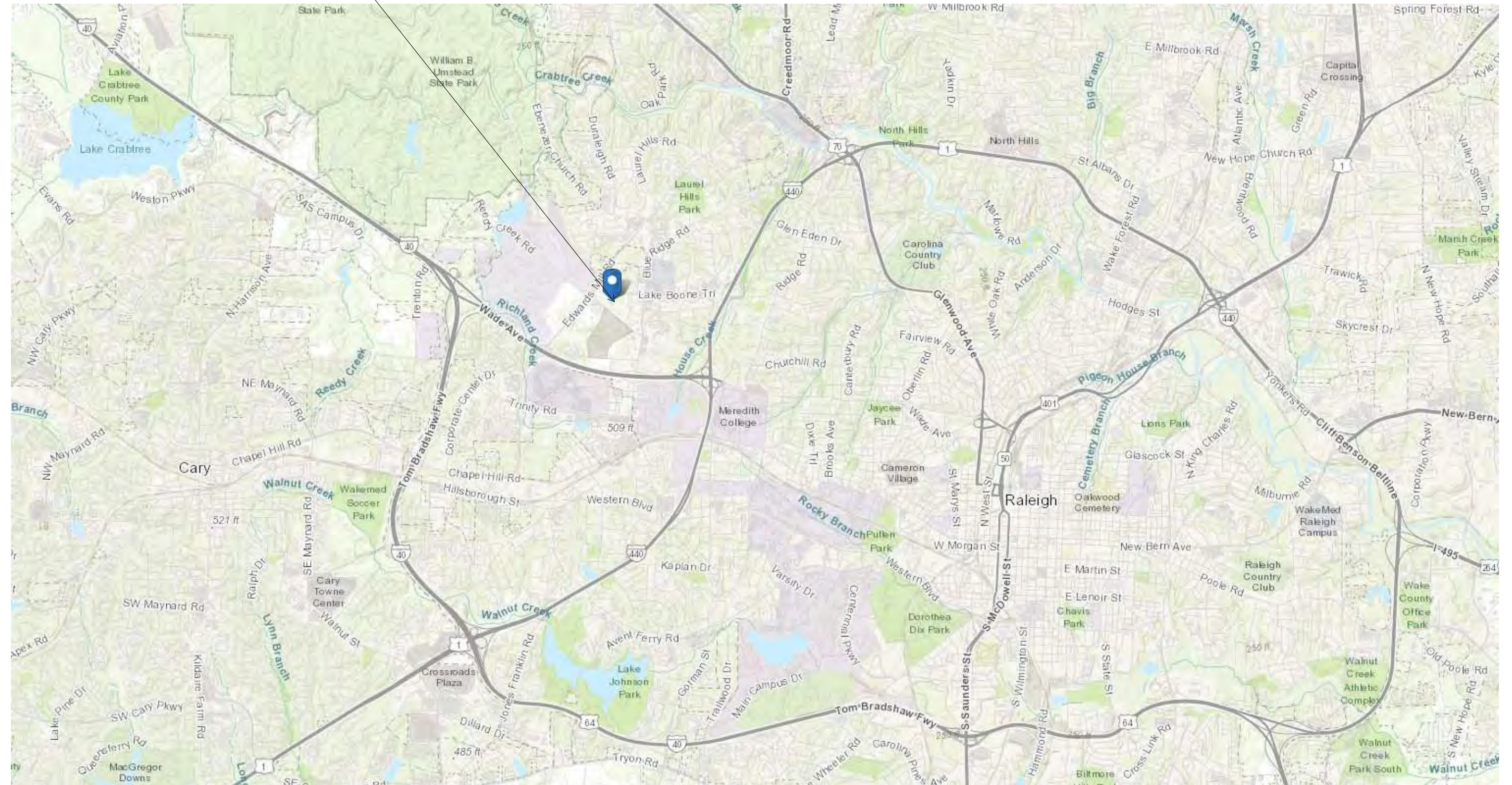


NEW PROJECT FOR  
NC DEPARTMENT OF AGRICULTURE &  
 CONSUMER SERVICES

# EADDY BUILDING DETACHED ADDITION

BUILDING SITE



VICINITY MAP

**DRAWING LIST**

SHEET NUMBER	SHEET NAME
<b>GENERAL</b>	
CS-101	COVER SHEET
CS-102	BUILDING DATA / CODE SUMMARY
CS-111	FIRST FLOOR LIFE SAFETY PLAN
CS-124	ABBREVIATIONS AND SYMBOLS
<b>CIVIL</b>	
CS	COVER SHEET
C-001	STANDARD NOTES AND ABBREVIATIONS
C-002	EXISTING CONDITIONS
C-100	SITE DEMO
C-200	UTILITY PLAN
C-300	FIRE PROTECTION PLAN AND PROFILE
C-400	SANITARY SEWER PLAN AND PROFILE
C-500	WATER DETAILS
C-600	SANITARY SEWER DETAILS
L-200	SITE PLAN
L-300	EROSION CONTROL PLAN
L-301	GRADING & DRAINAGE PLAN
L-400	LANDSCAPE PLAN
L-600	SITE DETAILS
L-601	EROSION CONTROL DETAILS
L-602	STORM DETAILS
<b>STRUCTURAL</b>	
S-001	GENERAL NOTES
S-111	FOUNDATION PLAN
S-112	SLAB PLAN
S-301	SECTION DETAILS
S-501	TYPICAL DETAILS
S-502	TYPICAL DETAILS
<b>ARCHITECTURAL</b>	
A-101	FIRST FLOOR PLAN - BASE BID
A-101 ALT	FIRST FLOOR PLAN - BASE BID + ALT.
A-121	FIRST FLOOR REFLECTED CEILING PLAN - BASE BID
A-121 ALT	FIRST FLOOR PLAN REFLECTED CEILING PLAN - BASE BID + ALT.
A-201	ROOF PLAN - BASE BID
A-201 ALT	ROOF PLAN - BASE BID + ALT.
A-301	EXTERIOR BUILDING ELEVATIONS - BASE BID
A-302 ALT	ALTERNATES EXTERIOR BUILDING ELEVATIONS
A-401	BUILDING SECTIONS
A-501	WALL SECTIONS
A-503	DETAILS
A-502 ALT	WALL SECTIONS - ALTERNATE
A-901	DOOR SCHEDULE AND WINDOW TYPES

**DRAWING LIST**

SHEET NUMBER	SHEET NAME
<b>PLUMBING</b>	
P-001	PLUMBING SYMBOLS, ABBREVIATIONS, AND NOTES
P-101	ADDITION FLOOR WASTE & VENT PLAN - BASE BID
P-102	ADDITION FLOOR DOMESTIC WATER PLAN - BASE BID
P-501	DETAILS AND SCHEDULES
<b>MECHANICAL</b>	
M-001	MECHANICAL SYMBOLS, ABBREVIATIONS, & NOTES
M-101	ADDITION FLOOR MECHANICAL PLAN - BASE BID
M-501	DETAILS
M-502	DETAILS
M-601	SCHEDULES
M-701	MECHANICAL CONTROLS
<b>ELECTRICAL</b>	
E-001	ELECTRICAL SYMBOLS & ABBREVIATIONS
E-002	ELECTRICAL NOTES
E-100	ELECTRICAL OVERALL PLAN - BASE BID
ES-101	ELECTRICAL SITE
E-101	ADDITIONAL LIGHTING PLAN - BASE BID
E-102	ADDITION POWER PLAN - BASE BID
E-103	ADDITION FIRE ALARM PLAN - BASE BID
E-104	ADDITION EQUIPMENT PLAN - BASE BID
E-501	DETAILS & SCHEDULES
E-502	DETAILS & SCHEDULES
E-901	ELECTRICAL RISER DIAGRAM & SCHEDULES
E-902	FIRE ALARM RISER DIAGRAM

**SUMMARY OF BID ALTERNATES (SHOWN IN RED):**

- ALTERNATE G-1A:**  
 INCLUDES TOTAL COST TO PROVIDE AND CONSTRUCT LOADING DOCK EXTENSION AS SHOWN IN DRAWINGS. AS PART OF ALTERNATE G-1A, CONTRACTOR TO INSTALL OVERHEAD DOOR WITH SILL ELEVATION AT 4'-0". ALTERNATE DOES NOT INCLUDE CANTILEVERED CANOPY BUT DOES INCLUDE FOUNDATIONS REQUIRED FOR CANOPY. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING CONCRETE STAIRS, RAILING, AND ASSOCIATED FOOTINGS AS SHOWN ON SHEET A-101 ALT. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING MECHANICAL YARD GATE AND INFILL OF OPENING WITH MASONRY CONSTRUCTION AS SHOWN ON A-101 ALT. BRICK TO MATCH EXISTING IN COLOR, TEXTURE, AND PATTERN.
- ALTERNATE G-1B:**  
 INCLUDES TOTAL COST FOR DELEGATED DESIGN, PROCUREMENT, AND INSTALLATION OF THE PRE-FABRICATED ALUMINUM CANTILEVERED LOADING DOCK CANOPY AS SHOWN IN DRAWINGS AND IN SPECIFICATIONS. ALTERNATE IS TO INCLUDE ANCHOR RODS AND/OR FASTENERS AS DETERMINED BY DELEGATED DESIGN. CONCRETE FOUNDATIONS AND ASSOCIATED REBAR FOR ALTERNATE G-1B TO BE INCLUDED IN ALTERNATE G-1A.
- ALTERNATE G-2:**  
 INCLUDES TOTAL COST TO PROVIDE AND INSTALL HYDRAULIC DOCK LIFT AND ASSOCIATED METAL STAIR AND LANDING AS SHOWN ON SHEET A-101 ALT.
- ALTERNATE G-3:**  
 INCLUDES TOTAL COST TO PROVIDE AND INSTALL BRICK VENEER ON FRONT FAÇADE AS SHOWN ON SHEET A-301 ALT. ALTERNATE SHALL INCLUDE COST TO PROVIDE AND INSTALL ALL RELATED FRAMING, ANCHORS, FLASHINGS, AND ACCESSORIES AS SPECIFIED IN SECTION 04 22 00 UNIT MASONRY.

**BID SET**  
**SCO ID # 22-24471-02A**  
**SEPTEMBER 6, 2024**

**OWNER**  
 NC DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES  
 4300 REEDY CREEK RD.  
 RALEIGH, NC 27607

**ARCHITECT**  
 HOBBS ARCHITECTS, PA  
 159 WEST SALISBURY STREET  
 PO BOX 1457  
 PITTSBORO, NC 27312  
 (919) 545-2004

**CIVIL, PLUMBING, MECHANICAL AND ELECTRICAL ENGINEERING**  
 DEWBERRY ENGINEERS INC.  
 2610 WYCLIFF RD.  
 RALEIGH, NC 27607  
 (919) 881-9939

**STRUCTURAL ENGINEERING**  
 LYNCH MYKINS STRUCTURAL ENGINEERS PC  
 301 N. WEST ST., SUITE 105  
 RALEIGH, NC 27603  
 (919) 782-1833

**HOBBS ARCHITECTS, PA**  
 Architects & Consultants  
 159 West Salisbury Street  
 PO Box 1457  
 Pittsboro, North Carolina 27312  
 Voice: (919) 545-2004  
 www.hobbsarchitects.com

*M. J. J.*  
 9.20.24

REGISTERED PROFESSIONAL ARCHITECT  
 STATE OF NORTH CAROLINA  
 NO. 12240  
 EXPIRES 12/31/2024

REGISTERED PROFESSIONAL ARCHITECT  
 STATE OF NORTH CAROLINA  
 NO. 51743  
 EXPIRES 12/31/2024

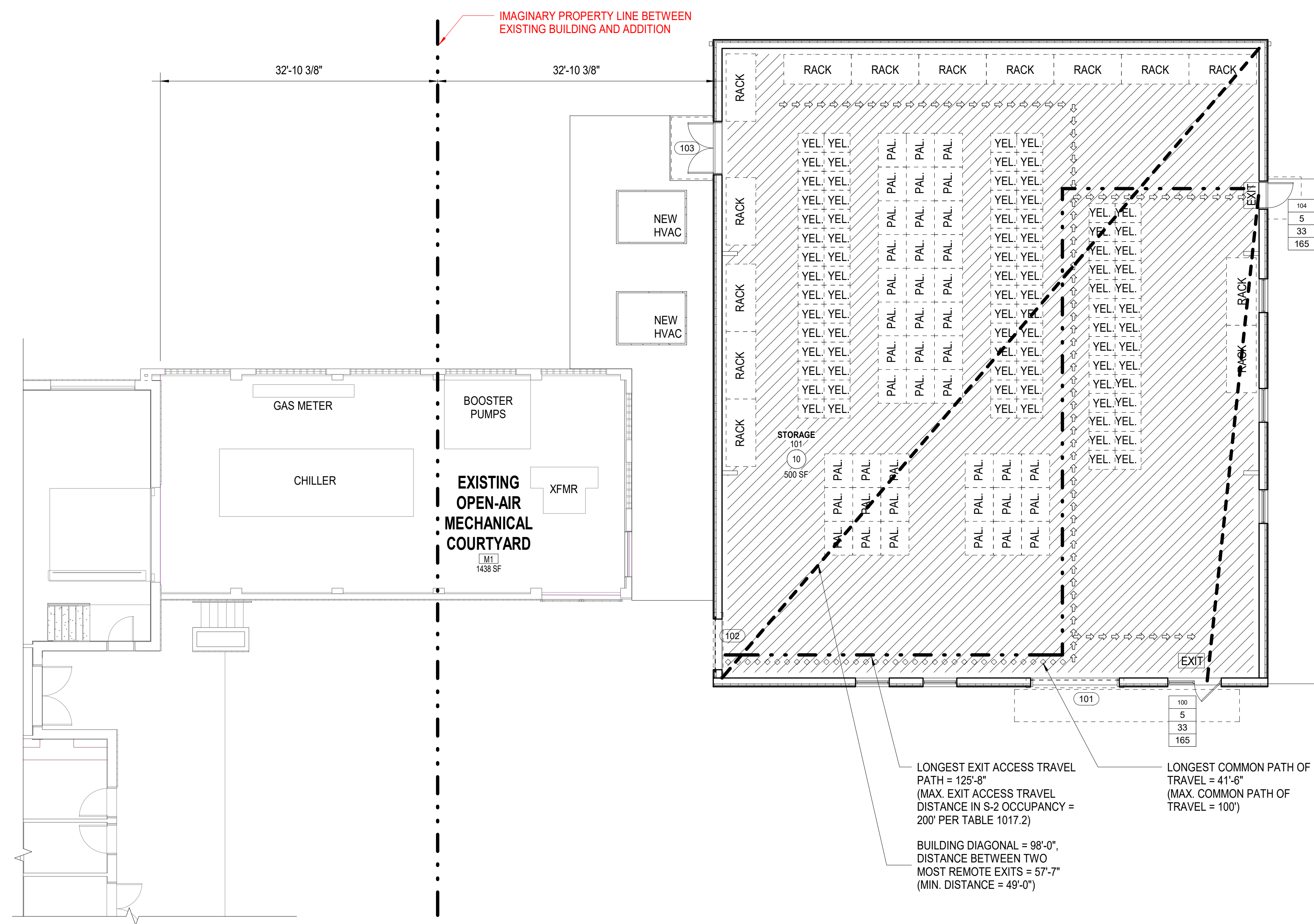
NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SERVICES**  
 SCO ID#: 22-24471-01  
**EADDY BUILDING DETACHED ADDITION**  
 4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date
1	Date 1

COVER SHEET

DATE  
 9/6/24  
**CS-101**





**OVERALL BUILDING CODE SUMMARY:**

- EXISTING EADDY BUILDING AND DETACHED ADDITION ARE CONSIDERED TWO BUILDINGS ON THE SAME 999.59 ACRE LOT.
- NO ACTUAL PROPERTY LINES ARE WITHIN 30' OF THE EITHER BUILDING. AN IMAGINARY PROPERTY LINE IS SHOWN BETWEEN THE EXISTING EADDY BUILDING AND THE NEW ADDITION TO ESTABLISH FIRE SEPARATION DISTANCES. THE FSD FOR BOTH BUILDINGS IS >30', THEREFORE EXTERIOR WALLS ARE UNRATED AND OPENINGS ARE UNLIMITED. THE ADDITION IS A TYPE V-B PRE-ENGINEERED METAL BUILDING TO BE USED FOR STORAGE OF ARGONOMIC DEPARTMENT SOIL SAMPLES AND SUPPLIES.
- NO HAZARDOUS MATERIALS WILL BE STORED IN THIS FACILITY.
- NO HIGH-PILED STORAGE WILL BE UTILIZED IN THIS FACILITY.

**LIFE SAFETY PLAN LEGEND**

⇨⇨⇨⇨⇨⇨ EXIT TRAVEL PATH  
 ○○ ○○ ○○ ○○ ○○ WORST-CASE COMMON PATH OF TRAVEL  
 - - - - - WORST-CASE EXIT ACCESS TRAVEL DISTANCE

DENOTES STORAGE OCCUPANCY S-2  
 DENOTES UNOCCUPIABLE SPACE

EXIT SIGN  
 FIRE EXTINGUISHER

OCCUPANT TAG:  
 ROOM NAME  
 ROOM NUMBER  
 NUMBER OF OCCUPANTS  
 NET/GROSS AREA PER OCCUPANT

DOOR TAG  
 DOOR NUMBER

EXTERIOR EGRESS DOOR TAG  
 DOOR NUMBER  
 NUMBER OF OCCUPANTS EGRESSING  
 EGRESS WIDTH OF OPENING (IN INCHES)  
 EGRESS CAPACITY (# OF OCCUPANTS)

LONGEST EXIT ACCESS TRAVEL PATH = 125'-8"  
 (MAX. EXIT ACCESS TRAVEL DISTANCE IN S-2 OCCUPANCY = 200' PER TABLE 1017.2)

LONGEST COMMON PATH OF TRAVEL = 41'-6"  
 (MAX. COMMON PATH OF TRAVEL = 100')

BUILDING DIAGONAL = 98'-0",  
 DISTANCE BETWEEN TWO MOST REMOTE EXITS = 57'-7"  
 (MIN. DISTANCE = 49'-0")

**1 1ST FLOOR - LIFE SAFETY PLAN**  
 SCALE: 1/8" = 1'-0"

**DOOR SCHEDULE - EGRESS**

DOOR NUMBER	CLEAR EGRESS WIDTH	ACTUAL EXITING OCCUPANT COUNT	ALLOWABLE EXITING OCCUPANT COUNT	RATING	PANIC HARDWARE
100	33	5	165	-	-
101	N/A			-	-
102	N/A			-	-
103	66	0	330	-	-
104	33	5	165	-	-

**HOBBS ARCHITECTS, PA**  
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 www.hobbsarchitects.com

*M. J. J.*  
 9.20.24

NORTH CAROLINA ARCHITECT SEAL 12240

NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SERVICES**  
**EADDY BUILDING DETACHED ADDITION**  
 4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

FIRST FLOOR  
 LIFE SAFETY  
 PLAN

DATE  
 9/6/24

**CS-111**



TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES: • PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV. • THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION. • A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL. • PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED. • ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO: • MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD); • PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG); • AMERICAN DISABILITY ACT (ADA) REQUIREMENTS; • RALEIGH STREET DESIGN MANUAL (RSDM). • ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). • ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION

CONTACTS

OWNER:

NORTH CAROLINA STATE OF  
STATE PROPERTY OFFICE  
1321 MAIL SERVICE CTR  
RALEIGH NC 27699-1321

SURVEY

DEWBERRY ENGINEERS INC.  
2610 WYCLIFF ROAD, SUITE 410  
RALEIGH, NORTH CAROLINA 27607

CONTACT:

ADAM HALES, PLS  
P: (919) - 424 - 3715  
AHALES@DEWBERRY.COM

CIVIL ENGINEER

DEWBERRY ENGINEERS INC.  
2610 WYCLIFF ROAD, SUITE 410  
RALEIGH, NORTH CAROLINA 27607

CONTACT:

AMIR HADJIMIRY, PE  
P: (984) - 255 - 7047  
AHADJIMIRY@DEWBERRY.COM

LANDSCAPE ARCHITECT

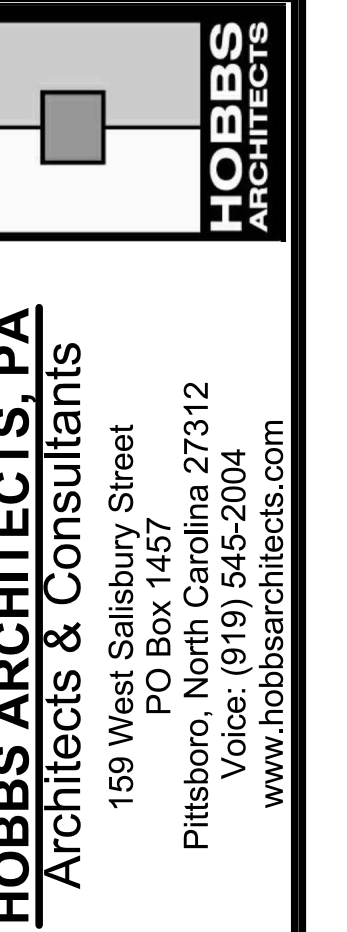
DEWBERRY ENGINEERS INC.  
2610 WYCLIFF ROAD, SUITE 410  
RALEIGH, NORTH CAROLINA 27607

CONTACT:

BENTLEY RUGGLES, RLA  
P: (984) - 833 - 4833  
BRUGGLES@DEWBERRY.COM

# EADDY BUILDING ADDITION

## 4302 REEDY CREEK RD., RALEIGH, NC 27607



### Project Data Sheet

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form must be completed and applied to the cover sheet of drawings submitted with a Non-Residential building permit associated with a Site Permit Review, or permits for an apartment, office, and/or commercial uses.

