

**From:** Jeremy Thompson <jeremya9853@carteret.edu>

**Sent:** Thursday, April 4, 2024 3:32 PM

**Subject:** Wayne West Health Simulation Lab Renovation Phase III **Addendum #1** Site Visit Notes

Good afternoon all,

Thank you all again for coming to the pre-bid meeting today and supporting our growth and changes here at Carteret Community College. Below will be the answers to the questions that was discussed at today's meeting.

1. CCC's Maintenance team will empty all rooms of furniture, whiteboards, and cork boards. Also any other loose items.
2. Cover all floors with plastic to contain sheetrock dust. Clean areas daily and use a shop vac system if possible when sanding walls.
3. Nights and weekends are available if needed. A Schedule of class times will be provided to the awarded vendor.
4. May 11<sup>th</sup>, is the earliest start date to begin construction.
5. No specs will be included on this project.
6. All CCC's utilities can be used such as water, power, and restrooms.
7. A lay down space will be provided for trailers, parking, and dumpsters as needed for the contractor. We do not have a construction dumpster.
8. All doors and hardware need to match to what's existing in the building. Re-use doors, hardware, and frames where as needed.
9. All paint colors on walls, cove base, and ceiling tiles need to match to existing.
10. Bid all new carpet squares through out all areas in Alternate line number one where offices are being built. Also need detail for the transition where the VCT tile will meet existing carpet.
11. Cove base in new areas as needed will remain in the base bid.
12. The college will provide new pull down shades where it's needed outside of the original scope.
13. Please see attachments for the new bid tab sheet with alternate #1 and updated plans for the existing walls. This shows the offices using the existing wall; lowers the ceiling height to 10' and shows the carpet as an alternate.

Please let me know if anything is missing. I feel that I have covered everything.

Thank you,

Jeremy A. Thompson  
Facilities Manager  
Operations & Facilities Dept.  
Carteret Community College

**ATTACHMENT C: PRICING**

In compliance with this Request for Proposals, and subject to all conditions herein, the undersigned offers and agrees if this proposal is accepted within 60 days from the date of the opening, to furnish the subject services for a

BASE BID: \$ \_\_\_\_\_

Alternate #1\_Carpet per A101 finish plan ADD \$ \_\_\_\_\_

N.C.G.S. § 133-32 and Executive Order 24 prohibit the offer to, or acceptance by, any State Employee of any gift from anyone with a contract with the State, or from any person seeking to do business with the State. By execution of any response in this procurement, you attest, for your entire organization and its employees or agents, that you are not aware that any such gift has been offered, accepted, or promised by any employees of your organization.

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_

(Signature)

\_\_\_\_\_

(Printed name)

