS 320 HYPERBARIC CHAMBER

- Mfg: OxyHealth
1.3 ATA (4 psi) operating pressure
Double-sided 44 oz. urethane coated polyester bladder
Tamper-proof, dual redundant pressure regulator valves
Additional port for external medical pass-through devices
Rigid frame that maintains form when deflated
Mattress contoured to fit inside the chamber
Manufactured with nontoxic, medical grade components
Dimensions: (Inflated) 92" Long, 32" Wide
Power supply (connects to standard 110V outlet)

COMPRESSOR

- Mfg: OxyHealth
Double-headed, oil-less, 1/3 hp compressor with dual intake filters
with cooling radiator
High-efficiency inline air filtration that filters air to 0.01 microns
Analog pressure gauge

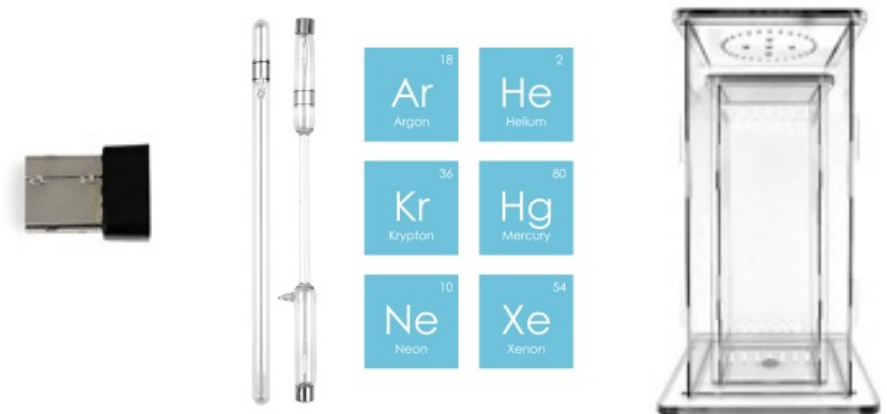


BIO CHARGER

- Mfg: BioCharger NG
Photo bio-modulation, voltage, frequencies & harmonics, and pulsed electro-magnetic fields (PEMF)
Built-in LED Screen
MyCloud hosted library of 1100 plus unique recipes
Dimensions: 28" H x 18.5" W x 24" D (weight 68 lbs.)
Plasma tubes: Argon, Helium, Krypton, Mercury, Neon, Xenon
Sound dampening baffle: Size: 14" tall x 8" x 8"
5G USB Wifi Adapter
Power supply (connects to standard 110V 15AMP outlet)

CRYO CHAMBER

- Mfg:



Hot Tub:

The M7 spa requires a 240V dedicated circuit with a 50 AMP service (needs its own breaker shut off). Does not need any hard plumbing (we drain with a pool pump)

<https://www.bullfrogspas.com/spas/m-series-hot-tubs/m7/>

Cold Tubs: Power Requirement:

120V / 15Amp. (quantity 4 in the studio)Does not require any plumbing

<https://chillygoattubs.com/collections/cold-tubs>

Infrared Saunas:

120V 20A circuit and outlet required. (quantity 4 in the studio

<https://www.sunlighten.com/saunas/amplify/amplify-ii/>

Compression Therapy Chairs:

5 standard outlets required in the compression room (nothing additional needed.) Each outlet serves one chair and one compression unit. Normatec brand compression sleeves with human touch electric zero gravity chair.

<https://hyperice.com/products/?product-type=normatec>

Red Light Vitality Booth (small):

Requires one standard outlet

<https://vitalitybooth.com>

Biocharger:

Requires one standard outlet (outlet preferably in the floor on center and non-metal face plate)

<https://biocharger.com>

Hyperbaric Oxygen Chamber:

Requires one standard outlet but needs to be confirmed

<https://www.oxygenhealthsystems.com/product/hyperbaric-oxygen-chamber-sitting>

Other things to note for plumbing:

Plumbing in main wet room area includes a 10 ft. trough floor drain, with sloped floor to manage water shed throughout. Trough drain placed below 2 shower heads (rinse stations)

Additionally, you will want to add minimum 1 floor drain between cold tubs, so that you can pump all water out as needed from the tubs. See our Queen Creek plans for reference (we added 2 but only 1 is necessary)

Single tap water spigot recommended in wet room area. Purpose is to hook a hose up to for tub refilling. (see plans we have 2, only need 1)

Swimsuit dryer

Requires drain hookup. Locate near the mop sink, or somewhere that plumber can tie in to drain line or mop sink. Needs a drain attached for smaller amount of water that will come from the machine. Standard hardware.