GENERAL INFORMATION
Development Name: Eaddy Building Addition
Property Address(es): 4300 Reedy Creek Road, Raleigh, NC 27607
Approved Site Plan or Subdivision case #:
Wake County Property Identification Number(s) (PIN) for each parcel to which these guidelines will apply:
PIN #: 0785121112 814
What is the project type?
Apartment, Hotel/Motel, Office, School, Townhouse, Bank, Industrial building, Religious institution, Shopping center, Civic use: Park, community center, museum or government facility, Congregate care, Mixed residential, Residential condo, Single-family residential, Telecommunication tower, Hospital, Non-residential condo, Retail, Other
Scope of work:
A building and walkway are being added to the northeast side of the existing Building.

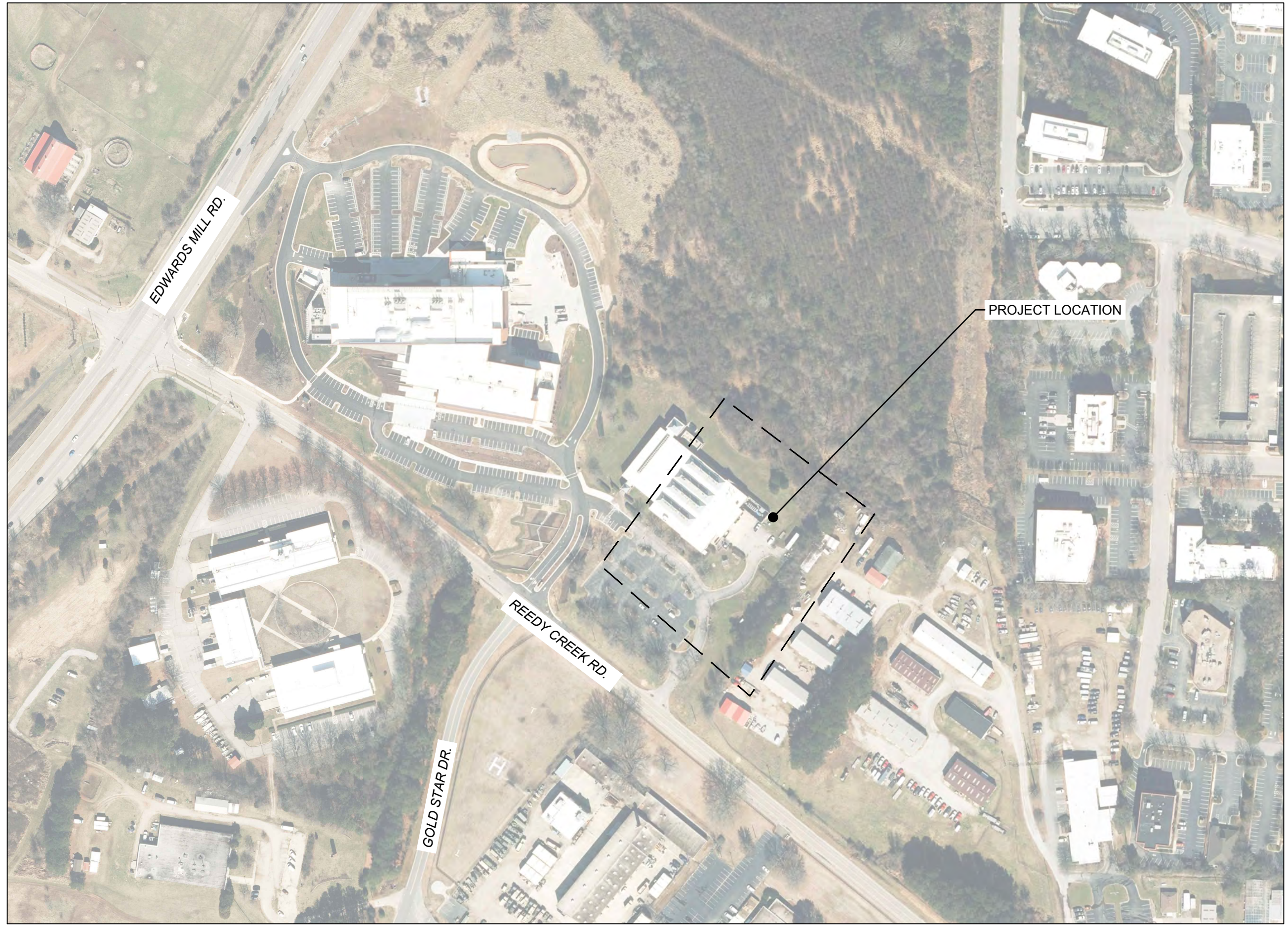
FOR APARTMENTS, CONDOS, AND TOWNHOMES ONLY
1. Total number of townhouse lots: N/A
2. Total number of apartment or condominium units: N/A
3. Total number of Congregate Care or Life Care Dwelling units: N/A
4. Overall total number of dwelling units (from 1-3 above): N/A
5. Number of bedroom units: 1BR: N/A, 2BR: N/A, 3BR: N/A, 4BR or more: N/A
6. Overall unit(s) per acre densities per zoning district(s): N/A

DEVELOPMENT TYPE AND SITE DATA TABLE (applicable to all developments)
Zoning Information: OP
Proposed use of building(s): Agriculture and Consumer Services
If more than one district, provide acreage of each:
Proposed sq. ft. of building(s) gross: 5,895
Overlay district(s): N/A
Total site acreage: 999.5 AC
Existing sq. ft. of building(s) gross: N/A
Total sq. ft. gross (existing and proposed):
Off street parking: Required: N/A, Provided: N/A
Proposed height of building(s):
COA (Certificate of Appropriateness) case #:
FAR (floor area ratio) %:
BOA (Board of Adjustment) case # A -
Building lot coverage %:
CUD (Conditional Use District) case # Z -
Inside City Limits? Yes [X] No [ ]

PAGE 1 OF 2 REVISION 11.16.20 raleighnc.gov

STORMWATER INFORMATION
Existing impervious surface: 73.42 / 3,198.175 acres/square feet
Proposed impervious surface: 0.14 / 5,895 acres/square feet
Neuse River buffer: Yes [X] No [ ] Wetlands: Yes [ ] No [X]
Flood Hazard Area: Yes [ ] No [X] If yes, Alluvial soils:
Flood Study: N/A FEMA Map Panel #: 3702430785K
Total disturbed area: 0.78 / 33.976 acres/square feet

PAGE 2 OF 2 REVISION 11.16.20 raleighnc.gov



### VICINITY MAP NTS

NOTE: THERE ARE NO WETLANDS LOCATED WITHIN THE PROJECT LIMITS.

SHEET INDEX table with columns SHEET NO. and TITLE. Includes entries for CS, C001, C002, C100, C200, C300, C400, C500, C600, L200, L300, L301, L400, L600, L601, L602.

### ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspection Division and schedule a Pre-construction meeting on the Development Partial prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Private Sewer Collection / Extension System
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # S-5489 (P)
Authorization to Construct See digital signature

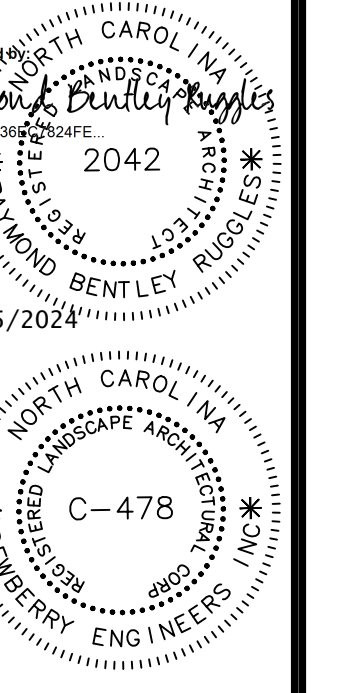
Example of a Public Improvement Quantity Table to be placed on Drawings.

This table must be on all Site Permitting Plans.

### INFRASTRUCTURE INSPECTIONS QUANTITIES TABLE

Table with 4 columns: Phase Number(s), PHASE 1, PHASE 2, PHASE 3. Rows include Number of Lot (s), Lot Number (s) by Phase, Number of Units, Livable Buildings, Open Space?, Number of Open Space Lots, Public Water (LF), Private Water\* (LF), Public Sewer (LF), Public Force Main (LF), Private Sewer\*\* (LF), Public Street (LF) - FULL, Public Street (LF) - PARTIAL, Public Sidewalk (LF) - FULL, Public Sidewalk (LF) - PARTIAL, Multi-Use Path\*\*\* (LF), Public Stormdrain (LF), Street Signs (LF), Water Service Stubs, Sewer Service Stubs.

Average Daily Flow (GPD)\*\*\*\* 8,640
\* Water mains 4" and larger
\*\* Sewer mains and manholes as part of a collection system
\*\*\* 10 or 12 ft wide path in lieu of sidewalk or a Multi-Use path as part of a development amenity
\*\*\*\* Based on 75gpd per bedroom for residential and 15A NCAC 02T .0114 Wastewater Design Flow Rates for commercial



NEW PROJECT FOR
NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES
SCO ID# 22-24471-02A
EADDY BUILDING ADDITION
4302 REEDY CREEK RD., RALEIGH, NC 27607

Table with 2 columns: No., Date. Rows: 04/12, 05/07, 06/12, 06/25, 08/06.

COVER SHEET

DATE 09/06/2024

CS

TOPOGRAPHIC SURVEY NOTES:

- 1. THIS TOPOGRAPHIC SURVEY IS BASED ON A SURVEY PERFORMED BY DEWBERRY ENGINEERS INC. ON OCTOBER 24-25, 2022 AND SEPTEMBER 19, 2023.
2. HORIZONTAL CONTROL (NAD83/2011) AND VERTICAL CONTROL (NAVD88) ESTABLISHED BY GPS OBSERVATIONS AND COMPUTED USING NORTH CAROLINA GEODETIC SURVEY VIRTUAL REFERENCE STATION SERVICE (VRS), YIELDING VALUES OF:
#1 N: 750947.758 E: 2085680.042 EL: 439.393 (REBAR & CAP)
#2 N: 751191.348 E: 2085762.486 EL: 449.935 (REBAR & CAP)
3. NORTH ARROW IS GRID NORTH AND ALL DISTANCES ARE GROUND DISTANCES. PROJECT LOCALIZED ON POINT #2. COMBINED GRID FACTOR (GRID TO GROUND) EQUALS 1.00009585154279
4. LOCATIONS OF UTILITIES SHOWN ON THIS SURVEY WERE DETERMINED BY OBSERVED EVIDENCE, LOCATION OF ABOVE GROUND UTILITY APPURTENANCES, AND UTILITY MARKINGS (PAINT, ETC.) PROVIDED BY DEWBERRY. THESE MARKINGS WERE OBSERVED DURING THE COURSE OF THIS SURVEY, WERE FIELD LOCATED, ARE SHOWN FOR INFORMATIONAL PURPOSES, AND SHOULD BE FIELD VERIFIED IF CRITICAL. UNDERGROUND UTILITIES NOT SHOWN, MAY EXIST. STORM SEWER AND SANITARY SEWER DATA HAS BEEN COLLECTED FROM THE RIM OF THE MANHOLE WITHOUT ENTERING THE STRUCTURE. PIPE SIZES AND TYPES SHOULD BE CONSIDERED APPROXIMATE AND BE FIELD VERIFIED IF CRITICAL. STRUCTURES LABELED "VAULT", IF ANY, INDICATE A SUBSTRUCTURE WITH LIMITED VISUAL ACCESS AND INVERT INFORMATION.
5. NO TREE SURVEY WAS PERFORMED AS APART OF THIS SURVEY (ONLY EDGE OF WOODS), OTHER TREES MAY EXIST ON SITE.

TOPOGRAPHIC SURVEY NOTES (CHANDLER LAND SURVEYING)

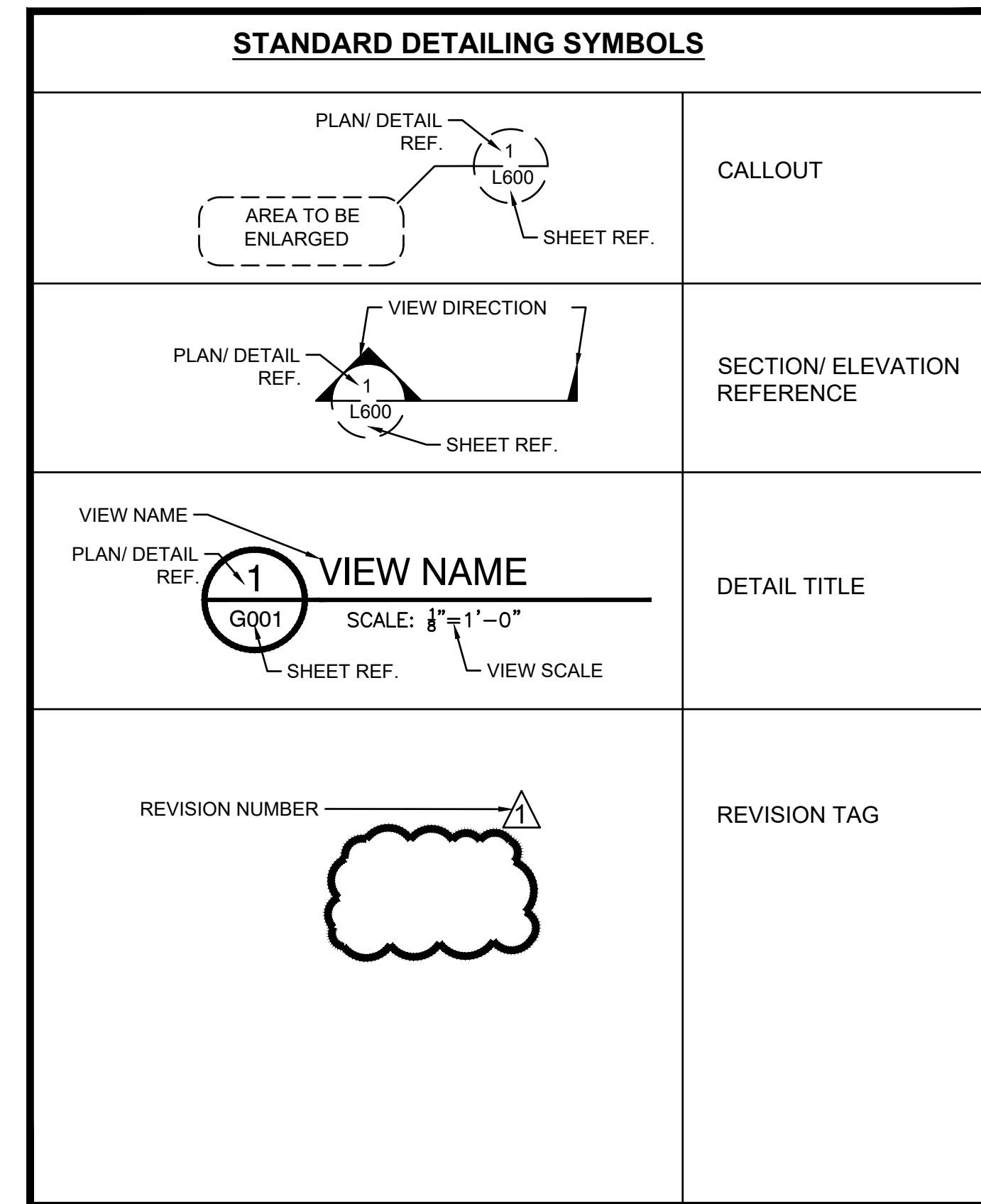
- 1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
2. ALL BEARINGS ARE BASED ON NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 83).
3. THERE IS NO EVIDENCE THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

DEMOLITION (D) NOTES:

- 1. DEMOLITION PLANS FOR UTILITIES ONLY. SEE SITE DEMOLITION PLAN FOR COORDINATION OF ALL ABOVE GROUND SITE DEMOLITION. SEE ELECTRICAL DEMOLITION FOR COORDINATION OF ELECTRICAL DEMOLITION.
2. CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES.
3. CONTRACTOR SHALL PROVIDE MEASURES AS NECESSARY DURING CONSTRUCTION FOR SEDIMENTATION & EROSION CONTROL.
4. CONTRACTOR TO REMOVE EXISTING WATERLINE IN ITS ENTIRETY. THIS INCLUDES BUT NOT LIMITED TO PIPE, APPURTENANCES, EQUIPMENT, BOXES, OR VAULTS. (TYP)
5. CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, UTILITIES AND ALL OTHER PROPERTIES UNLESS THEY ARE TO BE DEMOLISHED AS PART OF THIS PROJECT.
6. CONTRACTOR SHALL NOT INTERRUPT UTILITY SERVICE WITHOUT PRIOR AUTHORIZATION FROM OWNER.
7. ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THE DRAWINGS AND LOCATION OF EX. UTILITIES (VERTICALLY AND HORIZONTALLY) ARE SHOWN IN APPROXIMATE MANNER ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES, PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT NC ONE CALL (811) PRIOR TO COMMENCEMENT OF CONSTRUCTION. VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS AND COORDINATE CHANGES TO UTILITIES, IF NEEDED, WITH THE ENGINEER.
8. CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL CONSTRUCTION WASTE, EXCESS MATERIALS (INCLUDING SOIL AND TOPSOIL), AS WELL AS ALL UNSUITABLE MATERIALS OFF-SITE. BURNING AT THE SITE IS NOT PERMITTED AT ANY TIME.
9. CONTRACTOR TO COORDINATE WITH UTILITY OWNERS (F.O., ELECTRIC, GAS, ETC.) PRIOR TO DEMOLITION OF UTILITY SERVICES.

GRADING & DRAINAGE STANDARD ABBREVIATIONS

Table listing abbreviations for grading and drainage: HP (High Point), LP (Low Point), CB (Catch Basin), CHL (Chain Link Fence), CMP (Corrugated Metal Pipe), CO (Cleanout), CPP (Corrugated Plastic Pipe), DI (Drop Inlet), YI (Yard Inlet), MH (Manhole), DIP (Ductile Iron Pipe), EX (Existing), FDC (Fire Department Connection), FES (Flared End Section), OS (Outlet Structure), FO (Fiber Optic), GW (Guy-Wire), INV (Invert), PIV (Post Indicator Valve), PVC (Poly-Vinyl Chloride Pipe), RCP (Reinforced Concrete Pipe), SS (Sanitary Sewer Main), SSS (Sanitary Sewer Service Station), WV (Water Valve), UGE (Under Ground Electric), BFP (Backflow Preventer), SCM (Stormwater Control Measure), JB (Junction Box), CI (Curb Inlet), TR (Top of Ramp), BR (Bottom of Ramp), TW (Top of Wall), BW (Bottom of Wall (Finished Grade)), TS (Top Step), BS (Bottom Step), WM (Water Meter), EP (Edge of Pavement), FC (Face of Curb), BC (Bottom of Curb), TLS (Top of Level Spreader), BSW (Bottom of Swale).