\*\*\*\*\*

ACCEPTANCE OF PROPOSAL

*Carteret Community College*

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_

**THIS PAGE MUST BE SIGNED AND INCLUDED IN YOUR PROPOSAL.**

**Unsigned proposals will not be considered. Proposals missing Hub Documentation will not be considered.**

**GENERAL DEMOLITION NOTES:**

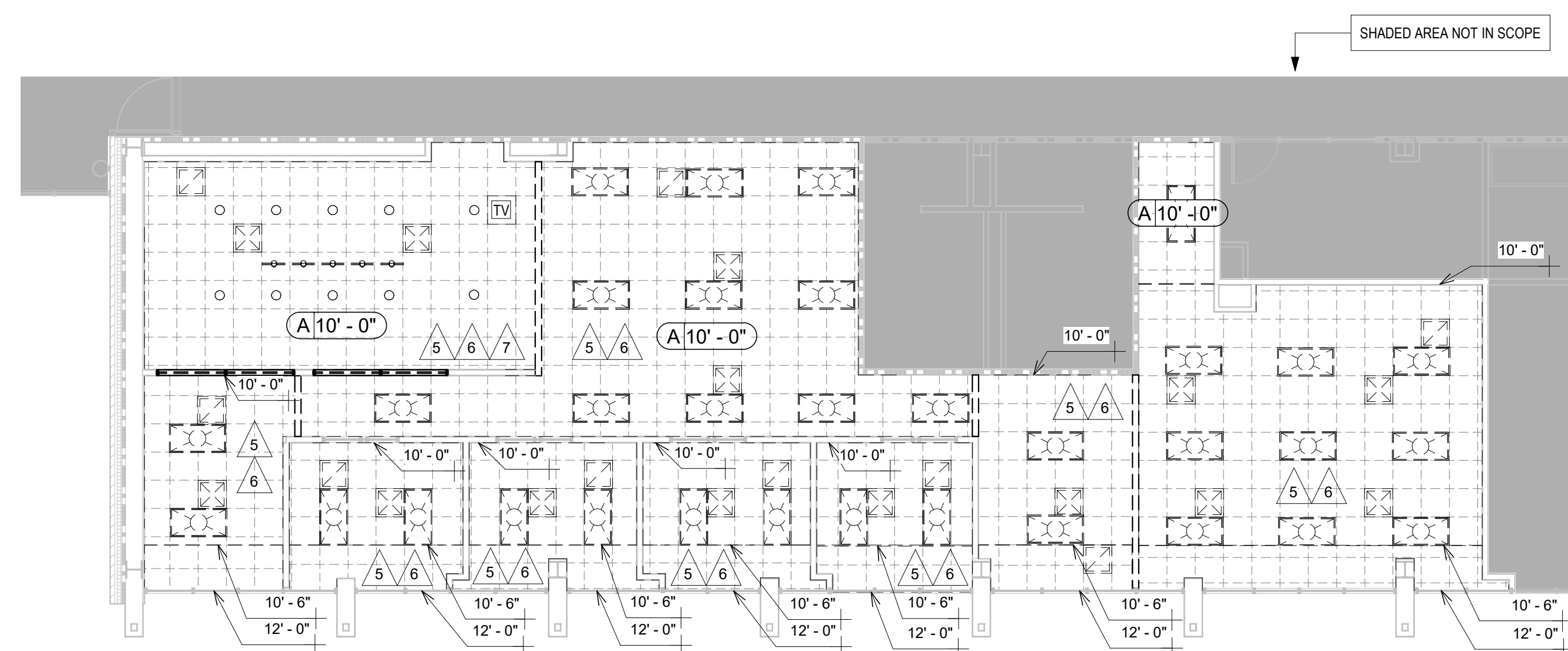
- ALL CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR WHERE DEMOLITION IS TO OCCUR. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY INCONSISTANCIES IN WRITING PRIOR TO STARTING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WEEKLY AND/OR DAILY REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS ACCUMULATED DURING DEMOLITION AND CONSTRUCTION.
- ANY FLOOR, CEILING, WALL OR OTHER MATERIALS INCLUDING FINISHES IN AREAS TO REMAIN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT. ANY MATERIALS DAMAGED DURING CONSTRUCTION OR DEMOLITION, SHALL BE RETURNED TO THEIR ORIGINAL STATE, OR IMPROVED AS INDICATED BY THE OWNER OR ARCHITECT, OR REPLACED WITH A NEW MATERIAL TO MATCH ADJACENT MATERIALS, TYPICAL.
- CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN AND MATERIALS EXPOSED TO VIEW WHERE OTHER ITEMS OR MATERIALS HAVE BEEN REMOVED.
- REFER TO PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL AND COMPLETE SCOPE OF DEMOLITION THAT MAY OR MAY NOT BE NOTED ON THE ARCHITECTURAL DEMOLITION PLAN AND NOTES.
- ALL WALLS SHALL BE REPAIRED, AND VOIDS FILLED AFTER FIXTURE REMOVAL. ALL FINISHES SHALL MATCH ADJACENT SURFACES. REMOVE ALL FOREIGN MATTER, SHELVING, LOOSE DEBRIS INCLUDING TAPE, ADHESIVE, NAILS, SCREWS, ETC. FROM WALLS. SCRAPE, WIRE BRUSH, AND SAND SMOOTH. WASH ALL PAINTED SURFACES TO REMOVE ANY "FILM OR RESIDUE". PREPARE SURFACES TO PROVIDE A MAXIMUM DEGREE OF NEW PAINT ADHESION. PATCH AND REPAIR ALL VOIDS IN PREPARATION FOR NEW FINISHES.
- ALL FIXTURES, WALLS AND PORTIONS OF WALLS SHOWN AS DASHED LINES OR LABELED SHALL BE DEMOLISHED UNLESS ELEMENTS REMOVED OR REPLACED. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING AND IS RESPONSIBLE FOR ANY FAILURE DUE TO LACK OF PROPER BRACING.
- DURING THE BIDDING PROCESS, CONTRACTORS SHALL TAKE NOTE OF EXISTING PLUMBING MECHANICAL AND ELECTRICAL ITEMS IN AREAS TO BE RENOVATED. ITEMS INCLUDE BUT ARE NOT LIMITED TO WIRES, CONDUITS, PIPES, THERMOSTATS, FIRE ALARM DEVICES, PANEL CANS, ETC. THESE HAVE BEEN IDENTIFIED IN THE DEMOLITION DRAWINGS FOR ARCHITECTURE, PLUMBING, MECHANICAL, AND/OR ELECTRICAL. FOR ITEMS NOT SHOWN, CONTRACTOR SHALL WORK WITH THE ARCHITECT AND OWNER TO DETERMINE IF THE ITEM IS STILL IN USE ITEMS WHICH ARE NOTED TO BE REMOVED AND STORED FOR LATER REINSTALLATION SHALL BE TAGGED AND LISTED ON AN ITEMIZED LIST GIVEN TO THE OWNER AND ARCHITECT.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE DEMOLITION OF THE EXISTING BUILDING AREAS WITH THE ARCHITECT AND OWNER. THE CONTRACTOR SHALL COORDINATE AFTER HOURS WORK AND OBTAIN WRITTEN OWNER PERMISSION FOR NIGHT AND WEEKEND WORK.
- CONTRACTOR SHALL ENSURE WATER-TIGHT INTEGRITY OF THE TEMPORARY ENCLOSURE SYSTEMS AND MAINTAIN THEM THROUGH THE ENTIRETY OF CONSTRUCTION TO PREVENT THE INTRUSION OF WATER AND THE ELEMENTS INTO THE BUILDING.
- ALL EXISTING FIRE EXTINGUISHER AND BRACKETS SHALL REMAIN AND BE INSTALLED IN THEIR CURRENT LOCATION UNLESS SHOWN ON THE PLANS TO RELOCATE.
- CONTRACTOR SHALL PATCH AND FILL IN ANY VOIDS LEFT FROM THE DEMOLITION OF ANY PLUMBING, MECHANICAL, OR ELECTRICAL ITEMS. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF DEMOLITION.