<https://suitmate.com/products/>

Bottle Filler

Requires a water line, as well as a drain hook up. Needs power to filler, as well as power to chiller in the ceiling.

https://www.prodrinkingfountains.com/elkay-lbwd06whk-ezh2o-liv-built-in-water-dispenser/?gclid=Cj0KCQjwpc0BhCGARIsAH6ote8l3rSP8V5SxKIBS62klt3XAUQAG5nphuFNtUsIHmUvi5ivkJEZVrwaAgPkEALw_wcB

Utility room:

Needs washer dryer hook ups, water heater (existing is ok if you have one), and mop sink

GENERAL

- It is the intent of these drawings to describe a complete, finished job. Any discrepancy or omission which would be required to complete the work or anything required by City Field Inspector, shall be provided and finished as if specifically noted at no additional cost unless a written change order is signed by the Tenant prior to start of additional work.
- All designs, drawings and details represent completed in-place work. Architect is not responsible for construction means, methods, techniques, sequences, procedures or safety precautions and programs in connection with the work, for the acts or omissions of the Contractor, Sub-Contractor or any other person performing any other portion of the work or the failure of any of them to carry out the work in conformance with the contract documents or instructions from the Tenant.
- Architect cannot and does not warrant the safety or integrity of the existing building or any of its components or that the original, existing tenant space (if any) was constructed to code. The Architect's involvement with the existing building is solely limited to the new work shown in this set of architectural drawings.
- The scope of this project is confined to inside the existing building. No new work is being done to the site or building exterior.
- Conform to applicable codes and to other applicable regulations. Where an element or assembly is noted as "accessible," it shall comply with the applicable code or standard for accessibility as noted under Project Data. If multiple standards apply, the most restrictive shall rule.
- Provide all labor, materials, equipment and services required to furnish and install all materials shown and to complete the project in a workmanlike manner.
- Keep site clean, remove surplus materials and debris upon completion of the work.
- Refer to Owner's building standards and comply with the information provided therein unless it is necessary to match existing or otherwise noted in these drawings.
- Contractor to field-verify all dimensions and conditions and inform Architect of any discrepancy between these contract documents and in-place construction prior to construction of this project.
- When a material, equipment, mechanical or electrical system is noted, all parts and materials required to complete the system shall be furnished and installed per manufacturer's instructions.
- Only the most current, approved sets of drawings shall be at the jobsite. Written dimension takes precedence over scaled measurements.
- All products listed by ICC / NER number(s) shall be installed per the report and manufacturer's written instructions. Product substitutions for product(s) listed shall also have ICC / approved evaluation report(s) or be approved and listed by other nationally recognized testing agencies.
- Contractor to patch, repair, cap off and adapt as necessary all mechanical, plumbing and electrical systems required to be altered due to the execution of new work; as well as repairing and cleaning all work damaged throughout the course of construction.
- Any alteration, modification, damage to existing conditions shall be repaired / replaced per specifications of original work. Refer to Shell Building documents or other appropriate documentation for specific information and requirements.
- At areas where a portion of the existing floor slab is removed to perform below-slab work, the concrete pour-back shall be:
 - 1. Concrete strength (PSI) to match the original floor slab.
 - 2. Drill and dowel with rebar into the edge of the existing slab.
 - 3. New termite treatment shall be provided beneath the new concrete.
 - 4. Compaction shall be 95% minimum.
- General contractor shall test concrete slab for moisture content prior to floor finish material installation. Provide topical concrete sealer to treat moisture level in order to meet manufacturer's moisture level for specified finish material. Construction budget shall include cost estimate for sealer and installation.
- If a moisture barrier exists at any areas where concrete is removed, a new moisture barrier matching the specifications of the one removed shall be put back in place beneath the new concrete.
- Provide R-38 batt insulation below existing roof deck if none currently exists. Insulation located in the space above the suspended acoustical ceiling shall comply with IMC 602.2, which requires that materials located in plenum spaces or in locations where insulation will be exposed shall be noncombustible or shall have a flame spread index of no more than 25 and a smoke density of not more than 50 when tested in accordance with ASTM E 84.
- All insulation materials, including facings such as vapor retarders and vapor-permeable membranes, similar coverings and all layers of single and multi-layer reflective foil insulation, shall have a flame spread rating not to exceed 25 and a smoke density not to exceed 450 when tested in accordance with IBC 719 / 720. Provide faced insulation where exposed.
- Contractor to provide backing / bracing (non-combustible where required by construction type) as required for all wall-mounted equipment, i.e., cabinetry, etc. prior to installation of drywall.
- Dimensions shown on plans are to framing unless a minimum clear or clear dimension is given, in which case the dimension is to finished face of gypsum board, etc.