(LEGEND USED AS REFERENCE, SOME ITEMS SHOWN MAY NOT APPLY)

EXISTING LEGEND (CHANDLER LAND SURVEYING)

GRADING AND DRAINAGE LEGEND

EXISTING LEGEND (DEWBERRY ENGINEERS INC.)

Table of existing legend symbols: IPF (Iron Pipe Found), MON (Monument), CON (Concrete), R/W (Right-of-Way), CL-BW (Chain Link Fence with Barbed Wire), SSMH (Sanitary Sewer Manhole), CB (Catch Basin), RCP (Reinforced Concrete Pipe), C&G (Curb and Gutter), BCNG (Back of Curb-No Gutter), DI (Drop Inlet), FH (Fire Hydrant), TBW (Temporary Benchmark), EP (Edge of Pavement), POB (Point of Beginning), MB (Mailbox), (#) (Recorded Bearing/Distance), CTV (Cable TV Box), LP (Light Pole), AC (AC Unit), UP (Utility Pole), CO (Clean Out), GW (Guy Wire), TR (Transformer), WV (Water Valve), TSB (Traffic Signal Box), W (Well), E (Overhead Electric), UE (Underground Electric), SS (Sanitary Sewer), G (Underground Gas Line).

Table of grading and drainage legend symbols: TR (Top of Ramp), BR (Bottom of Ramp), TW (Top of Wall), BW (Bottom of Wall (Finished Grade)), HP (High Point), LP (Low Point), TC (Top of Curb), BC (Bottom of Curb (Flow Line)), RIM (Grate Elevation), INV (Bottom of Inner Pipe), XXXXX (Proposed Spot Elevation), XXX.XX (Existing Spot Elevation), [Symbol] (Proposed Storm Structure), [Symbol] (Proposed Storm Drainage Structure), [Symbol] (Proposed Direction of Flow), LOD (Proposed Limits of Disturbance), [Symbol] (Proposed Tree Line), [Symbol] (Proposed Storm Sewer Pipe), [Symbol] (Proposed Storm Sewer Pipe), [Symbol] (Existing Major Contour), [Symbol] (Existing Minor Contour), [Symbol] (Proposed Major Contour), [Symbol] (Proposed Minor Contour), [Symbol] (Proposed Swale Centerline), [Symbol] (Depressed Contour), [Symbol] (Proposed Roof Drain), [Symbol] (Proposed Foundation Drain), [Symbol] (Proposed Ridge Line).

Table of existing legend symbols (Dewberry Engineers Inc.): EOI (End of Information), SM (Storm Manhole), SSMH (Sanitary Sewer Manhole), EB (Electric Box), GL (Ground Light), UMP (Utility Marker Post), SC (Survey Control), IPF (Iron Pipe Found), MONF (Monument Found), TP (Telephone Pedestal), RM (Road Markings), SIGN (Sign), CO (Clean Out), UH (Utility Handhole), B (Benchmark), FH (Fire Hydrant), [Symbol] (Approx. Location of Utility Origin/Destination Unknown), F (Fence), GR (Guard Rail), SSP (Sanitary Sewer Pipe), SDP (Storm Drain Pipe), UGE (Underground Electric), UGCTV (Underground Cable TV), UG (Underground Gas), UNG (Underground Nitrogen Gas), UGFO (Underground Fiber Optic), UGTEL (Underground Telephone), TL (Tree Line), P (Proposed Storm Sewer Pipe), [Symbol] (Existing Major Contour), [Symbol] (Existing Minor Contour), [Symbol] (Proposed Major Contour), [Symbol] (Proposed Minor Contour), [Symbol] (Proposed Swale Centerline), [Symbol] (Depressed Contour).

- SIGN LEGEND -

Table of sign legend symbols: S1 (No Trespassing), S2 (Raleigh Public Utilities Dept), S3 (No Parking), S4 (Speed Limit 5 MPH), S5 (Handicap Parking), LOD (Limits of Disturbance), [Symbol] (Tree Protection/Silt Fence), SF (Silt Fence), [Symbol] (Temporary Diversion Ditch), [Symbol] (Temporary Baffle Fence), W (Wattle), PS (Permanent Seeding), TS (Temporary Seeding), DC (Dust Control), IP-HCG (Temporary Hardware Cloth and Gravel Inlet Protection), IP-GB (Gravel Bag Curb Inlet Protection), IP (Inlet Pipe Protection).

EROSION CONTROL LEGEND

Table of erosion control legend symbols: SFO# (Silt Fence Outlet), CE (Temporary Construction Entrance), [Symbol] (Existing Tree Line), [Symbol] (Proposed Tree Line), [Symbol] (Rolled Erosion Control Slope Stabilization), [Symbol] (Washrack).

LANDSCAPE LEGEND

Table of landscape legend symbols: SOD (Sod), MULCH (Mulch), SEED (Seed), HPR (High Performance Reinforced Turf).

DEMOLITION LEGEND

Table of demolition legend symbols: [Symbol] (Concrete Demolition Area/Limits), [Symbol] (Asphalt Demolition Area/Limits), [Symbol] (Building Demolition Area/Limits), [Symbol] (Curb and Gutter Demolition Area/Limits), X (Tree to be Removed), [Symbol] (Gas Tank), [Symbol] (AC Unit), [Symbol] (Light Pole), [Symbol] (Utility Pole), [Symbol] (Guy Wire), [Symbol] (Electrical Meter), [Symbol] (Transformer), [Symbol] (Cleanout), [Symbol] (Water Valve), [Symbol] (Well), [Symbol] (Water Meter), [Symbol] (Cable TV Box), [Symbol] (Fiber Optic Box), [Symbol] (Traffic Signal Box), [Symbol] (Fence), [Symbol] (Guard Rail), [Symbol] (Sanitary Sewer Pipe), [Symbol] (Storm Drain Pipe), [Symbol] (Underground Electric), [Symbol] (Underground Cable TV), [Symbol] (Underground Gas), [Symbol] (Underground Nitrogen Gas), [Symbol] (Underground Fiber Optic), [Symbol] (Underground Telephone).

PROPOSED UTILITY LEGEND

Table of proposed utility legend symbols: [Symbol] (Proposed Sanitary Sewer Manhole), [Symbol] (Proposed Sanitary Sewer System Identification), [Symbol] (Cleanout), [Symbol] (Proposed Tee), [Symbol] (Proposed FDC), [Symbol] (Proposed Gate Valve), [Symbol] (Proposed Bend), [Symbol] (Proposed Post Indicator Valve), [Symbol] (Proposed Wall Mounted Post Indicator Valve), [Symbol] (Proposed Fire Hydrant Assembly), [Symbol] (Proposed Sanitary Sewer), [Symbol] (Proposed Sanitary Sewer Service), [Symbol] (Proposed Water), [Symbol] (Proposed Fire Protection Waterline), [Symbol] (Underground Electric), [Symbol] (Underground Gas Line (For Reference Only)), [Symbol] (Sanitary Sewer Pipe), [Symbol] (Tee Fitting), [Symbol] (Horizontal Bend), [Symbol] (Fire Hydrant), [Symbol] (Light Pole).

LANDSCAPE LEGEND

Table of landscape legend symbols: [Symbol] (High Performance Reinforced Turf), [Symbol] (Sod), [Symbol] (Mulch), [Symbol] (Seed).

SITE LAYOUT LEGEND

Table of site layout legend symbols: [Symbol] (Asphalt), [Symbol] (Concrete), [Symbol] (Gravel), [Symbol] (Clearing Limits), [Symbol] (Curb & Gutter).

1 - MGLG PLANT CODE PLANT QUANTITY

Professional seal and contact information for Hobbs Architects, PA Architects & Consultants, including address (159 West Salisbury Street, Pittsboro, NC 27312), phone number (919) 945-2004, website (www.hobbsarchitects.com), and a circular seal with the text 'NORTH CAROLINA PROFESSIONAL ARCHITECTS' and '2042'.

Vertical text for 'NEW PROJECT FOR NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES', 'SCO ID# 22-24471-02A', 'EADY BUILDING ADDITION', and '4302 REEDY CREEK RD., RALEIGH, NC 27607'.

Table with columns 'No.' and 'Date' containing dates: 04/12, 05/07, 06/12, 06/25, 08/06.

STANDARD NOTES AND ABBREVIATIONS

DATE 09/06/2024

C-001

Dewberry Engineers Inc. logo and contact information: Dewberry Engineers Inc., 410 LIFT ROAD, SUITE 410, RALEIGH, NC 27607, PHONE: (919) 945-2004, FAX: (919) 945-2004, NCBELS #F-0929, PROJECT NO. 224471-02A.



VICINITY MAP - N.T.S.

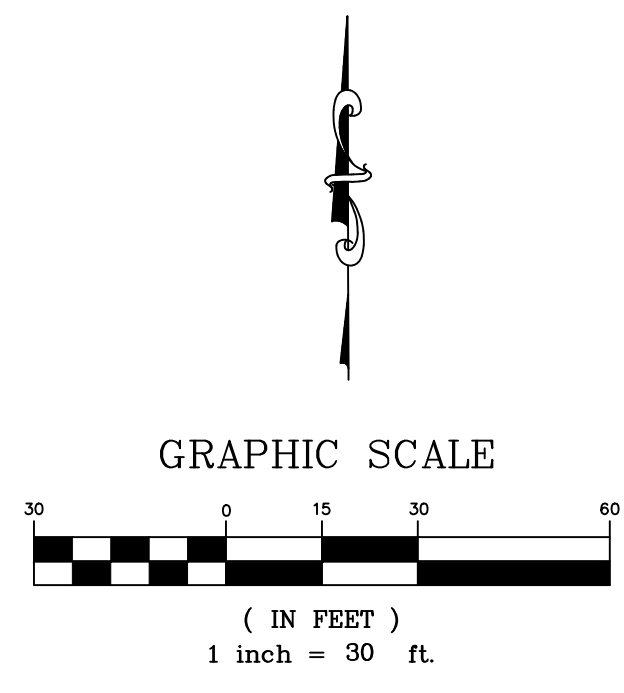
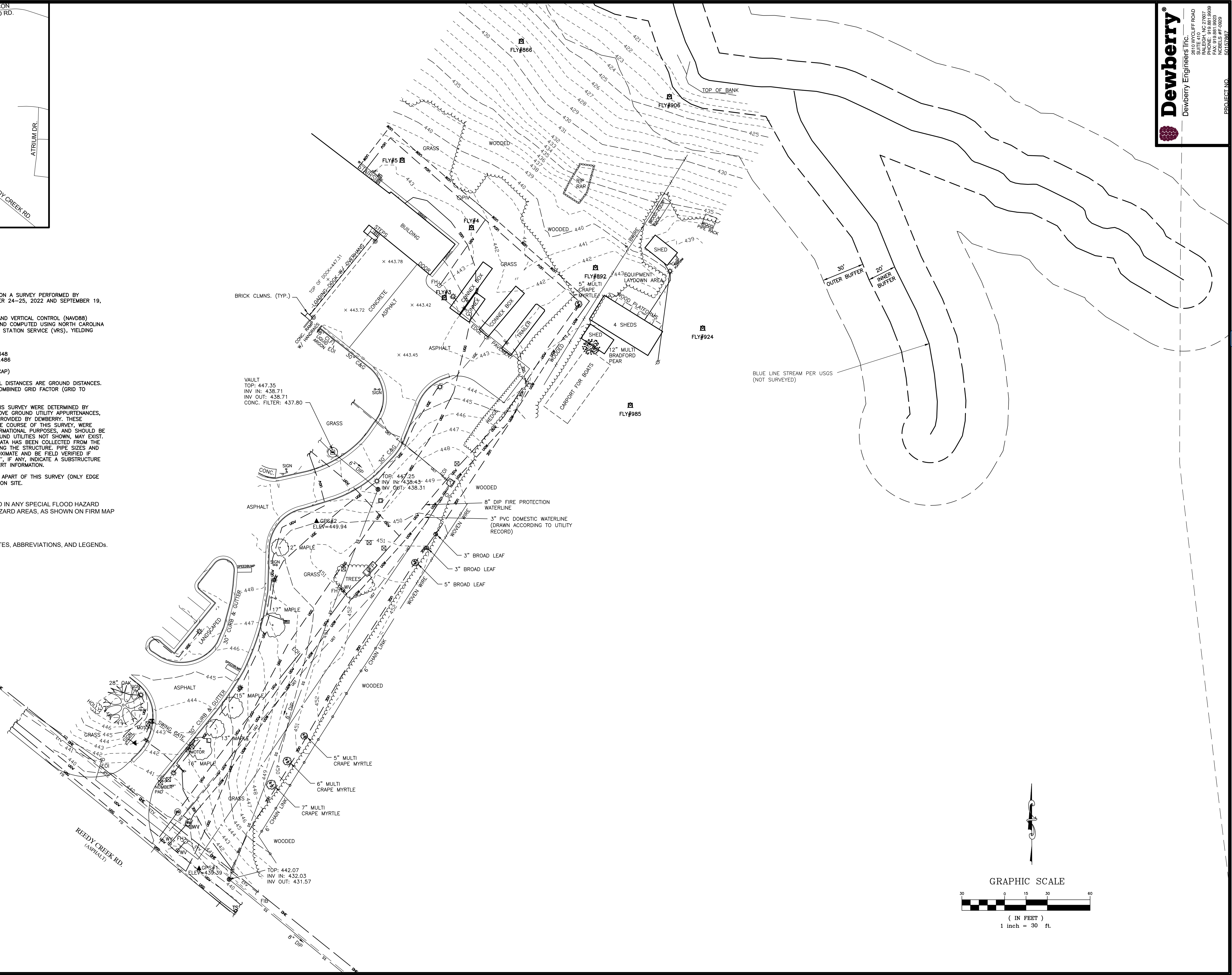
TOPOGRAPHIC SURVEY NOTES:

- THIS TOPOGRAPHIC SURVEY IS BASED ON A SURVEY PERFORMED BY DEWBERRY ENGINEERS INC. ON OCTOBER 24-25, 2022 AND SEPTEMBER 19, 2023.
- HORIZONTAL CONTROL (NAD83/2011) AND VERTICAL CONTROL (NAVD88) ESTABLISHED BY GPS OBSERVATIONS AND COMPUTED USING NORTH CAROLINA GEODETIC SURVEY VIRTUAL REFERENCE STATION SERVICE (VRS), YIELDING VALUES OF:
 

#1	#2
N: 750947.758	N: 751191.348
E: 2085680.042	E: 2085762.486
EL: 439.393	EL: 449.935
(REBAR & CAP)	(REBAR & CAP)
- NORTH ARROW IS GRID NORTH AND ALL DISTANCES ARE GROUND DISTANCES. PROJECT LOCALIZED ON POINT #2. COMBINED GRID FACTOR (GRID TO GROUND) EQUALS 1.00009585154279
- LOCATIONS OF UTILITIES SHOWN ON THIS SURVEY WERE DETERMINED BY OBSERVED EVIDENCE, LOCATION OF ABOVE GROUND UTILITY APPURTENANCES, AND UTILITY MARKINGS (PAINT, ETC.) PROVIDED BY DEWBERRY. THESE MARKINGS WERE OBSERVED DURING THE COURSE OF THIS SURVEY, WERE FIELD LOCATED, ARE SHOWN FOR INFORMATIONAL PURPOSES, AND SHOULD BE FIELD VERIFIED IF CRITICAL. UNDERGROUND UTILITIES NOT SHOWN, MAY EXIST. STORM SEWER AND SANITARY SEWER DATA HAS BEEN COLLECTED FROM THE RIM OF THE MANHOLE WITHOUT ENTERING THE STRUCTURE. PIPE SIZES AND TYPES SHOULD BE CONSIDERED APPROXIMATE AND BE FIELD VERIFIED IF CRITICAL. STRUCTURES LABELED "VAULT", IF ANY, INDICATE A SUBSTRUCTURE WITH LIMITED VISUAL ACCESS AND INVERT INFORMATION.
- NO TREE SURVEY WAS PERFORMED AS APART OF THIS SURVEY (ONLY EDGE OF WOODS), OTHER TREES MAY EXIST ON SITE.

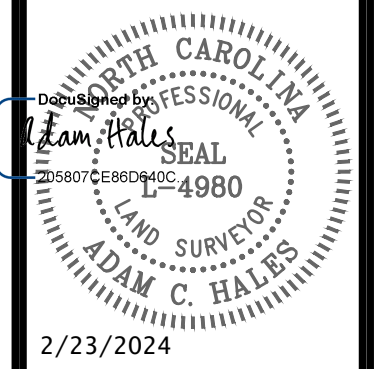
NOTE: THE PROJECT SITE IS NOT LOCATED IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITION FLOOD HAZARD AREAS, AS SHOWN ON FIRM MAP NUMBER 3720078500K DATED 07/19/22.

- NOTES:
- SEE SHEET C-001 FOR STANDARD NOTES, ABBREVIATIONS, AND LEGENDS.



**Dewberry**  
 Dewberry Engineers Inc.  
 1000 CLIFF ROAD  
 SUITE 410  
 RALEIGH, NC 27602  
 FAX: 919.851.9283  
 NCBELS #F-009  
 50157537

**HOBBS ARCHITECTS, PA**  
 Architects & Consultants  
 159 West Salisbury Street  
 PO Box 1457  
 Pittsboro, North Carolina 27312  
 Voice: (919) 945-2004  
 www.hobbsarchitects.com



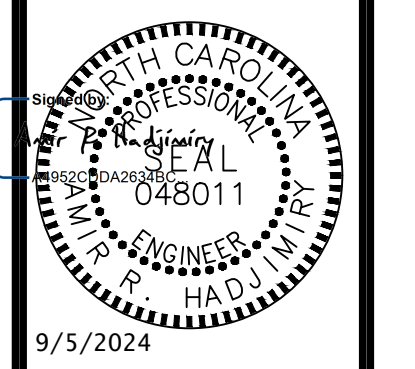
NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
 SCO ID# 22-24471-02A  
 EDDY BUILDING ADDITION  
 4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

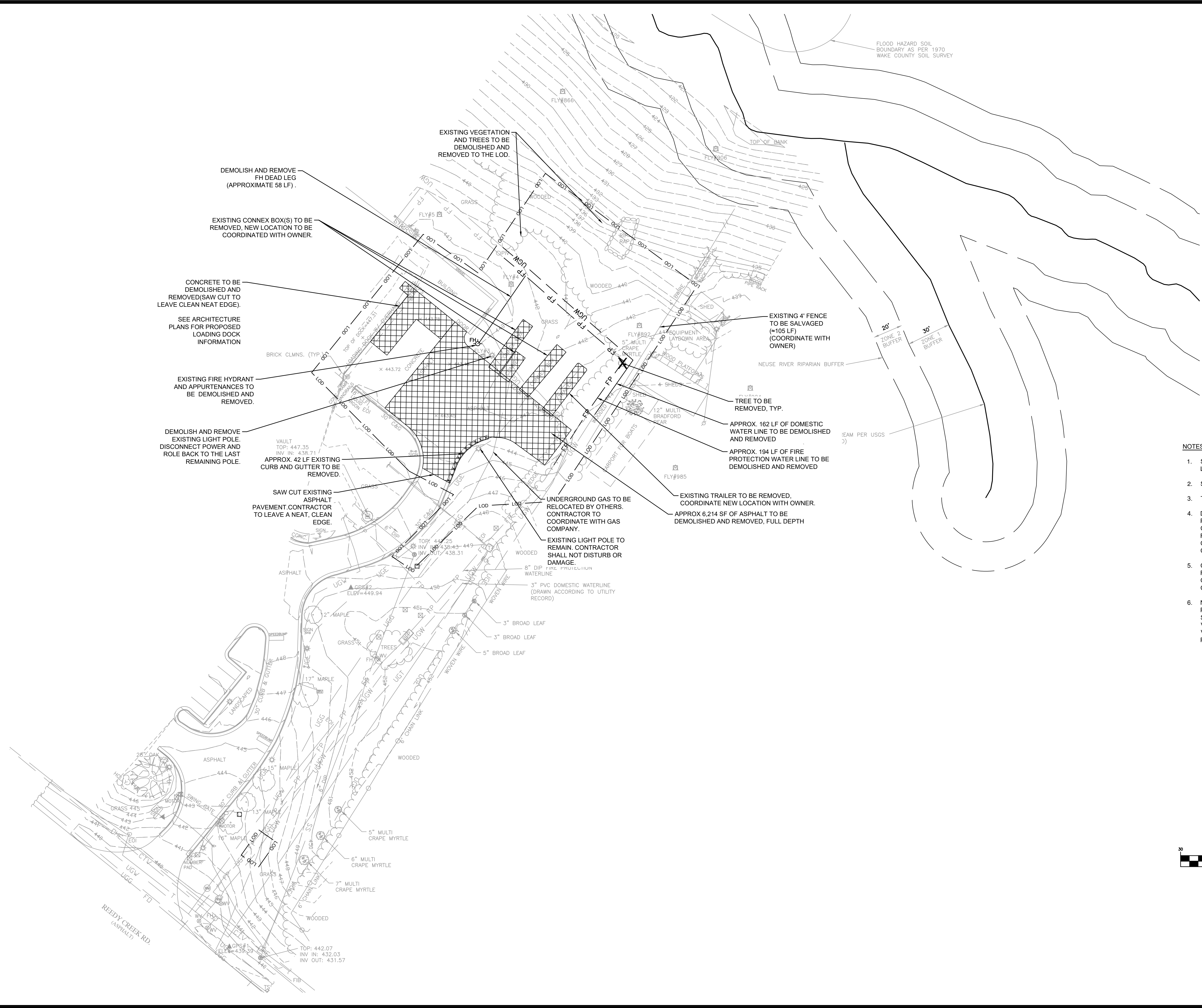
EXISTING  
 CONDITIONS

DATE  
 02/26/24

**C-002**



9/5/2024



EXISTING VEGETATION AND TREES TO BE DEMOLISHED AND REMOVED TO THE LOD.