**DEMOLITION LEGEND:**

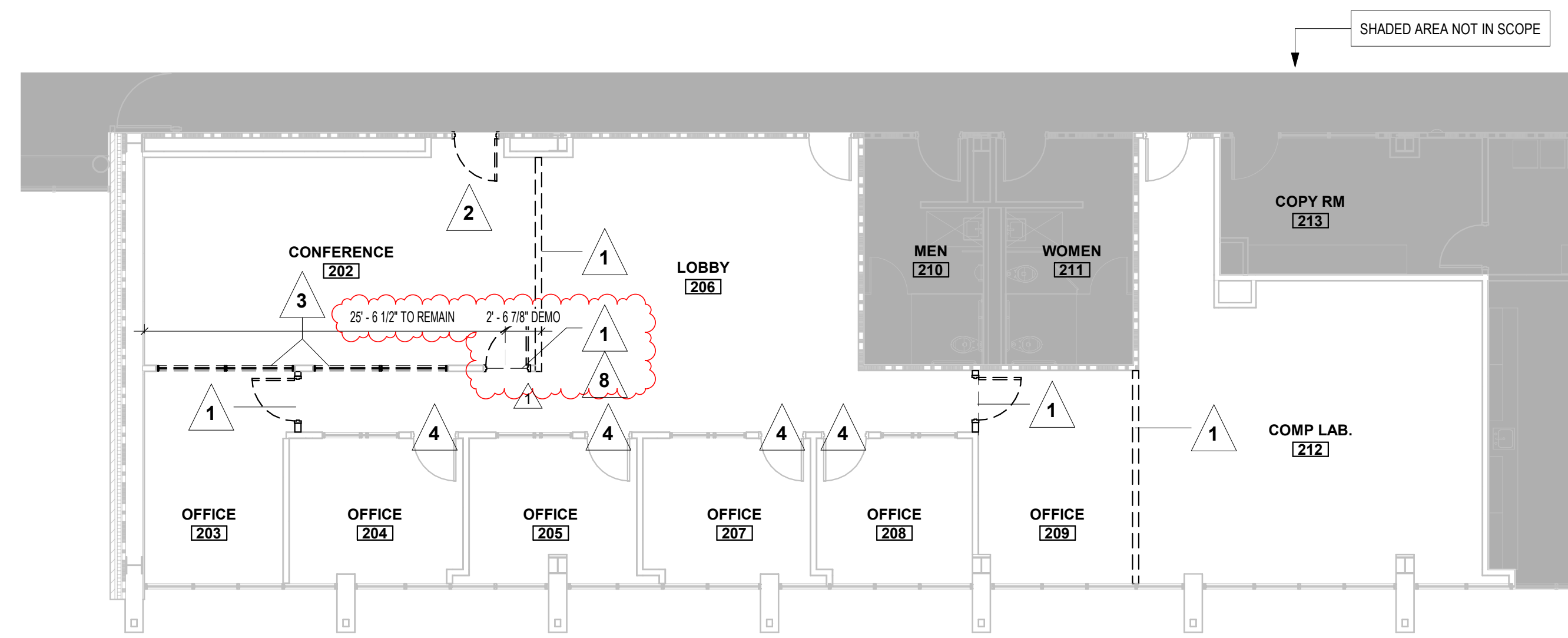
SYMBOL	DESCRIPTION
	DEMOLITION KEYED NOTE
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED DURING DEMOLITION
	NOT IN SCOPE

**DEMOLITION NOTES:**

- REMOVE EXISTING WALL, FRAMING, AND ASSOCIATED PARTS IN ITS ENTIRETY. ASSOCIATED PARTS INCLUDE BUT NOT LIMITED TO DOOR, DOOR FRAME, HARDWARE, TRACK AND SUPPORTS. PREPARE SURROUNDING AREA TO RECEIVE NEW FINISH SPECIFIED OR IF NO FINISH IS SPECIFIED MATCH EXISTING. REFER TO ASBESTOS REMOVAL DESIGN AND SPECIFICATIONS FOR INSTRUCTIONS ON THE ASBESTOS WALL PANEL REMOVAL.
- REMOVE EXISTING DOOR, FRAME, TRANSOM (IF APPLICABLE) & HARDWARE IN ITS ENTIRETY. PREPARE EXISTING WALL TO BE FILLED TO MATCH EXISTING AND MAINTAIN FIRE BARRIER.
- REMOVE EXISTING WINDOW, GLAZING, BLINDS, FRAME AND ITS ASSOCIATED PARTS IN ITS ENTIRETY.
- REMOVE EXISTING DOOR AND HARDWARE TO BE REPLACED. EXISTING DOOR FRAME TO REMAIN.
- FIELD VERIFY AND REMOVE EXISTING CEILING - LAY-IN TILE, GRID, HANGERS AND ASSOCIATED PARTS IN ITS ENTIRETY. PREP AREA TO RECEIVE NEW CEILING.
- FIELD VERIFY AND REMOVE EXISTING LIGHT FIXTURES AND MECHANICAL DIFFUSERS. REPLACE WITH NEW LIGHT FIXTURES AND MECHANICAL DIFFUSERS. FIXTURES SHOWN ARE DIAGNOSTIC ONLY. REFER TO ELECTRICAL AND MECHANICAL FOR COMPLETE SCOPE OF DEMOLITION.
- VERIFY, REMOVE, AND PROTECT EXISTING AV EQUIPMENT AND TURN OVER TO THE OWNER.
- REMOVE EXISTING DOOR, FRAME, TRANSOM (IF APPLICABLE) & HARDWARE IN ITS ENTIRETY. PREPARE EXISTING WALL TO BE FILLED TO MATCH EXISTING.



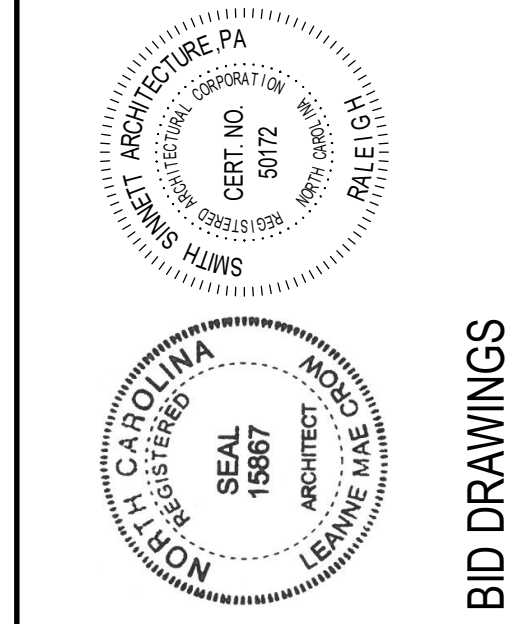
**2 2ND FLOOR DEMO REFLECTED CEILING PLAN**  
A0-01 1/8" = 1'-0"



**1 DEMOLITION PLAN**  
A0-01 1/8" = 1'-0"



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F 919 781 3979  
4600 Lake Boone Trail  
Suite 205  
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ID	DATE	DESCRIPTION
1	04/04/2024	ADDENDUM 2