GENERAL NOTES

- Bid submittal constitutes that the Contractor has reviewed all notes on all sheets of these construction documents. Complete sets of documents shall be used in preparing bids; neither Tenant nor Architect assumes responsibility for errors or omissions resulting from the use of incomplete sets. Bidders shall visit the site to verify visible conditions prior to placing bids.
- Drywall construction to be in accordance with USG recommended methods and specifications.
- All glass in hazardous areas shall be 1/2" A.F.F. or within 24" from the door jamb of the active leaf of a door or any other way subject to human impact shall be tempered glass.
- Exterior signage (if any) is under separate permit.

DEMOLITION

- If hidden conditions are uncovered during demolition that would affect the completion of the project as defined in these construction documents, the Tenant and Architect are to be notified immediately.
- Verify all existing conditions and inform Architect of any discrepancies immediately upon discovery.
- Perform the removal, cutting, drilling, etc., of existing work with extreme care and using small tools in order not to jeopardize the structural integrity of the building.
- Resubmit any existing work which has to be removed to allow the installation of new work.
- Bidders shall visit the site to form their own conclusions as to the character of the work under this section.
- Demolition work shall be performed by experienced personnel exercising proper care to prevent injury to the public, workmen and adjoining property.
- Carefully remove and deliver to the owner all salvageable items, such as light fixtures, doors, hardware, plumbing fixtures, etc. Unless specifically scheduled for reuse, all demolished materials shall become the property of the Contractor and shall be removed from the site.
- Debris from the demolition shall not be allowed to accumulate within the building or on the site.
- Carefully remove all materials and equipment to be removed to allow the installation of new work.
- Remove existing flooring materials in areas scheduled to receive new flooring.
- In areas scheduled as existing to remain, patch, repair and finish walls, floors, ceilings etc. where demolition occurs to match existing.

SUITE / INTERIOR SIGNAGE (ADA)

- Contractor to coordinate with Owner/Property Management and Tenant regarding building / suite standard signage prior to ordering.
- Suite / unit numbers shall be posted above or to the side of the entrance door. Numbers shall be a minimum 3" high, with 1/2" stroke. Numbers on glass shall be white. If the glass is tinted, numbers shall be posted on the exterior of the glass.
- Identification, direction and information signs shall have a non-glare finish and characters shall contrast with the background.
- Exit door identification signs shall be installed on the wall adjacent to the latch side of the room door at a height of 60" and shall have raised characters, pictograms and grade 2 Braille. Provide clear floor space at sign.
- Exit door identification signs shall be installed on the wall adjacent to the latch side of the room door at a height of 60" and shall have raised characters and grade 2 Braille. Provide clear floor space at sign.
- Required accessibility signs shall use International symbol for accessibility.