DEMOLISH AND REMOVE FH DEAD LEG (APPROXIMATE 58 LF).

EXISTING CONNEX BOX(S) TO BE REMOVED, NEW LOCATION TO BE COORDINATED WITH OWNER.

CONCRETE TO BE DEMOLISHED AND REMOVED (SAW CUT TO LEAVE CLEAN NEAT EDGE).  
SEE ARCHITECTURE PLANS FOR PROPOSED LOADING DOCK INFORMATION

EXISTING FIRE HYDRANT AND APPURTENANCES TO BE DEMOLISHED AND REMOVED.

DEMOLISH AND REMOVE EXISTING LIGHT POLE. DISCONNECT POWER AND ROLE BACK TO THE LAST REMAINING POLE.

SAW CUT EXISTING ASPHALT PAVEMENT CONTRACTOR TO LEAVE A NEAT, CLEAN EDGE.

UNDERGROUND GAS TO BE RELOCATED BY OTHERS. CONTRACTOR TO COORDINATE WITH GAS COMPANY.

EXISTING LIGHT POLE TO REMAIN. CONTRACTOR SHALL NOT DISTURB OR DAMAGE.

EXISTING TRAILER TO BE REMOVED. COORDINATE NEW LOCATION WITH OWNER.

APPROX 6,214 SF OF ASPHALT TO BE DEMOLISHED AND REMOVED, FULL DEPTH

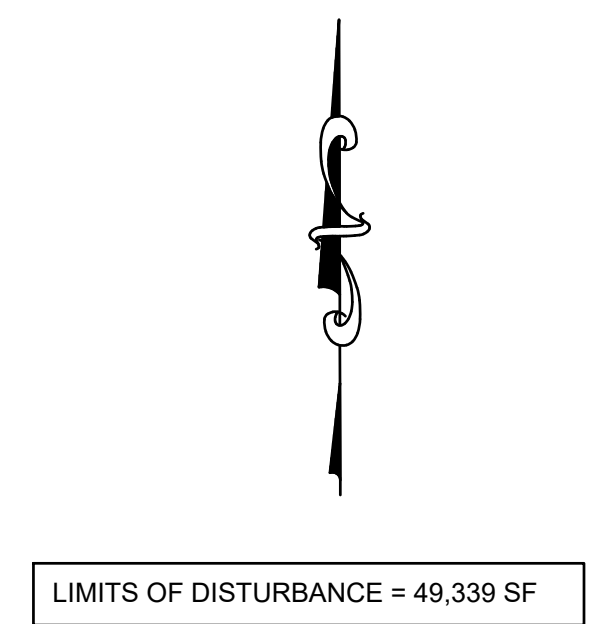
EXISTING 4' FENCE TO BE SALVAGED (~105 LF) (COORDINATE WITH OWNER)

TREE TO BE REMOVED, TYP.

APPROX. 162 LF OF DOMESTIC WATER LINE TO BE DEMOLISHED AND REMOVED

APPROX. 194 LF OF FIRE PROTECTION WATER LINE TO BE DEMOLISHED AND REMOVED

- NOTES:**
- SEE SHEET C-001 FOR STANDARD NOTES, ABBREVIATIONS, AND LEGEND.
  - SEE SHEET C-002 FOR EXISTING CONDITIONS.
  - TOTAL DISTURBED AREA = 49,339 SF.
  - DEMOLITION OF EXISTING DOMESTIC WATER AND FIRE PROTECTION SERVICE LINES WILL BE REQUIRED BEFORE CONSTRUCTION OF BUILDING. FIRE SERVICE INTERRUPTION MAY REQUIRE FIRE WATCH OR SIMILAR DEPENDING ON CONTRACTOR'S SEQUENCING OF WORK. CONTRACTOR TO COORDINATE WITH OWNER, ARCHITECT, AND CIVIL ENGINEER.
  - CONTRACTOR TO TAKE STEPS TO MINIMIZE INTERRUPTION OF FIRE PROTECTION SERVICE TO THE BUILDING DURING PLANNING OF WORK SEQUENCING. CONTRACTOR TO COORDINATE WITH OWNER, ARCHITECT, AND ENGINEER OF RECORD.
  - NOT ALL VEGETATION TO BE DEMOLISHED IS SHOWN ON THE PLAN. CONTRACTOR SHALL VISIT THE SITE PER THE SPECIFICATIONS AND ACCOUNT FOR ALL THE REQUIRED VEGETATION TO BE DEMOLISHED. NO INCREASES IN CONTRACT VALUE WILL BE ACCEPTED FOR THIS UPON THE START OF THE PROJECT.



NEW PROJECT FOR  
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SCO ID# 22-24471-02A  
EADY BUILDING ADDITION  
4302 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

SITE DEMO

DATE 09/06/2024

C-100

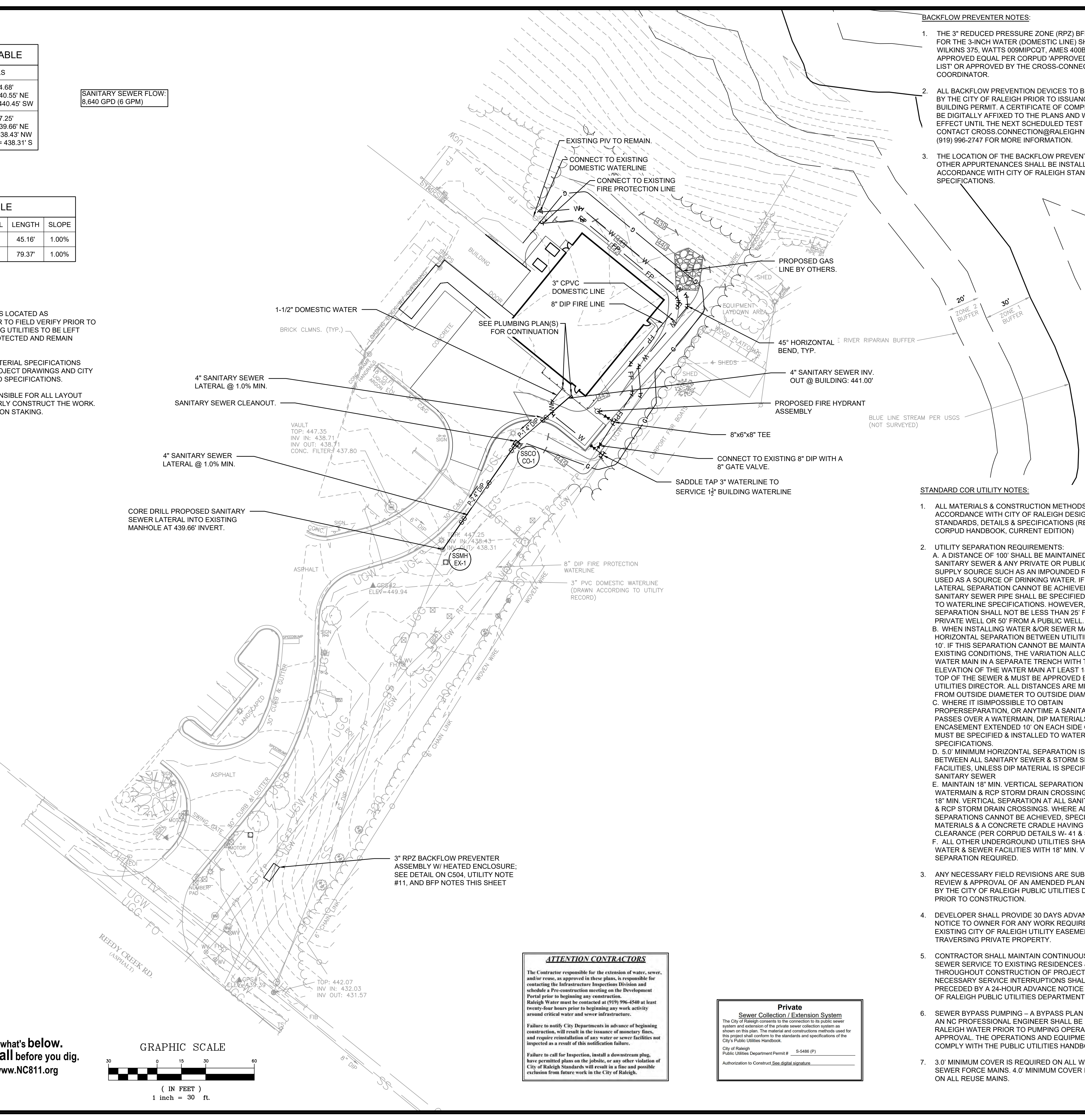


STRUCTURE TABLE	
ID NO.	DETAILS
CO-1	RIM = 444.68' P-1 INV IN = 440.55' NE P-2 INV OUT = 440.45' SW
EX-1	RIM = 447.25' P-2 INV IN = 439.66' NE EX-1 INV IN = 438.43' NW EX-2 INV OUT = 438.31' S

SANITARY SEWER FLOW:  
8,640 GPD (6 GPM)

PIPE TABLE				
PIPE NAME	SIZE	MATERIAL	LENGTH	SLOPE
P-1	4"	DIP	45.16'	1.00%
P-2	4"	DIP	79.37'	1.00%

- GENERAL NOTES:**
- ALL UNDERGROUND UTILITIES LOCATED AS APPROXIMATE. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION. ALL EXISTING UTILITIES TO BE LEFT UNDISTURBED SHALL BE PROTECTED AND REMAIN ACTIVE.
  - ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS SHALL CONFORM TO THE PROJECT DRAWINGS AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT WORK REQUIRED TO PROPERLY SITUATE THE WORK. THIS INCLUDES CONSTRUCTION STAKING.



**BACKFLOW PREVENTER NOTES:**

- THE 3" REDUCED PRESSURE ZONE (RPZ) BFP ASSEMBLY FOR THE 3-INCH WATER (DOMESTIC LINE) SHALL BE WILKINS 375, WATTS 009MPCOT, AMES 400B OR APPROVED EQUAL PER CORPUD APPROVED ASSEMBLIES LIST OR APPROVED BY THE CROSS-CONNECTION COORDINATOR.
- ALL BACKFLOW PREVENTION DEVICES TO BE APPROVED BY THE CITY OF RALEIGH PRIOR TO ISSUANCE OF BUILDING PERMIT. A CERTIFICATE OF COMPLIANCE MUST BE DIGITALLY AFFIXED TO THE PLANS AND WILL REMAIN IN EFFECT UNTIL THE NEXT SCHEDULED TEST DATE. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV OR (919) 996-2747 FOR MORE INFORMATION.
- THE LOCATION OF THE BACKFLOW PREVENTER AND OTHER APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**UTILITY NOTES:**

- ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- ALL SHOWN UTILITIES WILL HAVE A MINIMUM OF 3.0' OF GROUND COVER.
- CONTRACTOR SHALL CONTACT NC ONE-CALL AT 1-800-632-4949 FOR UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALSO NOTIFY THE CITY OF RALEIGH PRIOR TO COMMENCING WORK.
- THE LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD-LOCATE ALL EXISTING UTILITIES (SHOWN AND NOT SHOWN) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY REPORT ALL FINDINGS TO ENGINEER SO ANY UTILITY CONFLICTS CAN BE RESOLVED. ANY DAMAGE TO EXISTING UTILITIES INCURRED DURING FIELD-VERIFICATION AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL FITTINGS AND VALVE INSTALLATIONS ON TRANSMISSION AND DISTRIBUTION PIPING SHALL HAVE RESTRAINED JOINTS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO MAINTAIN EXISTING SERVICE AND CONNECTIONS TO ALL OTHER UTILITIES (GAS, SEWER, ETC.) NOT AFFECTED BY THE NEW WORK AT ALL TIMES UNLESS OTHERWISE APPROVED BY THE OWNER. ANY DAMAGED CONNECTIONS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL REPAIR ALL CURB, GUTTERS, SIDEWALKS AND ROADWAY DAMAGED DURING CONSTRUCTION.
- CONTRACTOR TO COORDINATE CONNECTION DOMESTIC SERVICE LINES AS SHOWN. ALL WORK TO CONFORM TO CITY OF RALEIGH STATE AND PLUMBING BUILDING CODE STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER AND FIELD ADJUST AS NECESSARY.
- GAS LINE SHOWN AS REFERENCE ONLY.
- SEE ELECTRICAL DRAWINGS FOR ELECTRICAL WORK, COMMUNICATION CABLEING, AND HEATING ELEMENT FOR RPZ BACKFLOW PREVENTER.

**STANDARD COR UTILITY NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.

**STANDARD COR UTILITY NOTES (CONT.):**

- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LIC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEE THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

**ATTENTION CONTRACTORS**

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

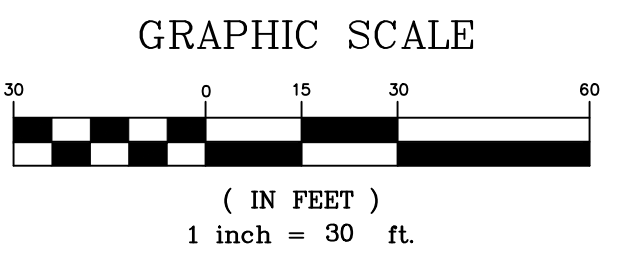
Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

**Private Sewer Collection / Extension System**

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

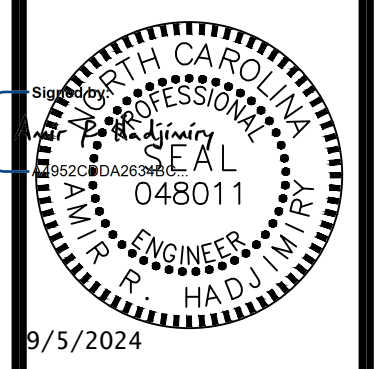
City of Raleigh  
Public Utilities Department Permit # S-5406 (P)  
Authorization to Construct See digital signature



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**HOBBS ARCHITECTS, PA**  
Architects & Consultants  
159 West Salisbury Street  
PO Box 1457  
Pittsboro, North Carolina 27312  
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www.hobbsarchitects.com



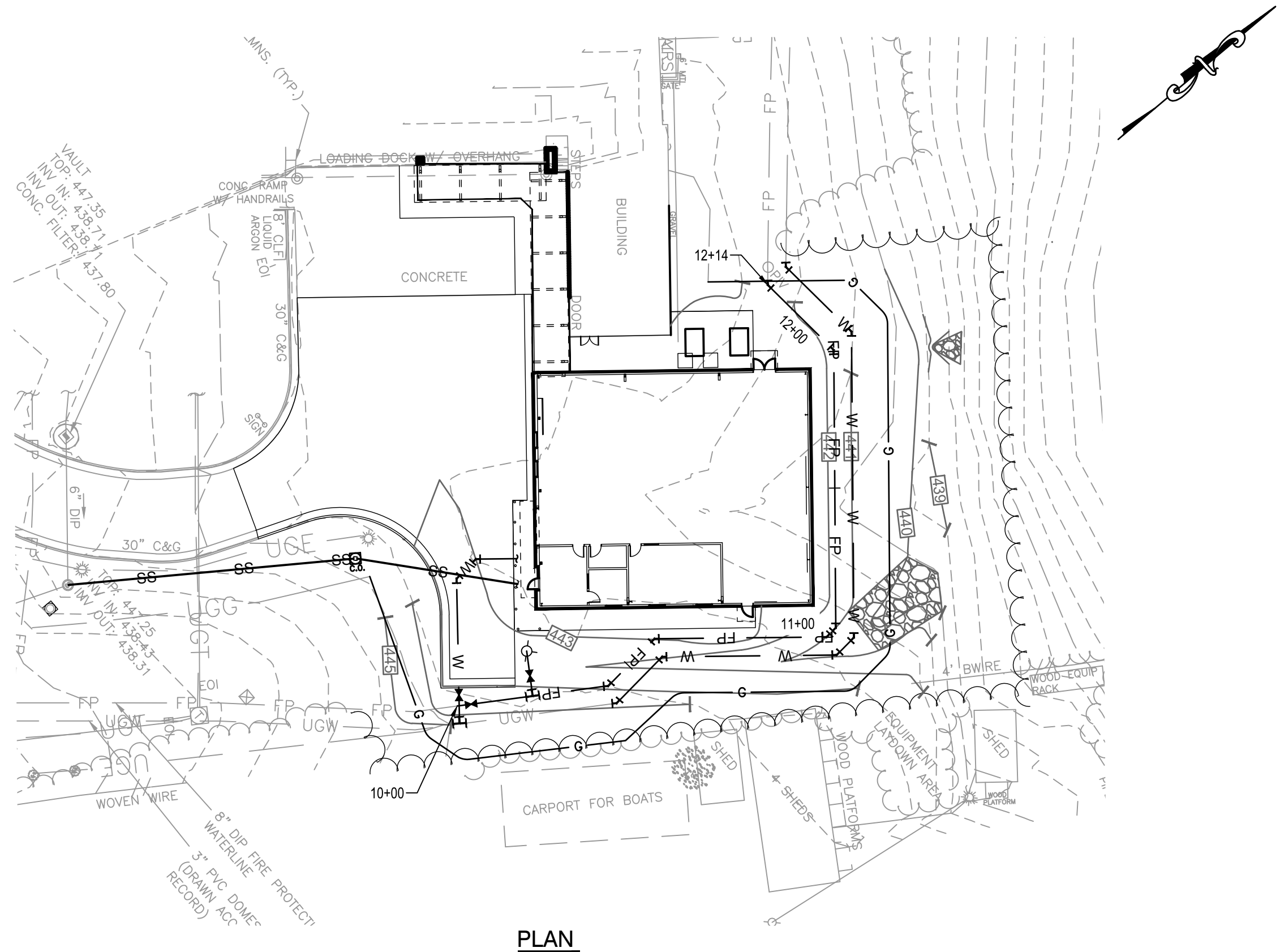
9/5/2024

NEW PROJECT FOR  
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SCO ID# 22-24471-02A  
EADY BUILDING ADDITION  
4302 REEDY CREEK RD., RALEIGH, NC 27607