DRAWN BY: BS, LC  
CHECKED BY: LC, RC  
**DEMOLITION PLAN AND RCP**

2023040 01 FEB 2024

**A0-01**

# WALL TYPE LEGEND

MARKER	S4AP	S4BP	S4AU.1 1 HOUR																				
SYMBOL																							
DESCRIPTION	3 5/8" METAL STUD WITH ONE LAYER OF 5/8" GYP BOARD EACH SIDE UP TO 8' ABOVE CEILING	3 5/8" METAL STUD WITH ONE LAYER OF 5/8" GYP BOARD ON ONE SIDE UP TO 8' ABOVE CEILING	RATED 3 5/8" METAL STUD WALL WITH MINERAL WOOL UP TO DECK WITH ONE LAYER 5/8" GYP BOARD ON EACH SIDE																				
UL DESIGN #	<table border="1"> <tr><td>HEAD</td><td>NON-RATED</td></tr> <tr><td>WALL</td><td>NON-RATED</td></tr> <tr><td>BASE</td><td>NON-RATED</td></tr> <tr><td>PENETRATIONS</td><td>NON-RATED</td></tr> </table>	HEAD	NON-RATED	WALL	NON-RATED	BASE	NON-RATED	PENETRATIONS	NON-RATED	<table border="1"> <tr><td>HEAD</td><td>NON-RATED</td></tr> <tr><td>WALL</td><td>NON-RATED</td></tr> <tr><td>BASE</td><td>NON-RATED</td></tr> <tr><td>PENETRATIONS</td><td>NON-RATED</td></tr> </table>	HEAD	NON-RATED	WALL	NON-RATED	BASE	NON-RATED	PENETRATIONS	NON-RATED	<table border="1"> <tr><td>UL DESIGN HW-D-0001</td></tr> <tr><td>UL DESIGN #U419</td></tr> <tr><td>UL DESIGN BW-S-0013</td></tr> <tr><td>REFERENCE MEP</td></tr> </table>	UL DESIGN HW-D-0001	UL DESIGN #U419	UL DESIGN BW-S-0013	REFERENCE MEP
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UL DESIGN BW-S-0013																							
REFERENCE MEP																							

SYMBOL	DESCRIPTION
	NOT IN SCOPE
	EXISTING
	NEW WORK

- NOTES:**
- ALL INTERIOR WALL TYPES TO BE 'S4AP' UNLESS OTHERWISE NOTED.
  - WALL DIMENSIONS ARE TO FACE OF METAL STUD, FACE OF CONCRETE MASONRY UNIT (CMU), OR CENTERLINE OF COLUMN.
  - ALL RATED WALL CONSTRUCTION TO COMPLY W/ UL REQUIREMENTS.
  - ALL WALLS EXTEND TO DECK AND ARE BRACED TO DECK AT HEAD ON ALTERNATE STUDS OR 32" OC FOR CMU WALLS, UNLESS OTHERWISE NOTED.
  - CONTROL JOINTS SHALL BE AS SHOWN ON PLANS AND ELEVATIONS OR SPACED AT A MINIMUM OF 20'-0" OC AND A MAXIMUM OF 32'-0" OC WITH ONE CONTROL JOINT LOCATED WITHIN 3'-4" OF ANY CORNER. FOR INTERIOR GYPSUM WALL CONTROL JOINTS SEE DETAIL.
  - SEE FINISH SCHEDULE FOR WALL, FLOOR, BASE, AND CEILING TYPES AND FINISHES.
  - ALL COLUMN CHASES TO HAVE GYP BOARD ON ROOM SIDE OF WALL, TYPICAL UNLESS OTHERWISE NOTED.
  - ALL EXTERIOR WINDOWS TO HAVE ROLLER SHADE BLINDS UNLESS OTHERWISE NOTED, REFER TO SPECIFICATIONS.
  - FURNITURE AND EQUIPMENT SHOWN DASHED ON PLANS IS NOT IN CONTRACT (NIC), GC TO PROVIDE WOOD BLOCKING FOR ALL WALL/CEILING MOUNTED ACCESSORIES.
  - DOOR JAMB FROM INTERSECTING WALLS: STUD- 4" UNLESS OTHERWISE NOTED

# WALL TYPE NAMING CONVENTION

**TYPE OF CORE**

- C CONCRETE
- F FURRINGS
- M MASONRY
- S METAL STUD
- W WOOD

**WIDTH OF CORE**

- 4 4" MASONRY, 3 5/8" METAL STUD
- 5 4" METAL STUD
- 6 6" MASONRY, 6" METAL STUD
- 8 8" MASONRY, 8" METAL STUD
- 10 10" MASONRY
- 12 12" MASONRY, 12" METAL STUD

**HEIGHT OF WALL**

- C UP TO CEILING
- D DETACHED - SEE DRAWINGS FOR HEIGHT
- J UP TO JOIST BEARING
- P 8' ABOVE CEILING
- U UP TO DECK ABOVE

**ITERATION - SEE WALL TYPES LEGEND**

- NONE IF NO LAYERS OR FINISHES
- A (EX: 1 LAYER GWB ON EACH SIDE)
- B (EX: 1 LAYER GWB ON ONE SIDE)
- C ...

**NOTE:**

- SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.
- SEE WALL TYPE LEGEND FOR CONSTRUCTION OF ASSEMBLIES AND FIRE RATINGS UL LISTING.

**NOTES:**

- AT ALL METAL STUD WALLS TERMINATING AT BOTTOM OF DECK PROVIDE A DEFLECTION TRACK SECURED TO THE UNDERSIDE OF THE DECKING, NEST TOP TRACK BUT DO NOT ATTACH TO DEFLECTION TRACK
- SEE FINISH SCHEDULE FOR WALL, FLOOR BASE AND FLOOR FINISH.