EQUIPMENT

- Contractor to coordinate any required installation of Tenant-supplied new equipment with Tenant's future supplier. Installation to be in accordance with manufacturer's and Tenant's instructions. Contractor to coordinate architectural, mechanical and electrical drawings with any equipment requirements. Inform Architect of any discrepancies before proceeding with work.

FINISHES

- All ceiling grid is existing. Repair / replace any damaged or missing grid as necessary to match finish and height of existing adjacent lay-in ceiling. Replace all acoustical panels (selection per interior designer). Adjust ceiling grid if necessary to eliminate sags to provide an even and level appearance.
- Confirm locations and selections of all finishes with Tenant before final bid, order and installation.
- All interior finishes to conform to the requirements of IBC chapter 8. Flame spread ratings for interior finishes in "R" occupancies shall not be less than as follows:
 - 1. Interior exits and exit passageways; Class B: flame spread 26-75, smoke developed 0-450.
 - 2. Exit access corridors and other exit ways; Class C: flame spread 76-200, smoke developed 0-450.
 - 3. Rooms and enclosed spaces; Class C: flame spread 76-200, smoke developed 0-450.

SHEET INDEX

ARCHITECTURAL:

- A1 - PROJECT INFORMATION, SCHEDULES AND GENERAL NOTES
- A2 - FLOOR PLAN, WALL, TYPE DETAILS AND NOTES
- A3 - REFLECTED CEILING PLAN, DETAILS AND NOTES
- A4 - ARCHITECTURAL SPECIFICATIONS

MECHANICAL:

- M1 - MECHANICAL FLOOR PLAN, OSA CALCULATIONS AND NOTES
- M2 - MECHANICAL SCHEDULES, SPECIFICATIONS AND GENERAL DETAILS

PLUMBING:

- P1 - PLUMBING FLOOR PLAN AND NOTES
- P2 - PLUMBING SCHEDULES, SPECIFICATIONS, CALCULATIONS AND GENERAL DETAILS

ELECTRICAL:

- E1 - LIGHTING PLAN, POWER PLAN, LUMINAIRE SCHEDULE AND NOTES
- E2 - PANEL SCHEDULE, ONE-LINE DIAGRAM, CALCULATIONS AND NOTES
- E3 - ELECTRICAL SPECIFICATIONS

DEFERRED SUBMITTALS

- PER 2012 IBC, 107.3.4.1 - SUBMITTAL DOCUMENT FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- DEFERRED SUBMITTALS:
 - FIRE SPRINKLERS
 - FIRE ALARMS

ROOM FINISH SCHEDULE

	FLOOR	BASE	WALL	CEILING
ROOM NUMBER	ECORE HYDROGRAPH (TO BE SELECTED BY TENANT)	TEE (TO BE SELECTED BY TENANT)	4" WOOD BASE (PROFILE PER TENANT)	IF INTEGRAL TILE BASE
ROOM NAME	ECORE INTEGRAL BASE (TO BE SELECTED BY TENANT)	GYPSUM BOARD (PAINTED)	GYPSUM WALL TO 7'-0" WITH BALLNOSE TOP EDGE AND PAINTED GYPSUM WALL BOARD ABOVE TO CEILING (OR TOP OF WALL). SEE PLAN FOR TILE LOCATIONS.	TILE 4'-0" HIGH PAINTED GYPSUM WALL BOARD ABOVE
01 RECEPTION	●	●	●	●
02 COMPRESSION	●	●	●	●
03 OPEN TREATMENT	●	●	●	●
04 TREATMENT #1	●	●	●	●
05 TREATMENT #2	●	●	●	●
06 WOMEN'S R.R.	●	●	●	●
07 MEN'S R.R.	●	●	●	●
08 UTILITY	●	●	●	●
09 CHANGING #2	●	●	●	●
10 CHANGING #1	●	●	●	●
- BACK CORRIDOR	●	●	●	●

ADDITIONAL NOTES:

- FLOAT EXISTING CONCRETE SLAB AS REQUIRED TO PROVIDE SMOOTH, LEVEL SUBSTRATE FOR FLOORING.
- PROVIDE TREATMENT, PAINT AND BASE ON EXISTING PARTITIONS AS NECESSARY.
- ALL FLOORING TO BE COMMERCIAL-GRADE.
- ALL GROUT TO BE 1/8" WIDE MAX.
- EDGE TRANSITION FOR FLOORING SHALL MEET ADA REQUIREMENTS. REFER TO "FINISHES" SECTION FOR GENERAL NOTES.
- SEE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

PROJECT DATA

PROJECT ADDRESS:

QUEEN CREEK MARKETPLACE
23670 SOUTH POWER ROAD, SUITE 103
QUEEN CREEK, ARIZONA 85142

APN:

304-78-987

OWNER:

GRACE POWER AND CHANDLER HEIGHTS LLC
69025 EAST INDIAN SCHOOL ROAD
SCOTTSDALE, ARIZONA 85251

CONTACT:

MELISSA LENZ (602) 956-8254

TENANT:

AUGMENT

PROJECT AREA:

1,685 S.F.

OCCUPANCY:

B (SINGLE USE - NO OCCUPANCY SEPARATION REQUIRED)

OCCUPANT LOAD:

1,685 S.F. / 100 = 16.85 (1 EXIT REQUIRED, 2 PROVIDED)

CONSTRUCTION TYPE:

V-B8

PROPERTY ZONING:

C-2

FIRE SPRINKLERS:

YES (DEFERRED SUBMITTAL)

FIRE ALARMS:

YES (DEFERRED SUBMITTAL)

BUILDING CODES:

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES: 2012 IBC, 2012 IMC, 2012 IPC, 2011 NEC, 2012 IFCC, 2012 IFGC, 2012 IEBC, 2012 IECC, 2012 IFMC, ADA A117.1-2009

PARKING REQUIRED:

1,685 S.F. / 300 = 6 SPACES

PARKING PROVIDED:

EXISTING TO REMAIN

DESCRIPTION OF WORK:

TENANT IMPROVEMENT INCLUDING MINOR DEMOLITION, NEW INTERIOR PARTITIONS, FINISHES, EQUIPMENT, MECHANICAL, PLUMBING AND ELECTRICAL WORK, NO STRUCTURAL CHANGES. FIRE PROTECTION TO BE A DEFERRED SUBMITTAL.

b

bricon studio

architecture + planning

3429 north 44th place
phoenix, arizona 85018

phone 480.375.0762
email bricon@briconstudio.com

APPROVED

THE ISSUANCE OF GRANTS OR A PERMIT SHALL NOT BE CONSIDERED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY OF THE PROVISIONS OF THE BUILDING OR BUILDING DEPARTMENT ORDINANCES, LAWS, ORDINANCES, INCLUDING THOSE OF THE FEDERAL, STATE, COUNTY, OR TOWNSHIPS OF QUEEN CREEK.

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DOOR AND HARDWARE SCHEDULE

MARK	GENERAL	OPENING WIDTH	OPENING HEIGHT	FIRE RATING	HARDWARE	DOOR TYPE	THICKNESS	MATL.	FINISH	FRAME TYPE	MATL.	FINISH	NOTES
1	EXISTING DOORS	-	-	-	-	-	-	-	-	-	-	-	-
2	CHANGING-01	-	-	-	PRIVACY LOCK	-	-	-	-	-	-	-	EXISTING DOOR PROVIDE NEW PRIVACY LOCK
3	CHANGING-02	3'-0"	7'-0"	NONE	PRIVACY LOCK	1	1-3/4"	SCW	STAIN	A	METAL	PAIN	-
4	ALL OTHER NEW DOORS	3'-0"	7'-0"	NONE	PASSAGE	1	1-3/4"	SCW	STAIN	A	METAL	PAIN	-

DOOR CLOSER NOTE:

- Door shall be adjusted so that from and open position of 90 degrees, the time required to move the door to an open position of 12 degrees shall be 5 seconds min.

DOOR FINISH, FRAME AND HARDWARE:

- Match existing doors and frames types in suite, reuse existing door where possible. Match existing door hardware.