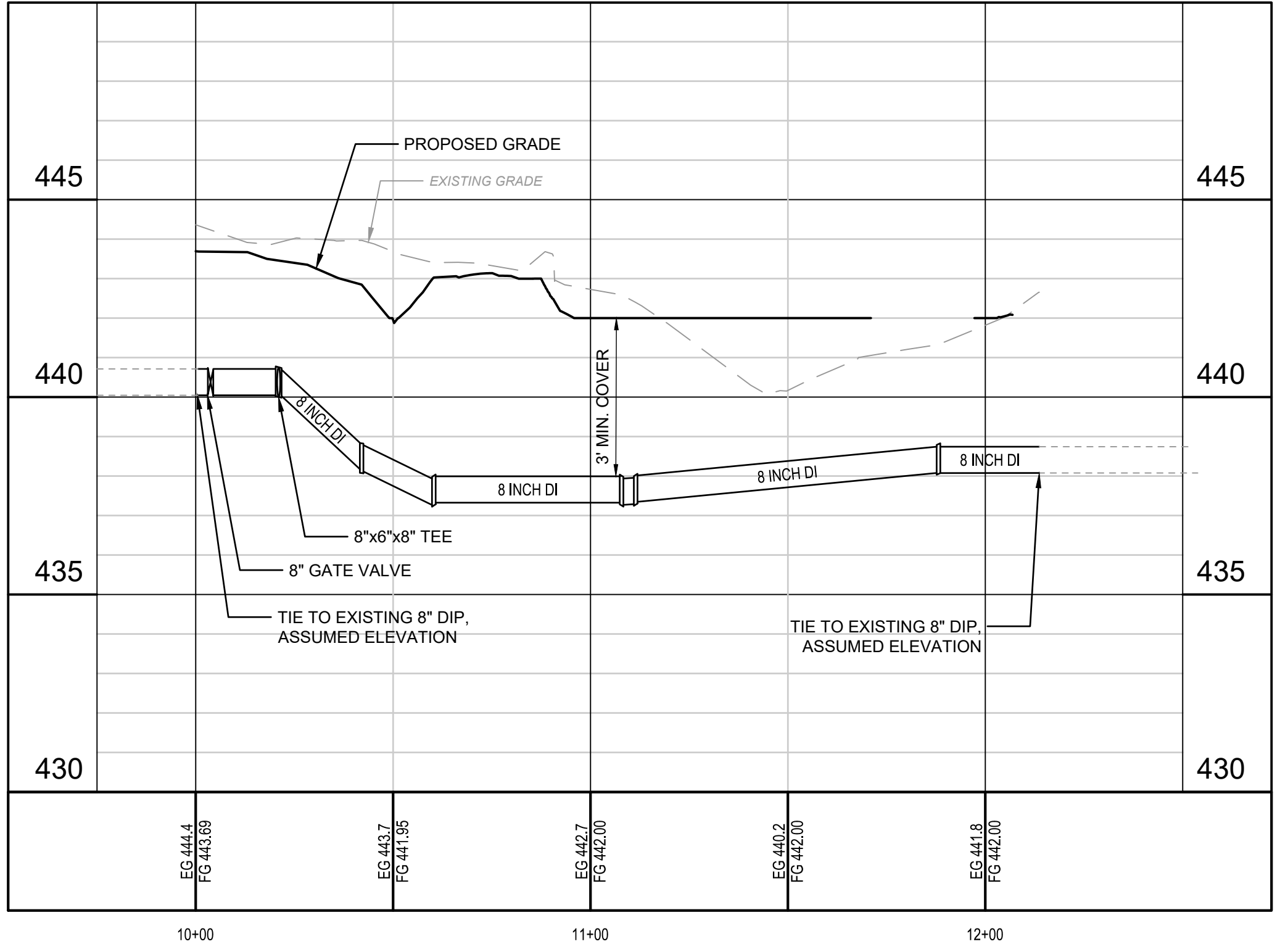
No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

UTILITY PLAN

DATE  
09/06/2024  
**C-200**



PLAN



PROFILE

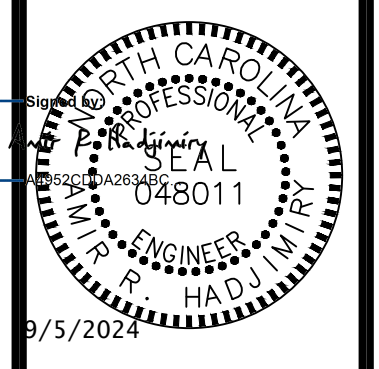
**FIRE PROTECTION PLAN & PROFILE 10+00 TO 12+14**

SCALE: H: 1"=30' V: 1"=3'

- GENERAL NOTES:**
1. ALL UNDERGROUND UTILITIES LOCATED AS APPROXIMATE. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION. ALL EXISTING UTILITIES TO BE LEFT UNDISTURBED SHALL BE PROTECTED AND REMAIN ACTIVE.
  2. ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS SHALL CONFORM TO THE PROJECT DRAWING AND SPECIFICATIONS.

**Dewberry**  
 Dewberry Engineers Inc.  
 100 CLIFF ROAD  
 SUITE 410  
 RALEIGH, NC 27603  
 PHONE: 919.883.9888  
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**HOBBS ARCHITECTS, PA**  
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 PO Box 1457  
 Pittsboro, North Carolina 27312  
 Voice: (919) 945-2004  
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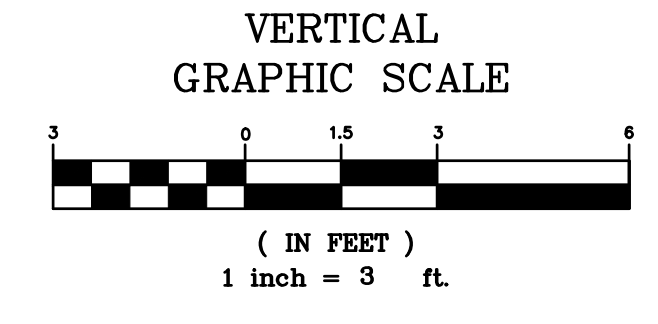
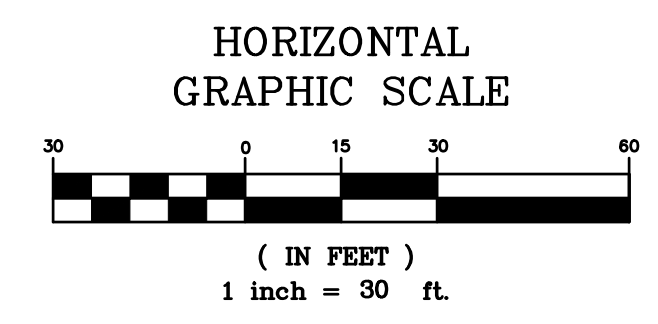
NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
 SCO ID# 22-24471-02A  
 EADDY BUILDING ADDITION  
 4302 REEDY CREEK RD., RALEIGH, NC 27607

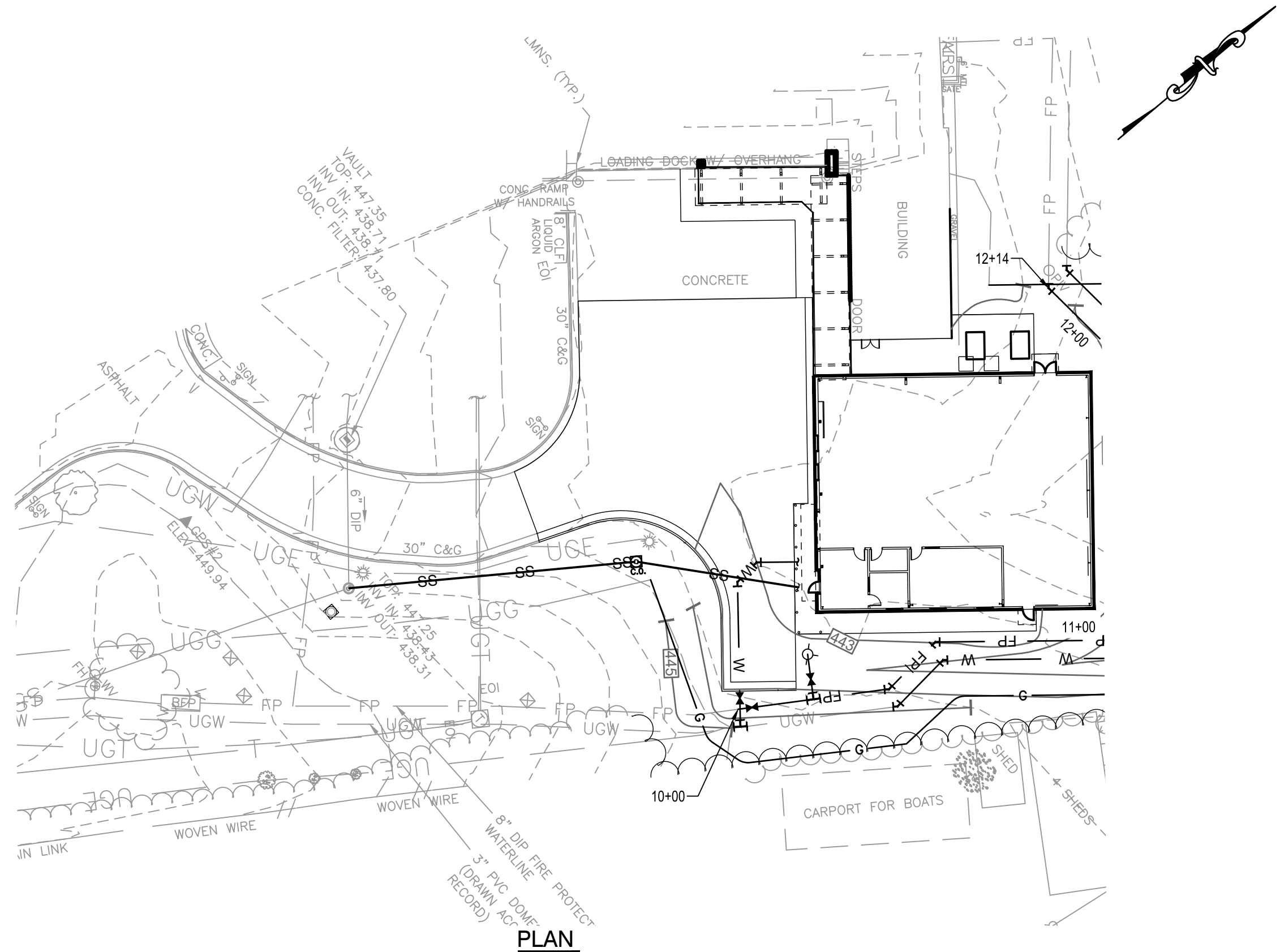
No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

FIRE LINE  
 PLAN & PROFILE

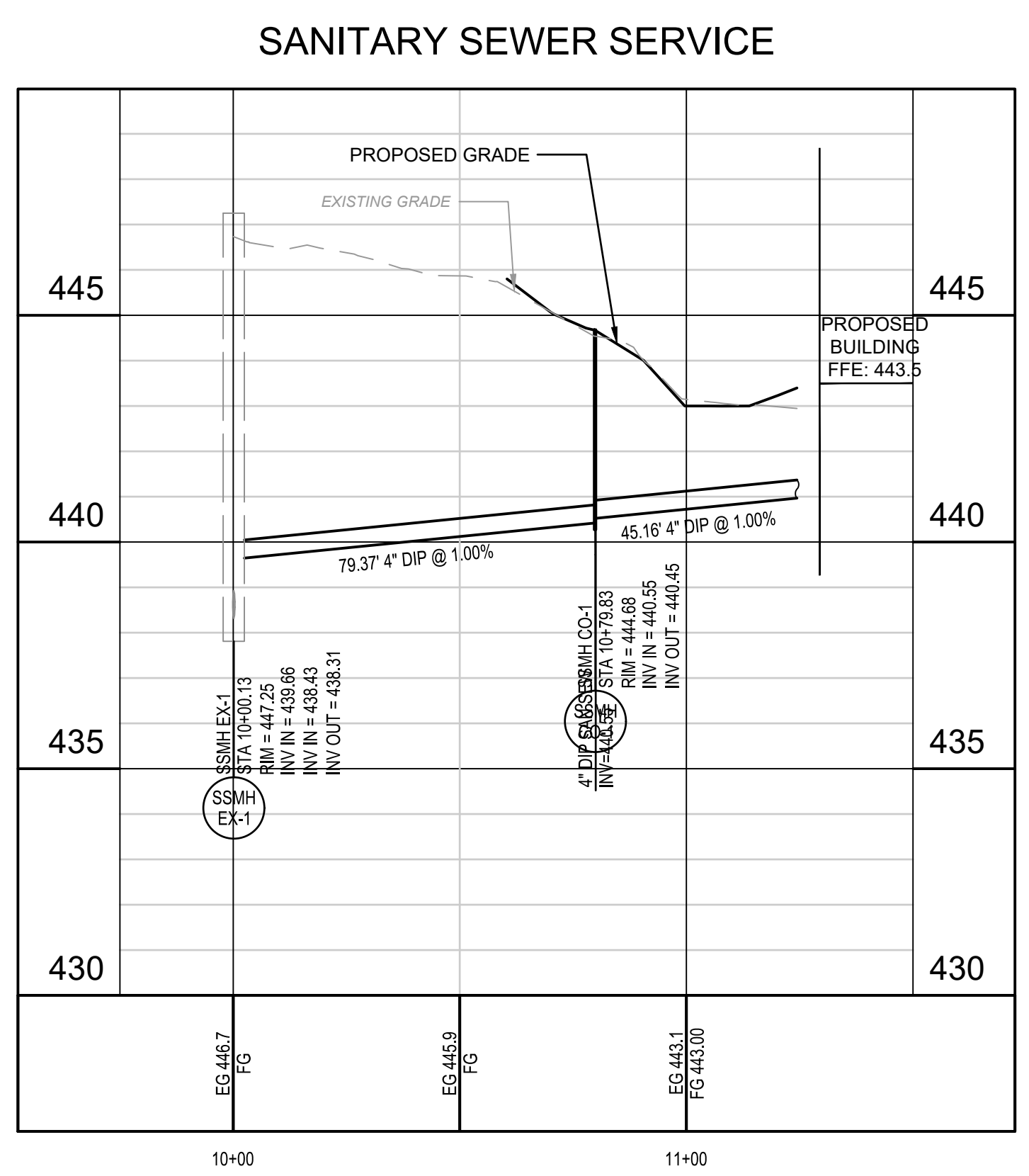
DATE  
 09/06/2024

C-300





**PLAN**



**PROFILE**

**SANITARY SEWER PLAN & PROFILE 10+00 TO 12+14**

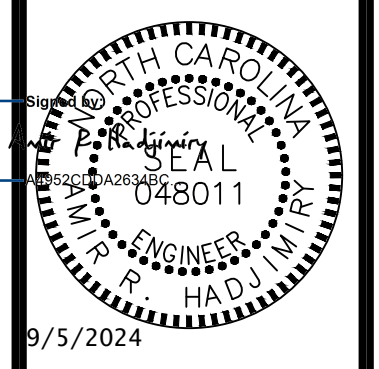
SCALE: H: 1"=30' V: 1"=3'

**GENERAL NOTES:**

1. ALL UNDERGROUND UTILITIES LOCATED AS APPROXIMATE. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION. ALL EXISTING UTILITIES TO BE LEFT UNDISTURBED SHALL BE PROTECTED AND REMAIN ACTIVE.
2. ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS SHALL CONFORM TO THE PROJECT DRAWING AND SPECIFICATIONS.

**Dewberry**  
 Dewberry Engineers Inc.  
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 FAX: 919.981.9883  
 NCBELS #F-0929  
 501725751

**HOBBS ARCHITECTS, PA**  
 Architects & Consultants  
 159 West Salisbury Street  
 PO Box 1457  
 Pittsboro, North Carolina 27312  
 Voice: (919) 945-2004  
 www.hobbsarchitects.com



NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
 SCO ID# 22-24471-02A  
 EDDY BUILDING ADDITION  
 4302 REEDY CREEK RD., RALEIGH, NC 27607

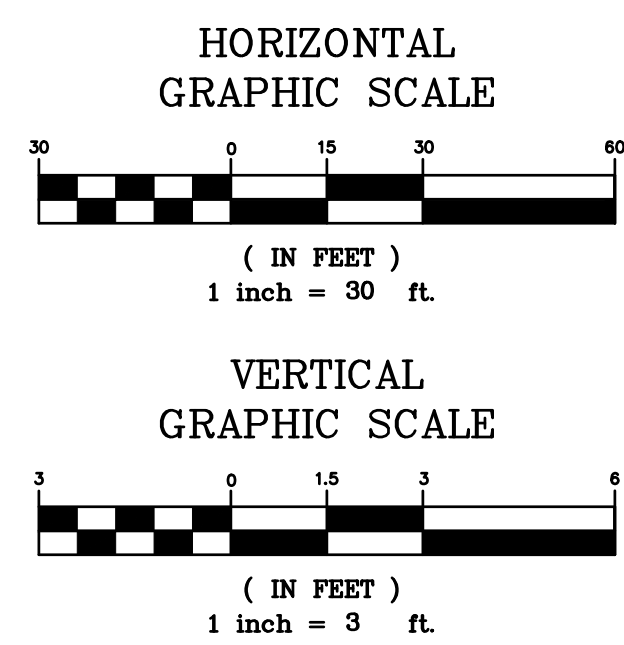
No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

SANITARY SEWER  
 PLAN & PROFILE

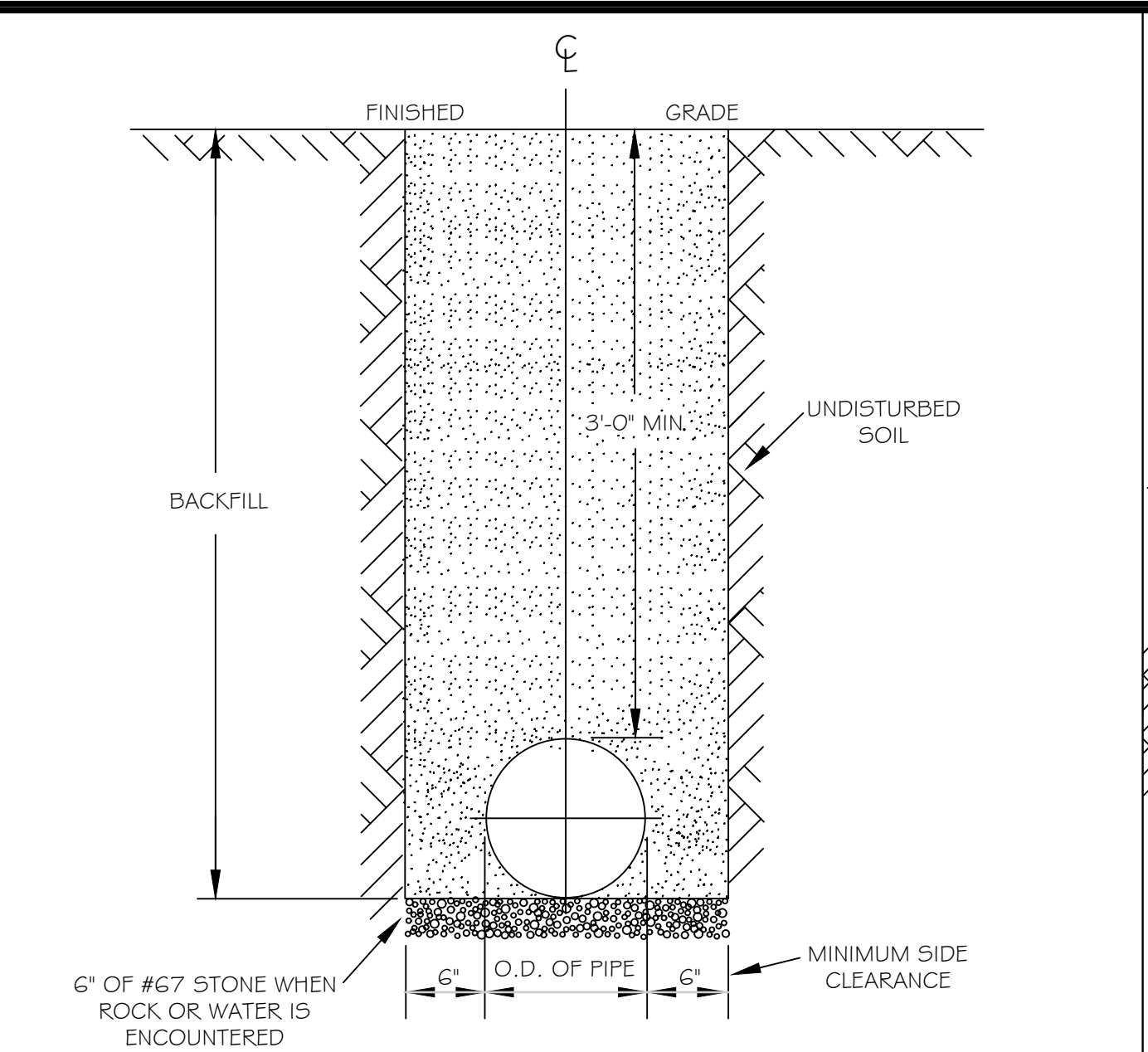
DATE  
 09/06/2024  
**C-400**

**ATTENTION CONTRACTORS**  
 The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.  
 Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require installation of any water or sewer facilities not inspected as a result of this notification failure.  
 Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