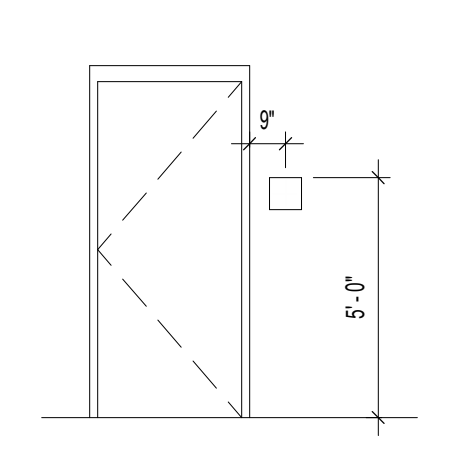
# GENERAL FINISH NOTES:

- ALL GWB CEILINGS AND BULKHEADS TO BE PT-1, U.O.N.
- FINISH MATERIALS SUBMITTED AS EQUALS TO THE BASIS OF DESIGN WILL BE APPROVED OR REJECTED BASED ON COLOR INTEGRITY AND TACTILE CHARACTERISTICS IN ADDITION TO TECHNICAL SPECIFICATIONS.
- ROOMS THAT HAVE MILLWORK WITH MORE THAN THREE LAMINATE COLORS, EXACT LOCATION OF EACH TYPE TO BE DETERMINED DURING SHOP DRAWING PHASE.
- FINISHES ARE CONTINGENT ON FINAL OWNER AND ARCHITECT APPROVAL.
- SEE INTERIOR ELEVATIONS (A4-##, A4-##, & A4-##) FOR WALL PAINT LOCATIONS.
- METAL FINISHING STRIPS TO BE USED ON ALL VERTICAL, OUTSIDE EDGES & CORNERS OF WALL TILE.
- FINISHED-EDGE TILE TO BE USED AT TOP COURSE OF WALL TILE.
- ALL WALLS TO BE PAINTED WITH PT3 CHALKBOARD PAINT TO RECEIVE A LEVEL 5 GWB FINISH.
- GC TO ENSURE LEVEL FLOOR FINISH AT ALL TILE TRANSITIONS.
- NEW CARPET TILE TO BE INCLUDED IN ALTERNATE 1.