DOOR TYPES:

FRAME TYPE:

OPPOSITE HAND WHERE OCCURS

1

PLUMBING FIXTURE REQUIREMENTS

TABLE 2002.1 (2012 IBC - CHAPTER 29)

BUSINESS (B)

1,685 S.F. / 100 = 16.85 = 9 MALE & 9 FEMALE

WATER CLOSETS (1 PER 25 OCCUPANTS FOR THE FIRST 50)

MALE

REQUIRED - 1; PROVIDED - 1 IN MEN'S RESTROOM-07

FEMALE

REQUIRED - 1; PROVIDED - 1 IN WOMEN'S RESTROOM-06

LAVATORIES (1 PER 40 OCCUPANTS FOR THE FIRST 80)

MALE

REQUIRED - 1; PROVIDED - 1 IN MEN'S RESTROOM-07

FEMALE

REQUIRED - 1; PROVIDED - 1 IN WOMEN'S RESTROOM-06

DRINKING FOUNTAIN:

REQUIRED - 1 PER 100 OCCUPANTS (1 REQUIRED)

PROVIDED - WATER DISPENSER IS PROVIDED OUTSIDE OF MEN'S RESTROOM IN THE REAR HALLWAY (SEE FLOOR PLAN ON SHEET A2 FOR LOCATION)

SERVICE SINK:

1 IS REQUIRED AND PROVIDED IN UTILITY-08

PROJECT CONTACTS

ARCHITECT:

BRIAN STUDIO, LLC
3429 NORTH 44TH PLACE PHOENIX, ARIZONA 85018
BRIAN ANDREWS, AIA
PHONE 480-375-0762

MECHANICAL & PLUMBING ENGINEER:

GBM ENGINEERING, LLC
15416 EAST PICKETT COURT GILBERT, ARIZONA 85298
LARS BARKMAN
PHONE 480-225-0544

ELECTRICAL ENGINEER:

RLM DESIGNS, LLC
1167 EAST COMMONWEALTH PLACE CHANDLER, ARIZONA 85225
BOBBY MARIN
PHONE 602-741-1047

PROJECT LOCATION

PROJECT

23658 S. POWER RD.

N.T.S.

SITE PLAN

THIS SUITE IS ON THE FIRST FLOOR OF A 1-STORY BUILDING.

AREA OF WORK

SUITE 103

POWER ROAD

N.T.S.

TENANT IMPROVEMENT

AUGMENT

QUEEN CREEK MARKETPLACE
23670 SOUTH POWER ROAD, SUITE 103
QUEEN CREEK, ARIZONA 85142

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Dates
8-10-2022

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Reception

2.75" Color temperature/directional switch LED Pendant Light

<https://www.alconlighting.com/12180.html>

Wet Room

2.4" RGBW color changing LED linear pendant light

<https://www.alconlighting.com/12100-23-p-rgbw.html>

Compression Room

1 light single drum LED pendent - copper

<https://www.allmodern.com/lighting/pdp/1-light-single-drum-led-pendant-a001179758.html>

Bathroom Tile:

Sensorial Tartan Matte Ceramic Wall Tile

<https://www.tilesshop.com/products/sensorial-tartan-matte-ceramic-wall-tile-13-x-39-in-495849>

Cristalo AC Accent Wall Tile

<https://www.tilesshop.com/products/cristalo-ac-ceramic-wall-tile-12-x-35-in-496060>

Shower:

Filetto Camel Ceramic Wall Tile - 18 x 47 in.

https://www.tilesshop.com/products/filetto-camel-ceramic-wall-tile-18-x-47-in-484250?utm_source=google&utm_medium=organic&utm_content=surfaces_across_google&k_cca=PleaseAssignDimCat&gclid=CjwKCAjwkY2qBhBDEiwAoQXK5eiF10nIft_uP-pHN4z0S9QciYKqI7LibfrgmcF3EICtWxN-0jaTahoCeZQQAvD_BwE

Black Sliced Pebble Mosaic Wall 12" X 12"

<https://www.tilesshop.com/products/black-sliced-pebble-mosaic-wall-and-floor-tile-12-x-12-in.-680973>