**Private Sewer Collection / Extension System**  
 The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
 City of Raleigh  
 Public Utilities Department Permit # S-5486 (P)  
 Authorization to Construct See digital signature

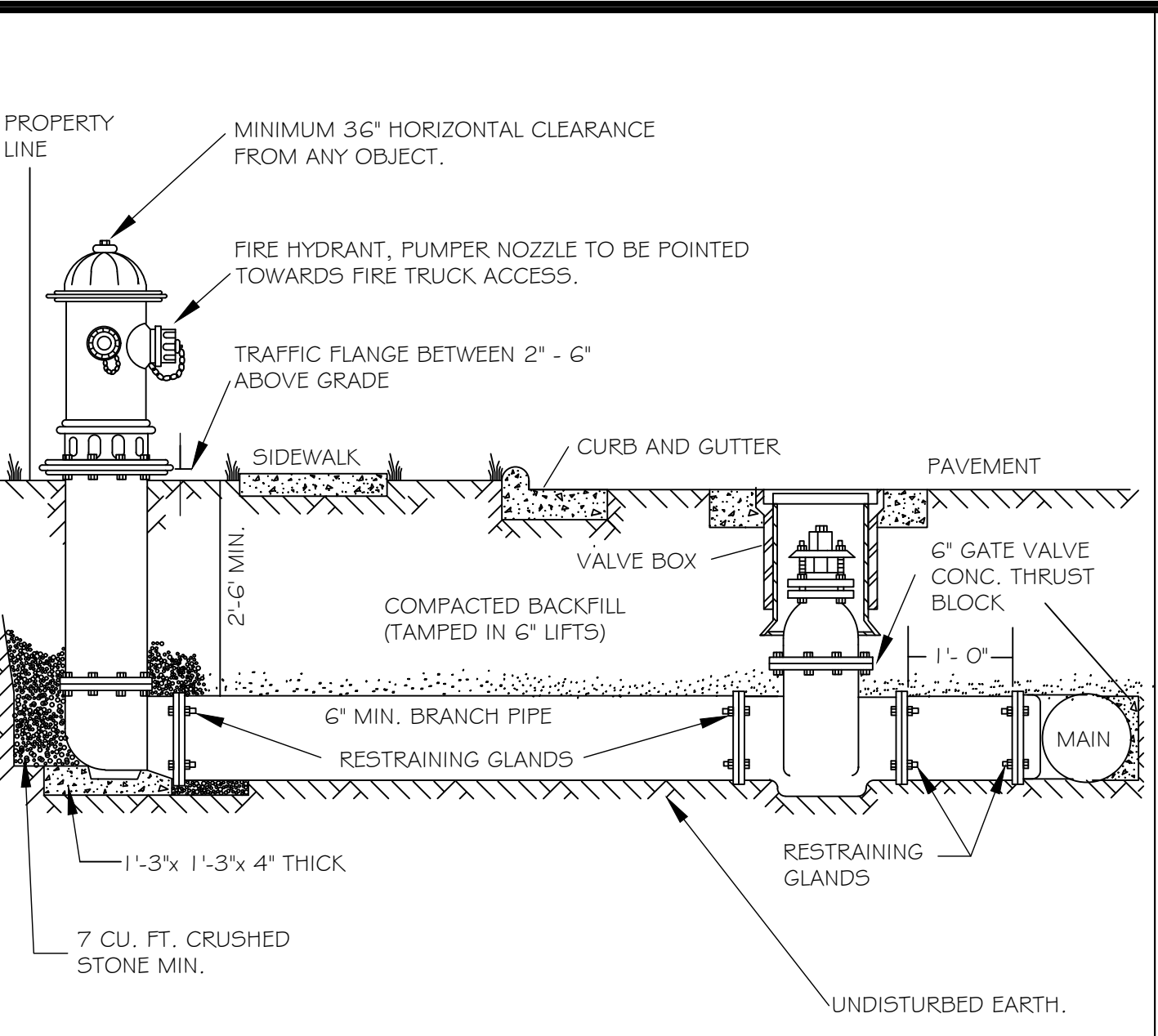


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- NOTES:
- TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  - NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN BACKFILL.
  - ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  - BACKFILL SHALL BE TAMPED IN 6" LIFTS.
  - ACHIEVE 95% COMPACTION IN BACKFILL.

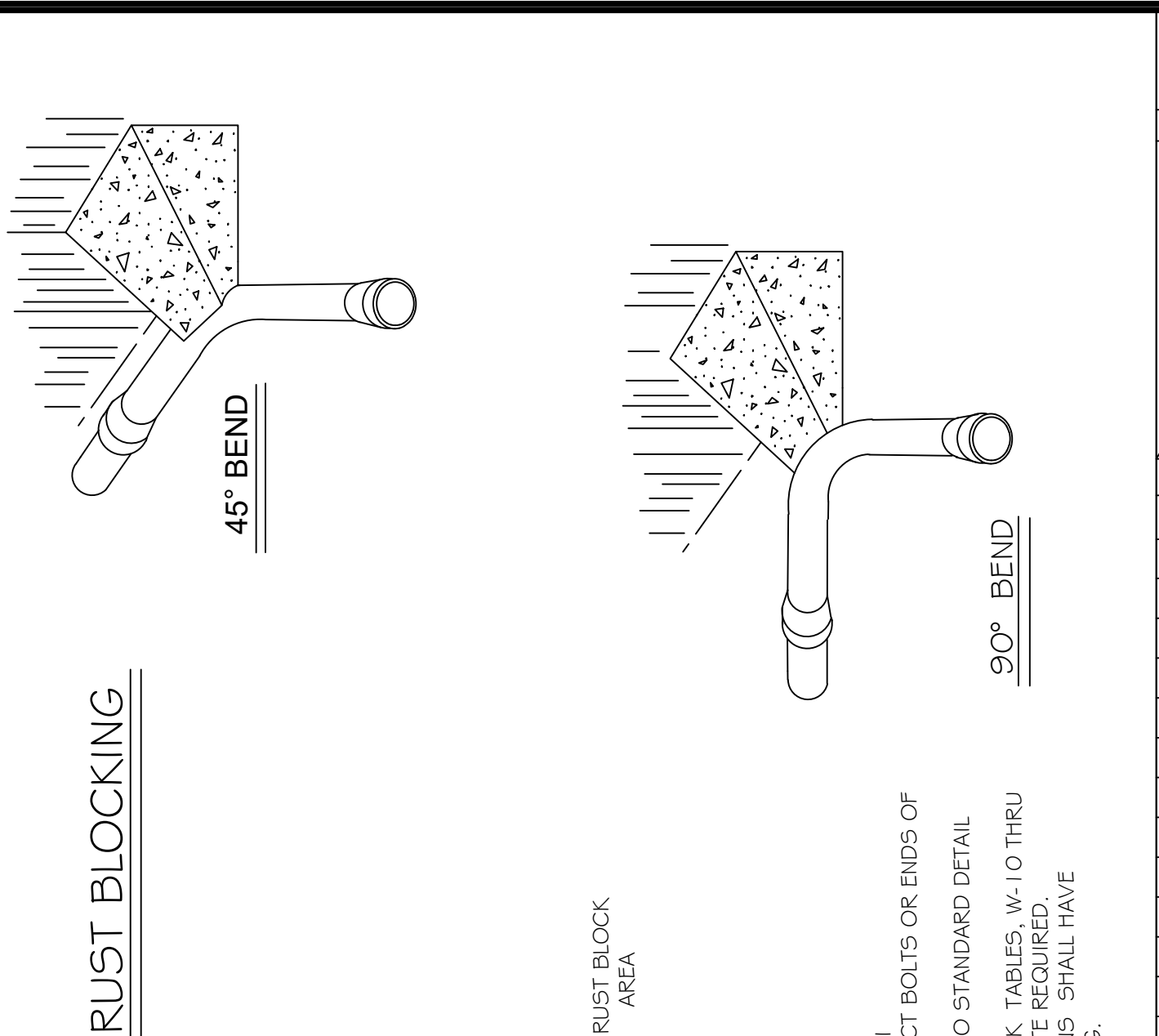
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-3	D.W.C.	9-3-99	ABB	2-15-05
	RRH	3-31-00	J.P.S.	10-29-10



- NOTES:
- FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, M4H, WATEROUS, CLOW, EAST JORDAN IRON WORKS, OR US PIPE.
  - BRANCH PIPE SHALL BE DUCTILE IRON AWWA C150-96
  - 6" GATE VALVE SHALL BE AWWA C500-85 OPEN LEFT
  - STEEL RODS AND BOLTS SHALL BE 3" HOT DIPPED GALVANIZED
  - FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION
- RODS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 20' THEN A MECHANICAL RESTRAINING GLAND WITH A REBAR CAGE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.
- FIRE HYDRANTS TO BE LOCATED IN ROW OR 2 FOOT EASEMENT ADJACENT TO ROW

ANYTIME SITE WORK, CONSTRUCTION, ROAD WORK, OR ANY OTHER WORK CHANGES THE GRADE OF THE FIRE HYDRANT, THE PERSON RESPONSIBLE FOR THE WORK IS RESPONSIBLE FOR ADJUSTING THE FIRE HYDRANT TO STAY WITHIN COMPLIANCE.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
STANDARD FIRE HYDRANT INSTALLATION DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	ABB	4-6-04	PAP	2/17/09
	DHL	2/14/08		



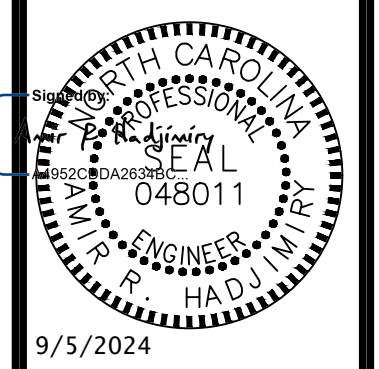
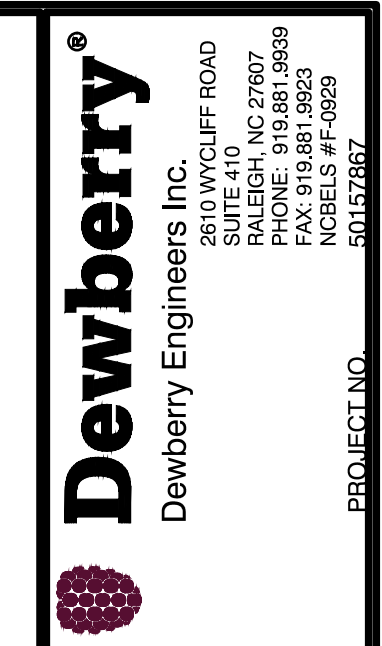
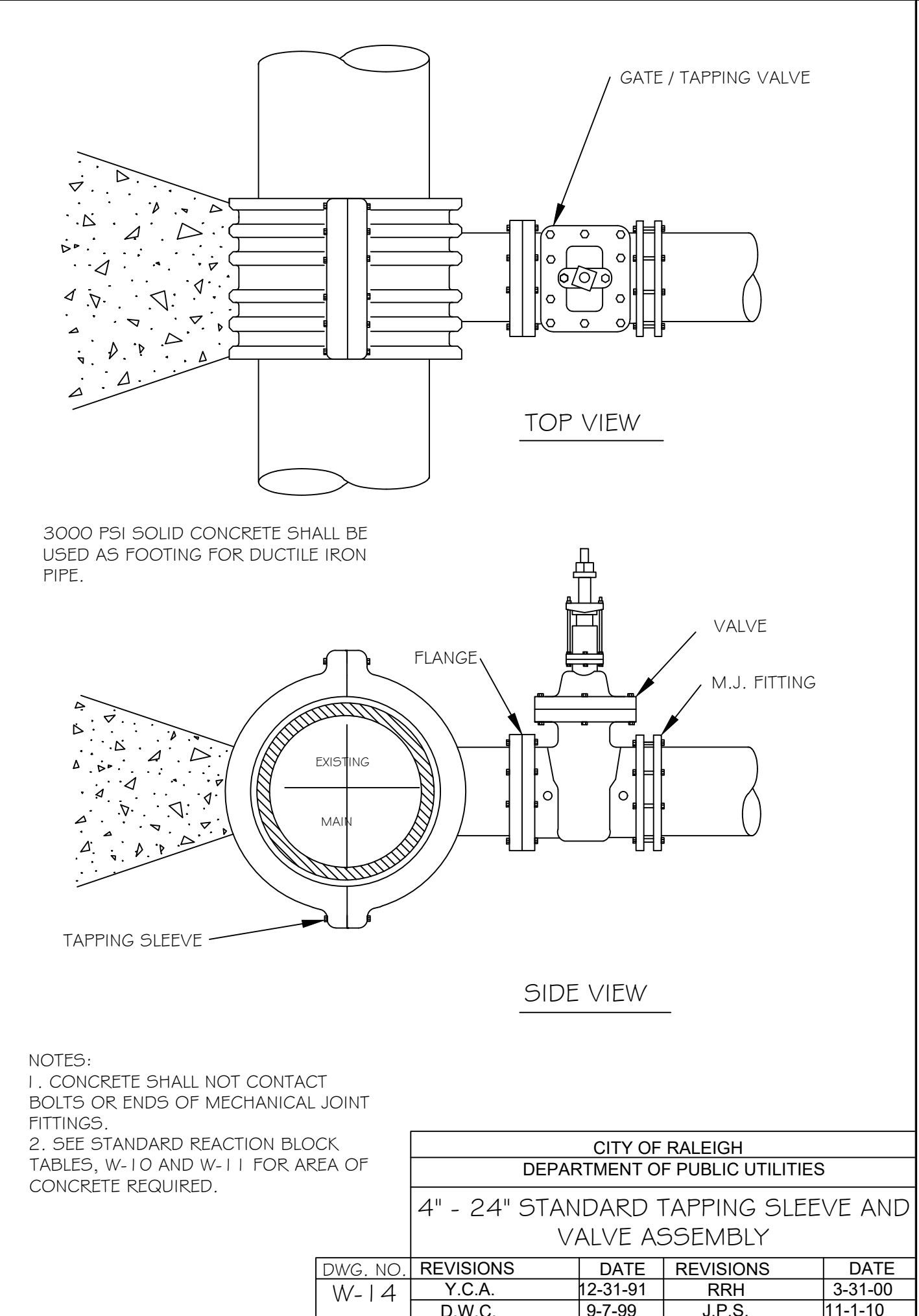
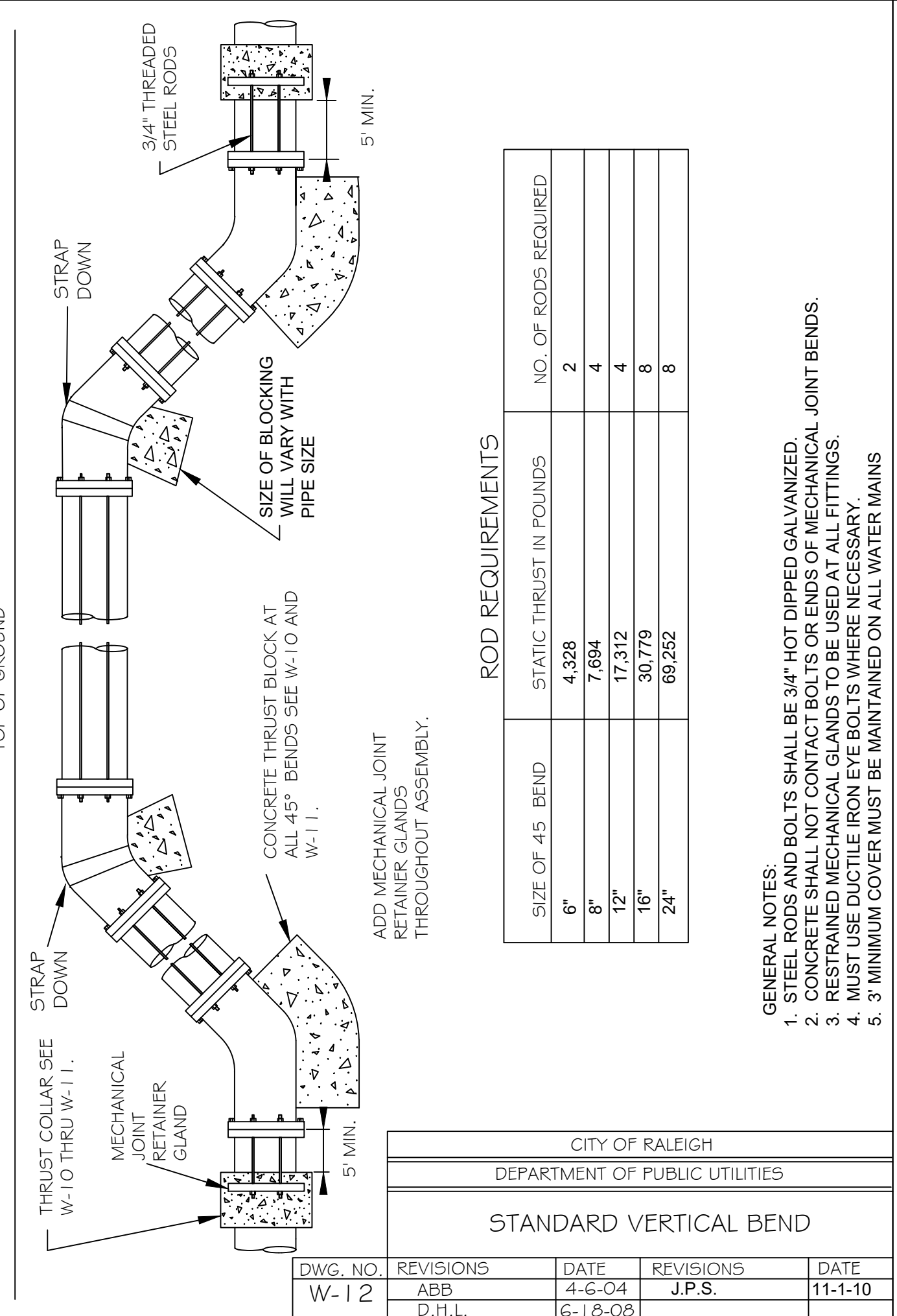
- NOTES:
- CONCRETE SHALL BE 3000 PSI
  - CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINTS
  - TRENCHES SHALL CONFORM TO STANDARD DETAIL W-3
  - SEE STANDARD THRUST BLOCK TABLES, W-10 THRU W-11, FOR AREA OF CONCRETE REQUIRED.
  - ALL BENDS AND INTERSECTIONS SHALL HAVE CONCRETE THRUST BLOCKING.
- | CITY OF RALEIGH<br>DEPARTMENT OF PUBLIC UTILITIES |           |        |           |         |
|---|-----------|--------|-----------|---------|
| STANDARD THRUST BLOCKING VIEWS                    |           |        |           |         |
| DWG. NO.  | REVISIONS | DATE   | REVISIONS | DATE    |
| W-9   | D.W.C.    | 3-1-87 | RRH       | 3-31-00 |
|   |           | 9-7-99 | D.H.L.    | 6-18-08 |

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS BASED ON TEST PRESSURE OF 200 P.S.I.									
ALL AREAS GIVEN IN SQUARE FEET.									
SIZE AND DEGREE OF BEND	STATIC THRUST IN POUNDS	MODERATELY DRY CLAY - 4000 LB/SQ FT	SOFT CLAY 2000 LB/SQ FT	1600 LB/SQ FT GRAVEL / COARSE SAND ALWAYS DRY	800 LB/SQ FT DRY CLAY - ALWAYS DRY	SAND - COMPACT FIRM 8000 LB/SQ FT	SAND - CLEAN DRY 4000 LB/SQ FT	SOIL 1000 LB/SQ FT QUICKSAND - VERY POOR	ROCK - POOR 10,000 LB/SQ FT
6"									
11 1/4"	1,108	1	1	1	1	1	2	1	
22 1/2"	2,207	1	2	2	1	1	3	1	
45°	4,328	2	3	3	1	1	2	5	1
90°	7,996	2	4	5	1	1	2	8	1
PLUG	5,655	2	3	4	1	1	2	6	1
8"									
11 1/4"	1,970	1	1	2	1	1	2	1	
22 1/2"	3,922	1	2	3	1	1	4	1	
45°	7,694	2	4	5	1	1	2	8	1
90°	14,215	4	8	9	2	2	4	15	2
PLUG	10,053	3	5	6	2	2	3	10	1
12"									
11 1/4"	4,433	2	3	3	1	1	2	5	1
22 1/2"	8,826	3	5	6	2	2	3	9	1
45°	17,312	5	9	11	3	3	5	18	2
90°	31,983	8	16	19	4	4	8	32	4
PLUG	22,619	6	12	14	3	3	6	23	3
11 1/4"	7,881	2	4	5	1	1	2	8	1
22 1/2"	15,691	4	8	10	2	2	4	16	2
45°	30,779	8	16	19	4	4	8	31	4
90°	56,861	15	29	35	8	8	15	57	6
PLUG	40,213	10	21	25	5	5	10	41	5

REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THRUST VECTOR.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
THRUST BLOCKING DESIGN QUANTITY TABLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-10	D.W.C.	6-23-99		

USE 6" - 90° BEND VALUE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.