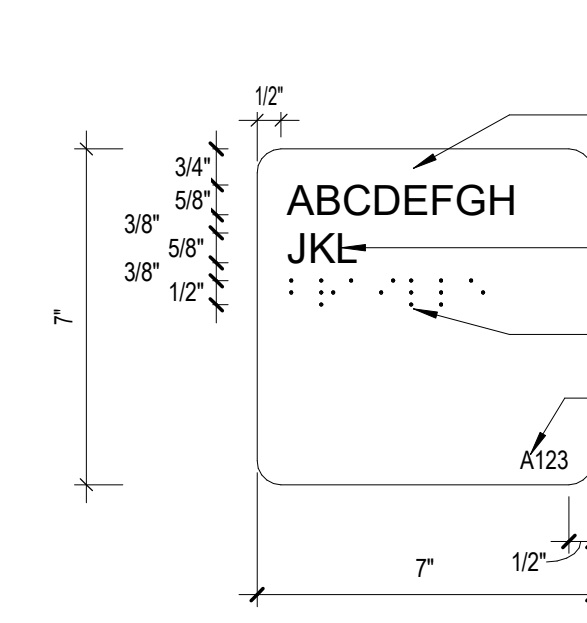
# FINISH LEGEND

WALL FINISH	FLOOR FINISH
PTD1 INTERIOR FIELD PAINT 1	CPT1 CARPET TILE - ALT 1
WALL BASE	
RB RUBBER BASE	

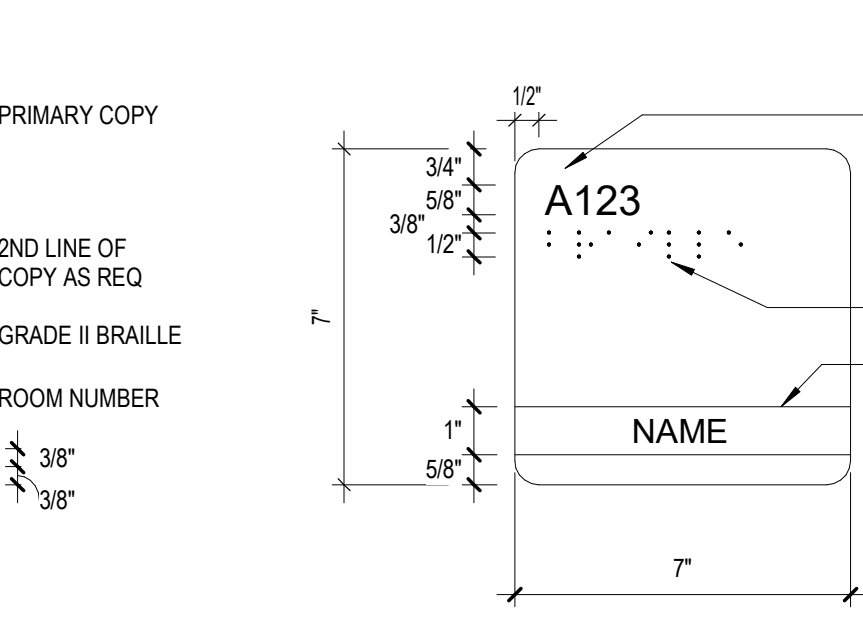
# SIGNAGE ELEVATION & NOTES



# SIGN TYPE A

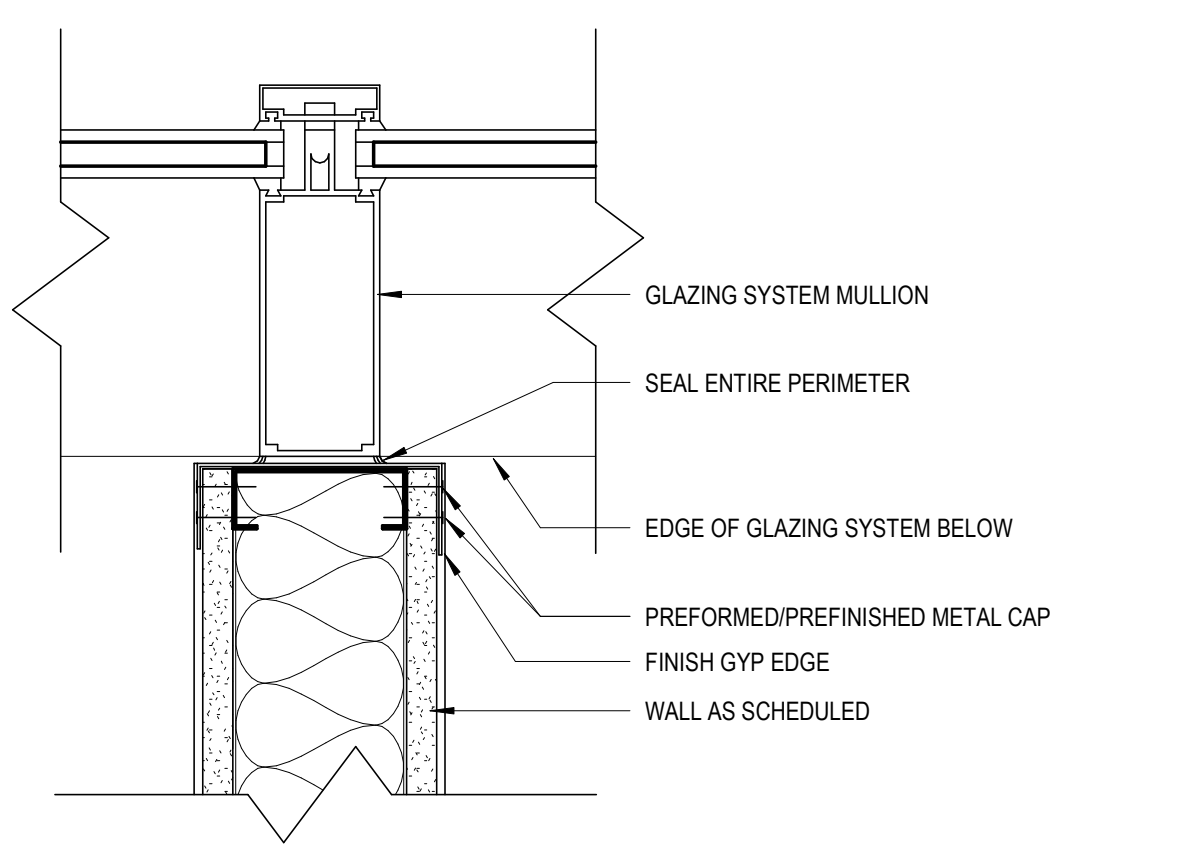


# SIGN TYPE B

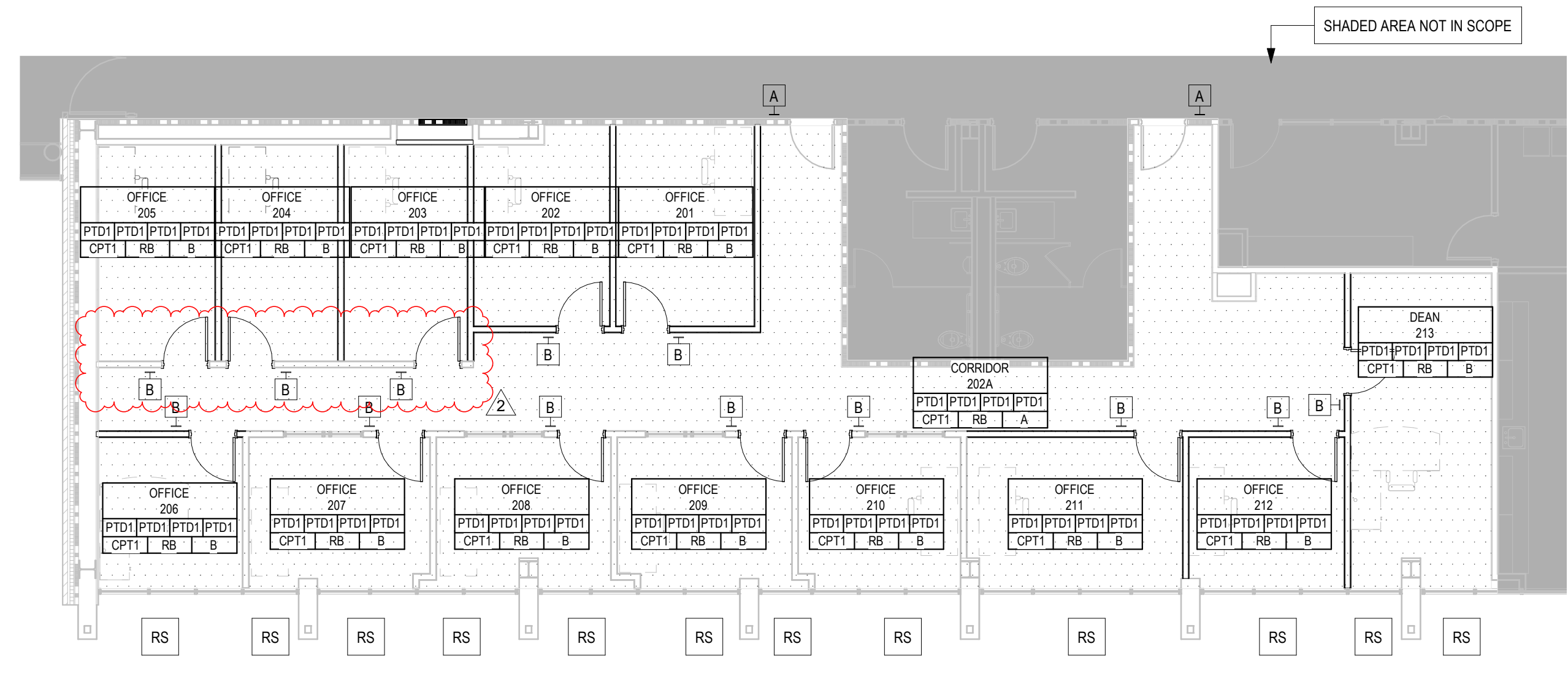


# SIGNAGE LEGEND

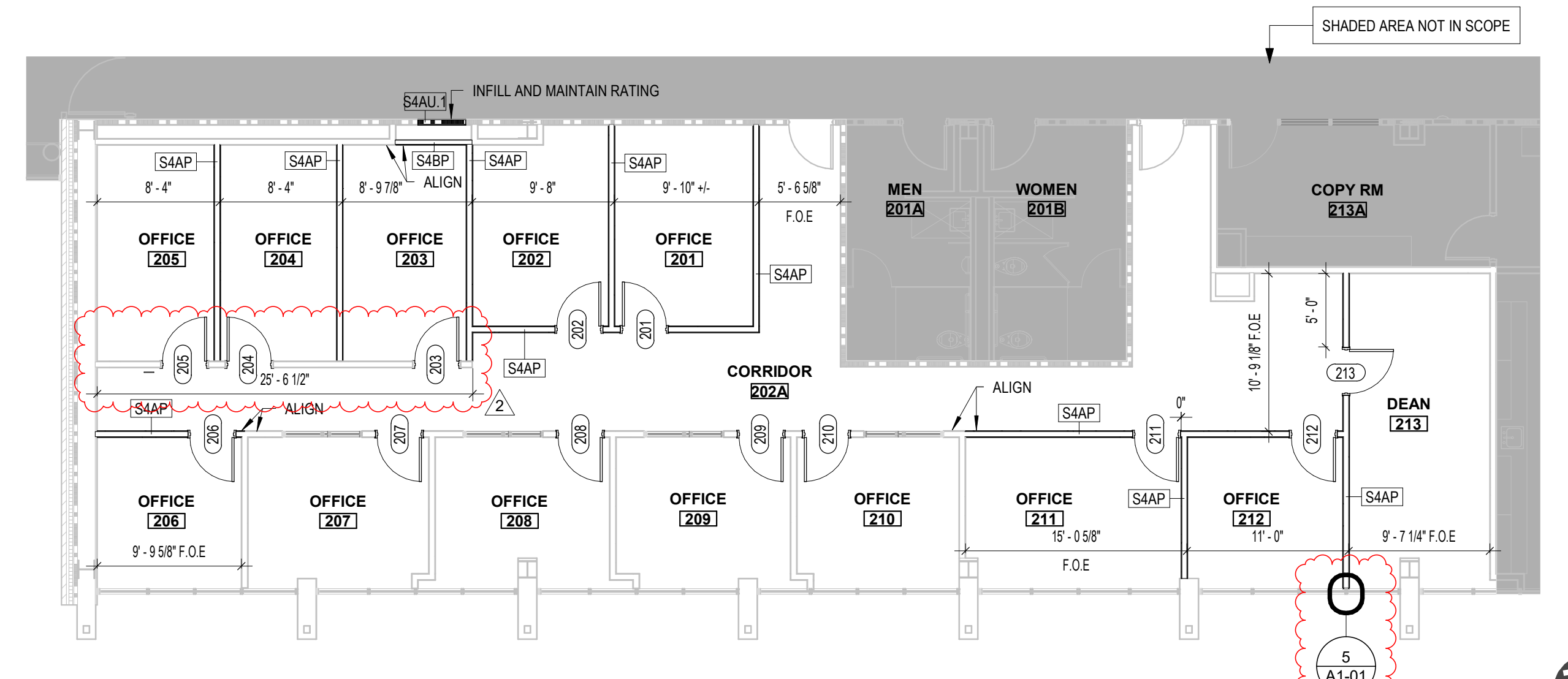
3" = 1'-0"



**5 A1-01 WALL TO GLAZING SYSTEM DETAIL**  
3" = 1'-0"



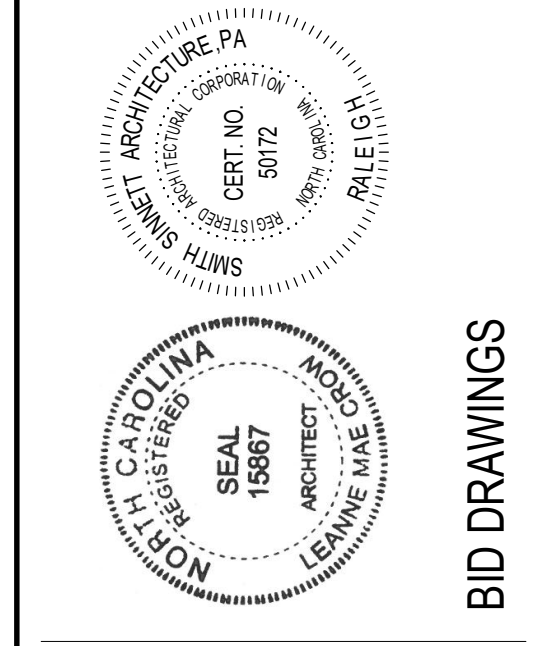
**2 A1-01 2ND FLOOR FINISH PLAN**  
1/8" = 1'-0"



**1 A1-01 2ND FLOOR - RENOVATION PLAN**  
1/8" = 1'-0"



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F 919 781 3979  
4600 Lake Boone Trail  
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ID	DATE	DESCRIPTION
2	04/04/2024	ADDENDUM 2
1	3/14/2024	ADDENDUM 1

DRAWN BY: BS, LC  
CHECKED BY: LC, RC  
**SECOND FLOOR PLAN AND FINISH PLAN**

2023040 01 FEB 2024

**A1-01**

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4/16/2024 12:11:29 PM

NOTES:

1. ALL INTERIOR WALL TYPES TO BE 'SAP' UNLESS OTHERWISE NOTED.
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9. DOOR JAMB FROM INTERSECTING WALLS: STUD- 4" UNLESS OTHERWISE NOTED

PLAN LEGEND

SYMBOL	DESCRIPTION
---	NOT IN SCOPE
---	EXISTING
---	NEW WORK

REFLECTED CEILING LEGEND AND NOTES

SYMBOL	TYPE	DESCRIPTION
	A	ACT-1, 2x2 CEILING TILE, WHITE FINISH
		2 X 4 LED FIXTURE
		RETURN AIR GRILLE
		SUPPLY AIR DIFFUSER
		EXISTING CEILING MOUNTED TV
		EXISTING CAN STYLE FIXTURE
		EXISTING OVERHEAD FIXTURE

1. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF CEILING PENETRATIONS AND FIXTURES.  
2. REFER TO PROJECT SPECIFICATIONS FOR COMPLETE DESCRIPTION OF CEILING MATERIAL.