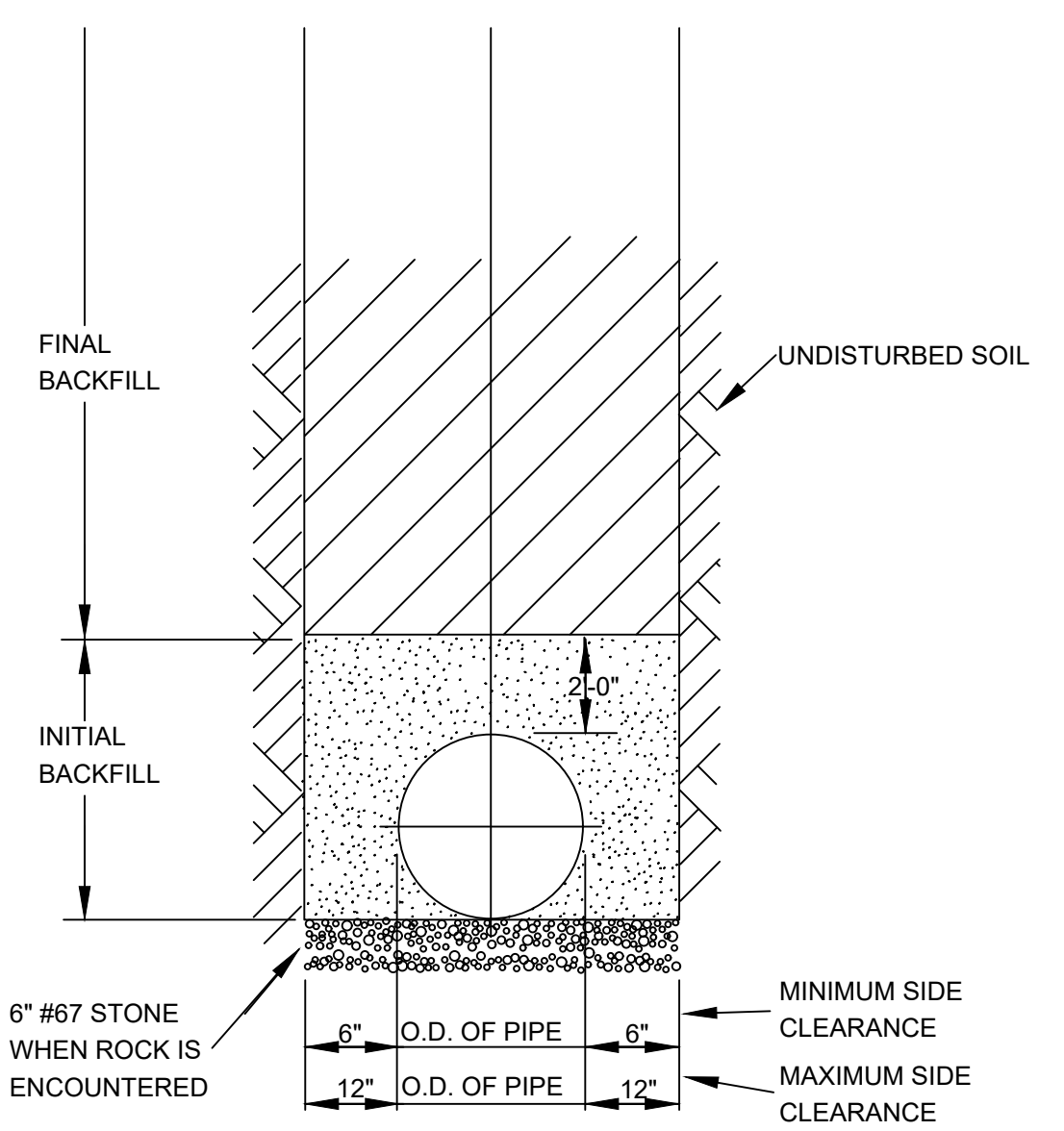
9/5/2024

NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
SCO ID# 22-24471-02A  
EADDY BUILDING ADDITION  
4302 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

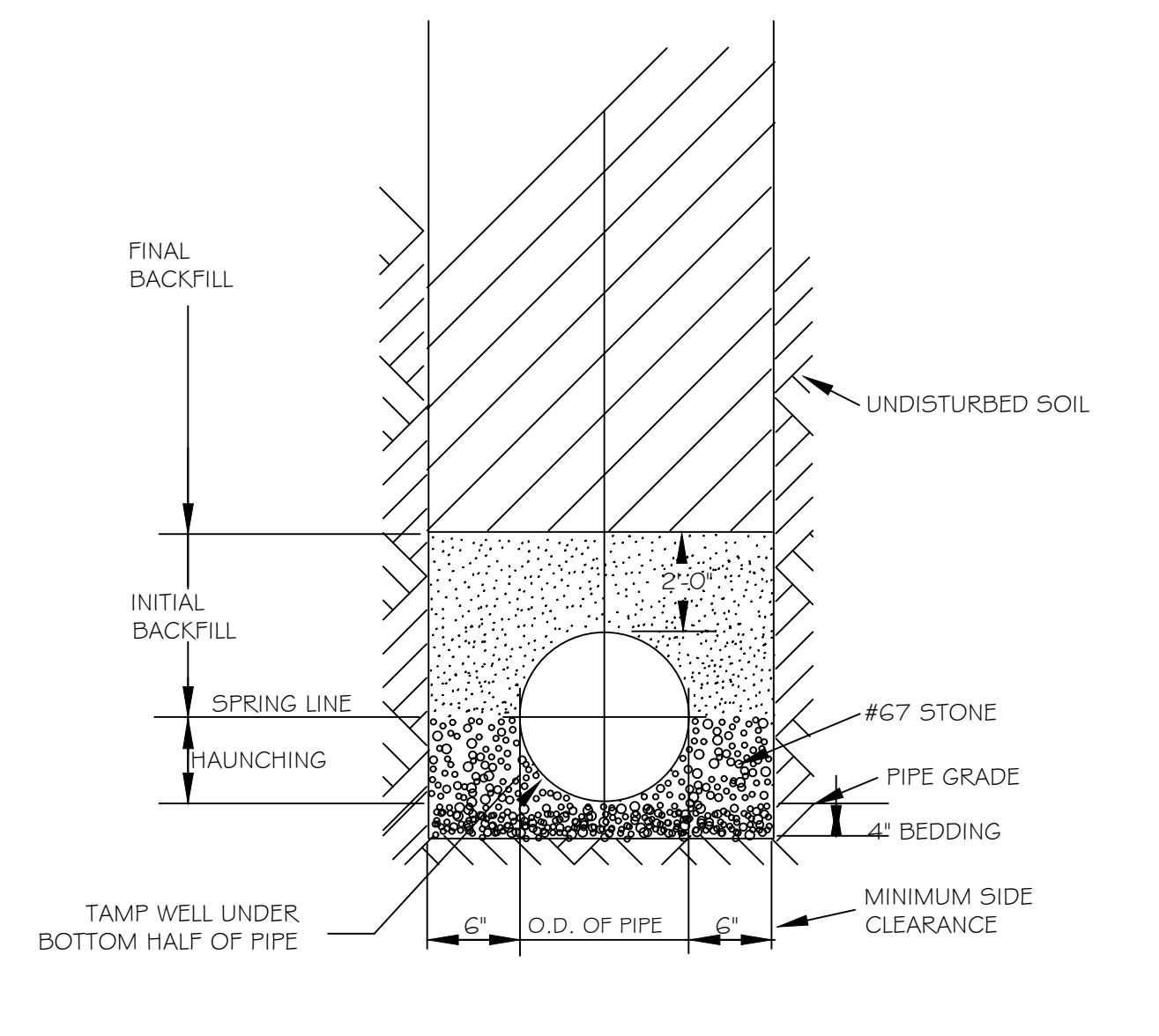
WATER DETAILS

DATE  
09/06/2024  
**C-500**



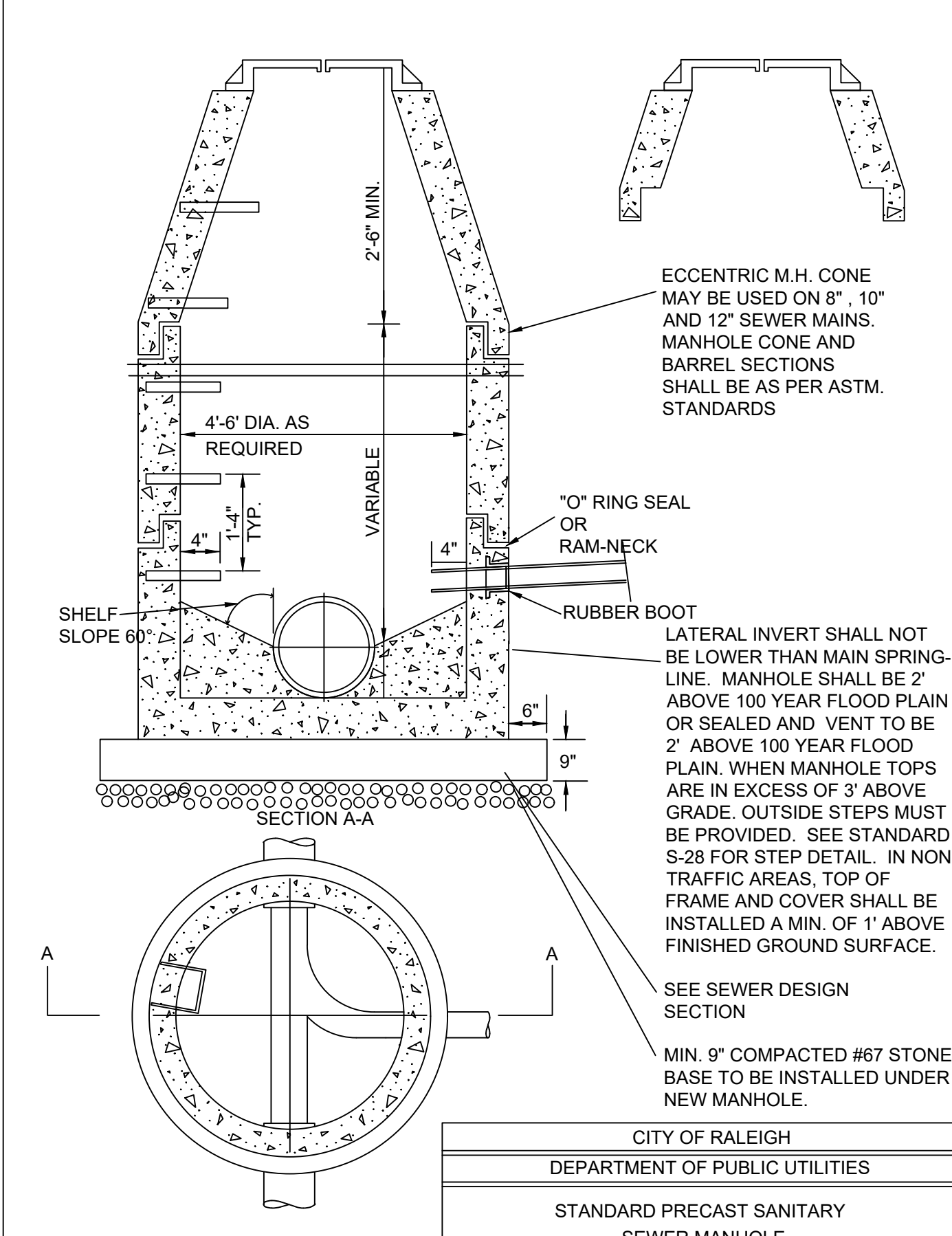
- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
  3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.
  5. ACHIEVE 80% COMPACTION IN NON-TRAFFIC AREAS, AND 95% COMPACTION IN TRAFFIC AREAS.
  6. IF IN EASEMENT 4" TOPSOIL, AND 12" CLEAN SELECT FILL MAY BE REQUIRED.
  7. NO BOULDERS 8" IN DIAMETER OR GREATER ALLOWED IN FINAL BACKFILL.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-4	D.W.C.	9-3-99		
	RRH	3-30-00		

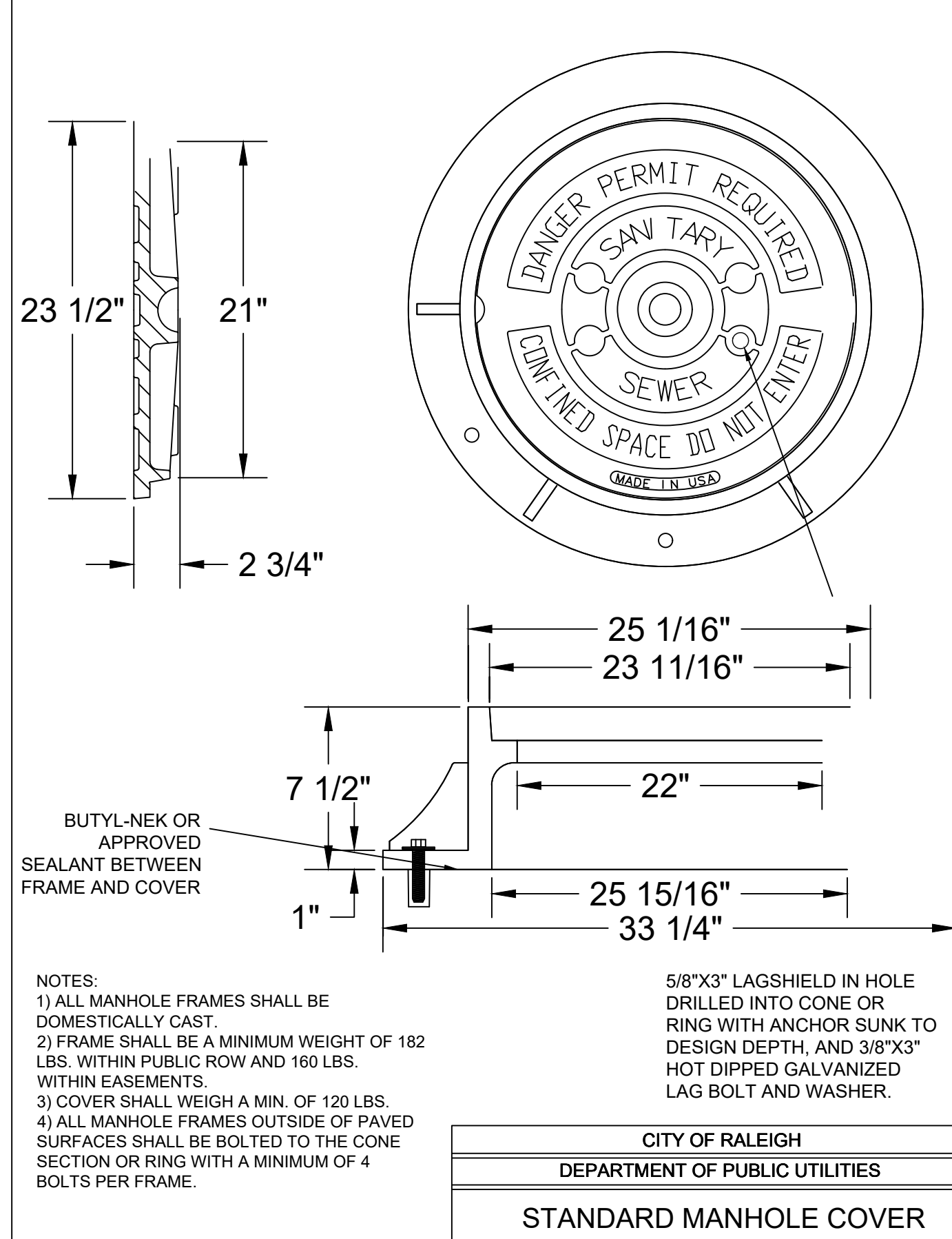


- NOTES:
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
  3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5	TO NOTES	3-1-87	D.W.C.	9-3-99
		7-2-82	RRH	3-30-00



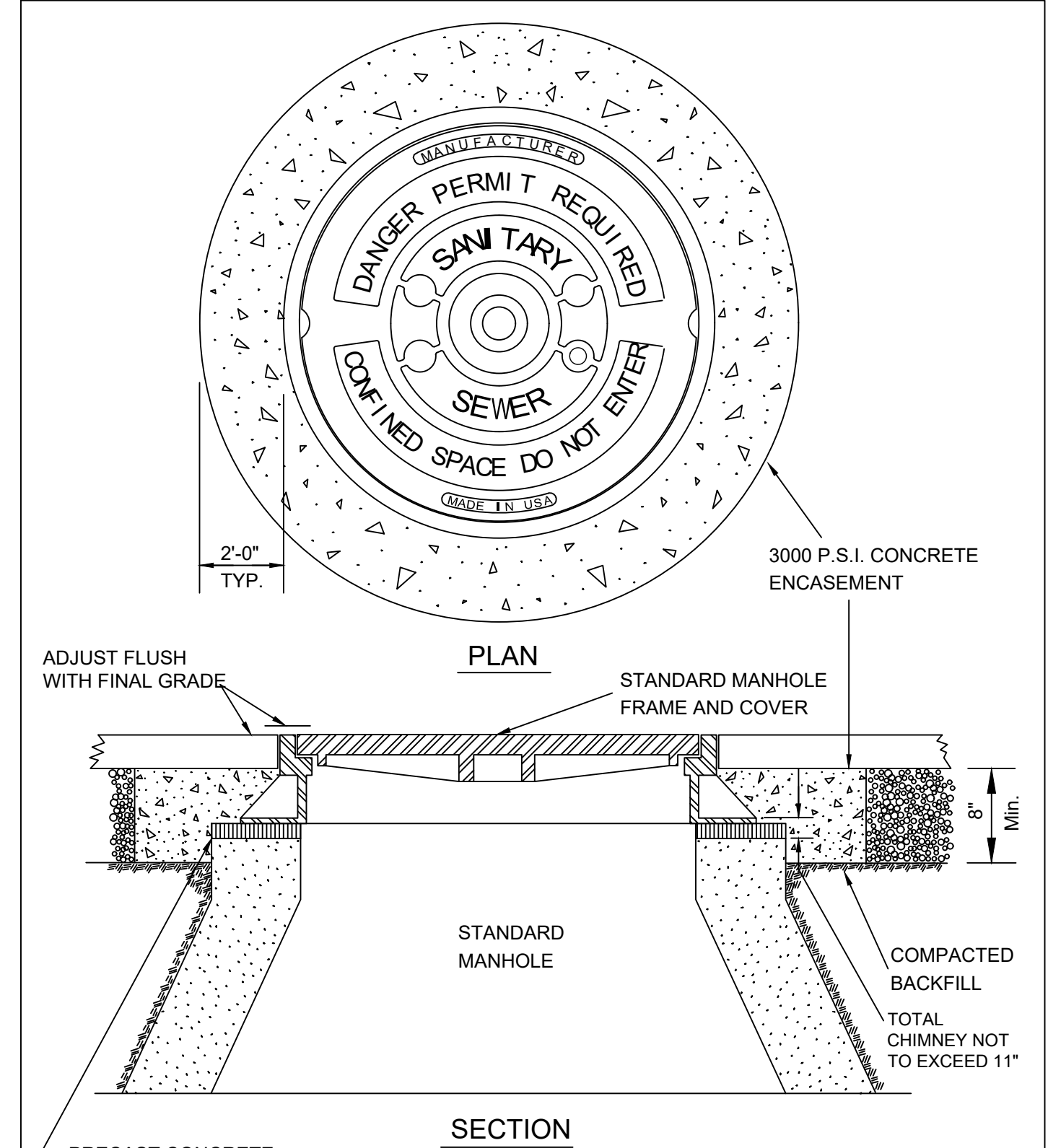
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD PRECAST SANITARY SEWER MANHOLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20	Y.C.A.	12-31-82	ABB	2-21-05
	RRH	3-30-00	D.H.L.	6-16-08