**smith  
sinnett**  
ARCHITECTURE

T 919 781 8582  
F 919 781 3979  
4600 Lake Boone Trail  
Suite 205  
Raleigh, NC 27607  
info@smithsinnett.com



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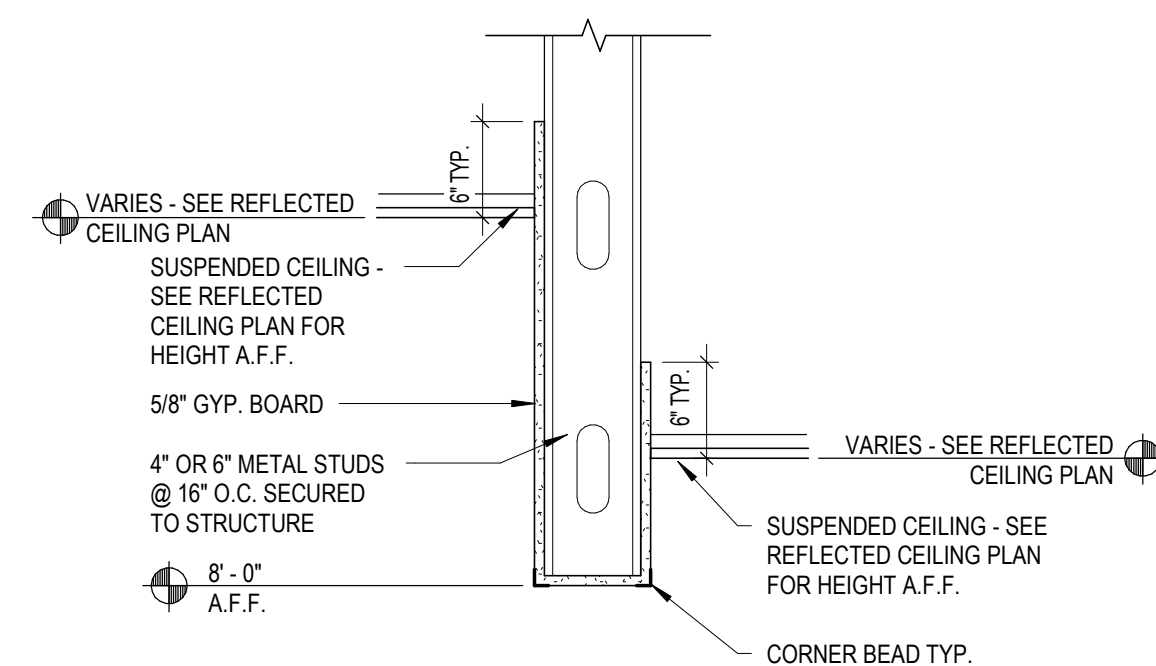
ID	DATE	DESCRIPTION
2	04/04/2024	ADDENDUM 2
1	3/14/2024	ADDENDUM 1

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CHECKED BY: LC, RC

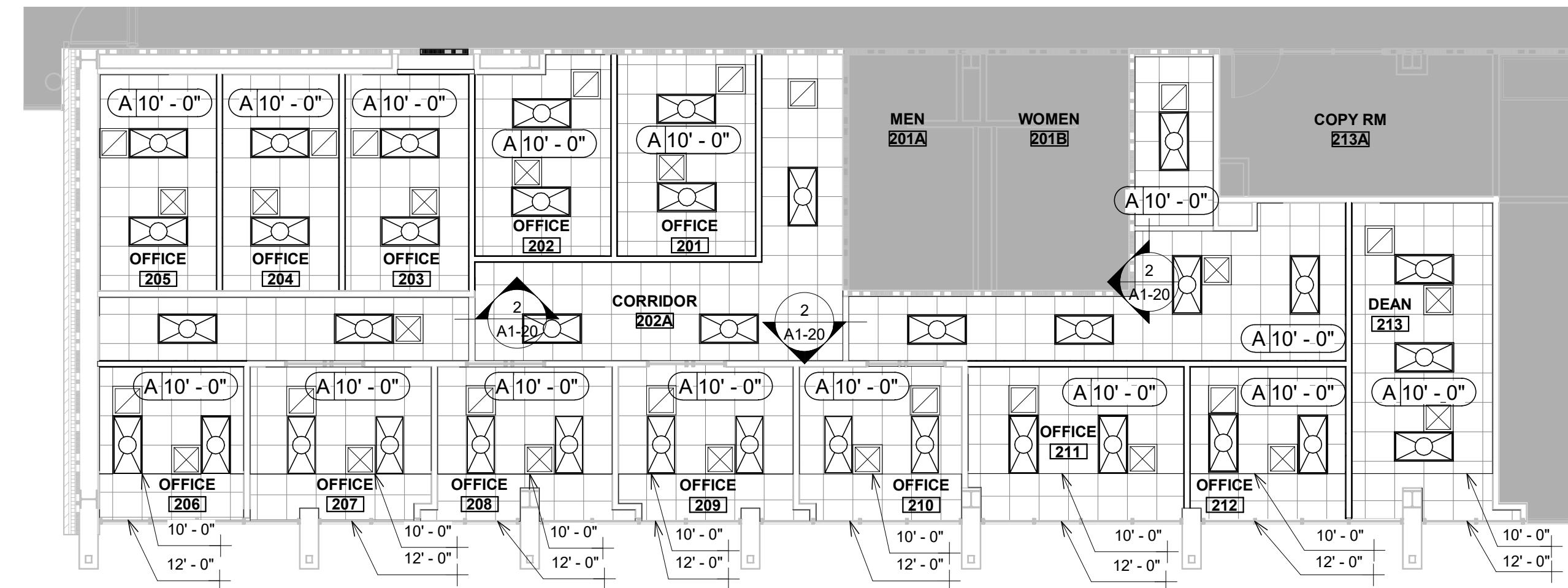
REFLECTED  
CEILING PLAN

2023040 01 FEB 2024

**A1-20**



**2 TYP HEADER DETAIL**  
A1-20 1" = 1'-0"



**1 2ND FLOOR REFLECTED CEILING PLAN**  
A1-20 1/8" = 1'-0"