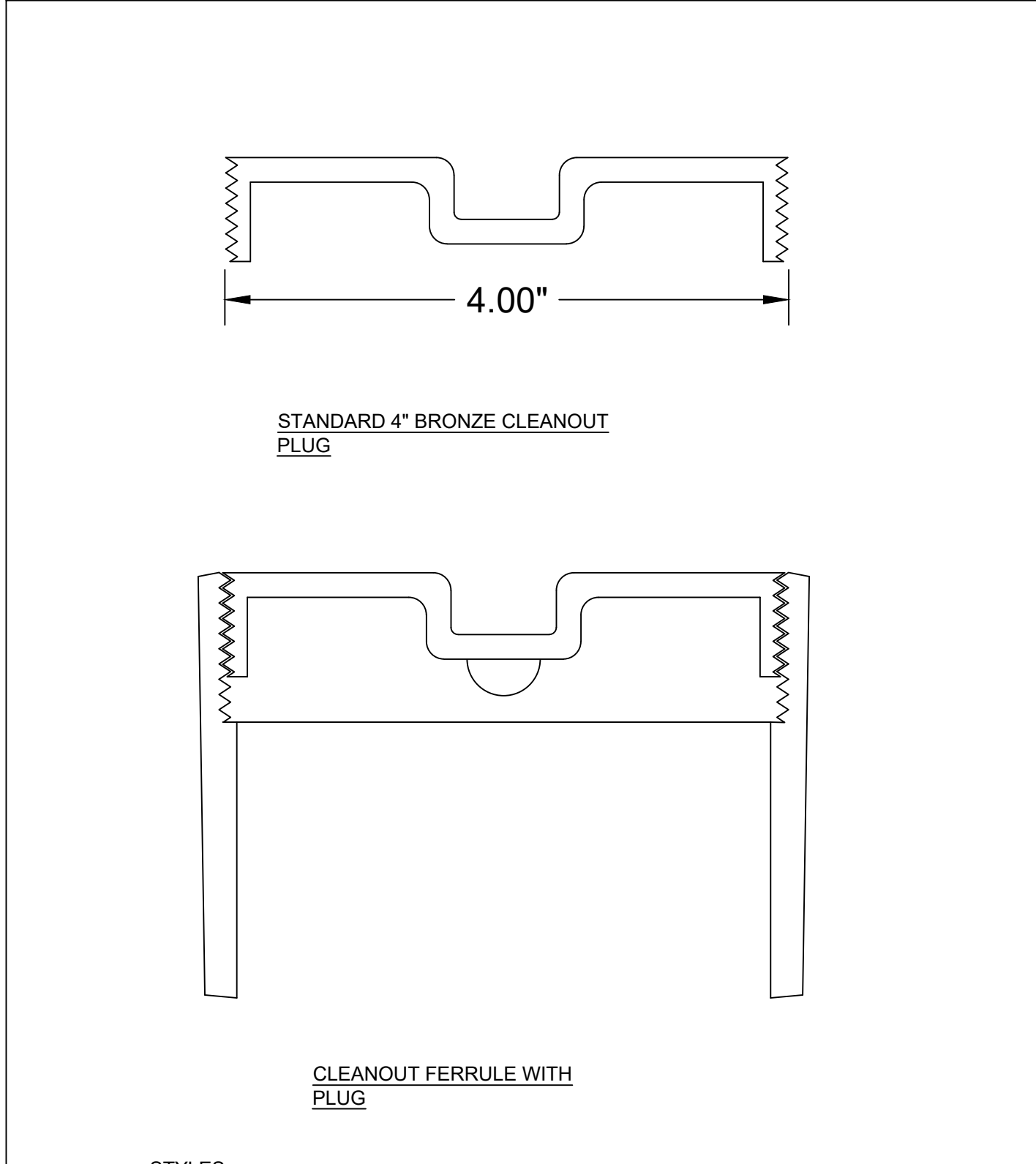
NOTES:

- 1) ALL MANHOLE FRAMES SHALL BE DOMESTICALLY CAST.
- 2) FRAME SHALL BE A MINIMUM WEIGHT OF 182 LBS. WITHIN PUBLIC ROW AND 160 LBS. WITHIN EASEMENTS.
- 3) COVER SHALL WEIGH A MIN. OF 120 LBS.
- 4) ALL MANHOLE FRAMES OUTSIDE OF PAVED SURFACES SHALL BE BOLTED TO THE CONE SECTION OR RING WITH A MINIMUM OF 4 BOLTS PER FRAME.

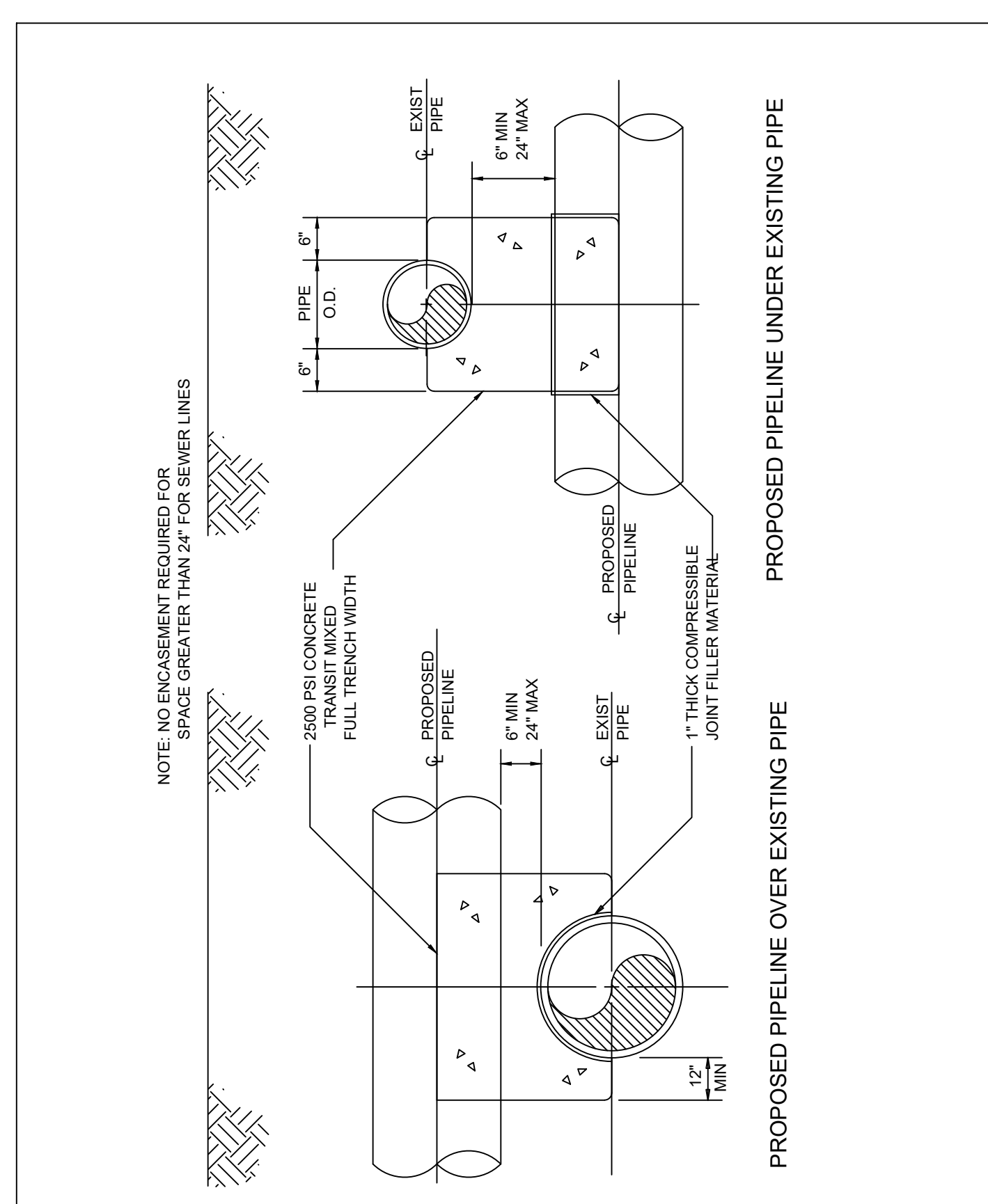
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD MANHOLE COVER			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-25	3-1-87	3-1-87	A.B.B.
	RRH	3-30-00	D.H.L.



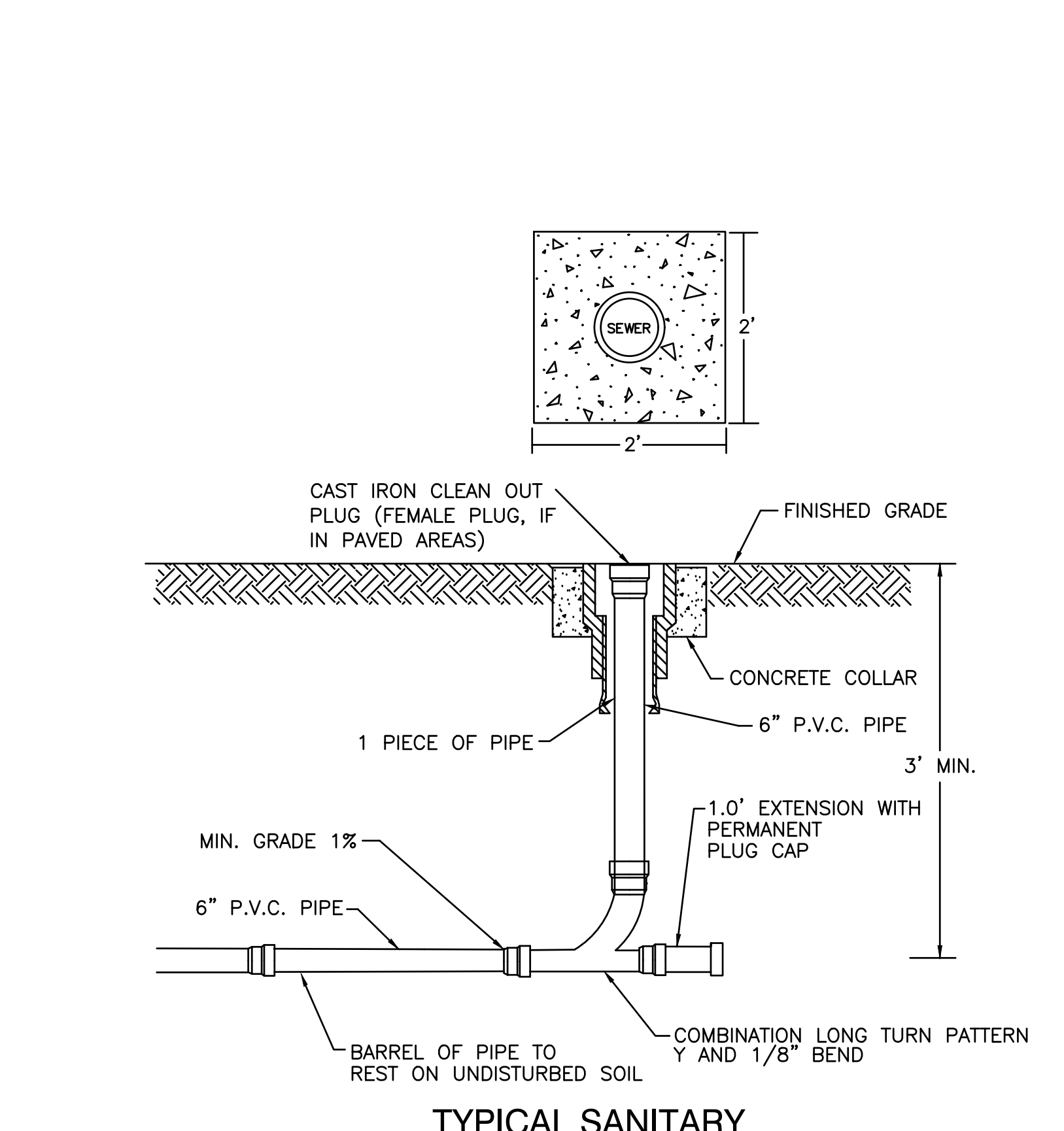
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE FRAME AND COVER DETAIL WITHIN PAVED SURFACES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-29	Y.C.A.	12-31-91	ABB	9-20-04
	RRH	3-30-00	DHL	11-29-07



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4" CLEANOUT PLUG				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-1-87	RRH	3-30-00
		3-27-98		



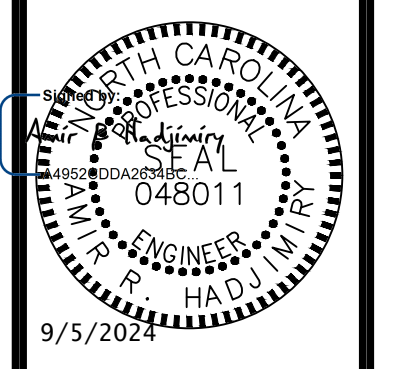
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
CONCRETE CRADLE PROTECTION FOR SEWER LINE CROSSINGS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-49	DHL	2-20-08		



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
SANITARY SEWER DETAILS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-49	DHL	2-20-08		

**Dewberry**  
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1100 LIFT ROAD  
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PHONE: (919) 988-8888  
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NCBELTS #F-0929  
PROJECT NO. 05157557

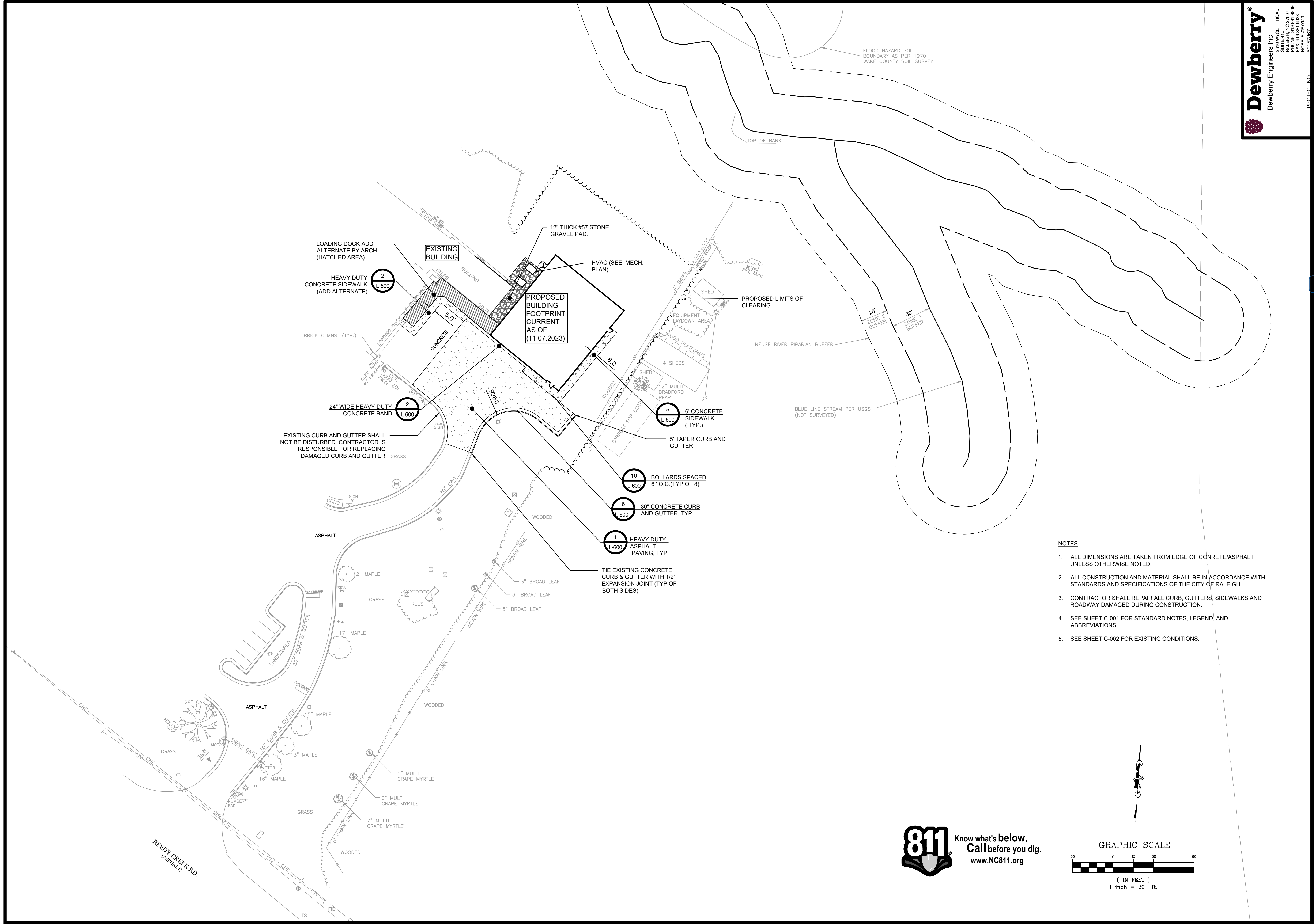
**HOBBS ARCHITECTS, PA**  
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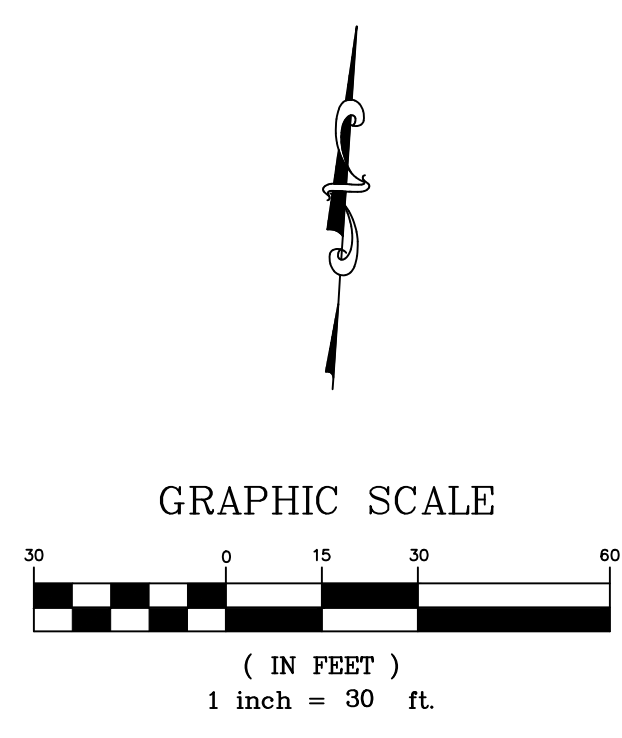
NEW PROJECT FOR  
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SCO ID# 22-24471-02A  
EADY BUILDING ADDITION  
4302 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

DATE  
09/06/2024



- NOTES:**
1. ALL DIMENSIONS ARE TAKEN FROM EDGE OF CONCRETE/ASPHALT UNLESS OTHERWISE NOTED.
  2. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
  3. CONTRACTOR SHALL REPAIR ALL CURB, GUTTERS, SIDEWALKS AND ROADWAY DAMAGED DURING CONSTRUCTION.
  4. SEE SHEET C-001 FOR STANDARD NOTES, LEGEND, AND ABBREVIATIONS.
  5. SEE SHEET C-002 FOR EXISTING CONDITIONS.



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**Dewberry**  
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1101 LUFF ROAD  
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PHONE: (919) 983-9899  
FAX: (919) 983-9823  
NCBELS #F-0929  
SINCE 1978

**HOBBS ARCHITECTS, PA**  
Architects & Consultants  
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PO Box 1457  
Pittsboro, North Carolina 27312  
Voice: (919) 945-2004  
[www.hobbsarchitects.com](http://www.hobbsarchitects.com)

Professional Engineer Seal for **James Bentley**, License No. 2042, dated 9/5/2024.

Professional Engineer Seal for **Dewberry Engineers Inc.**, License No. C-47B, dated 8/20/2024.

NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
SCO ID# 22-24471-02A  
**EADY BUILDING ADDITION**  
4302 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date
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	08/06

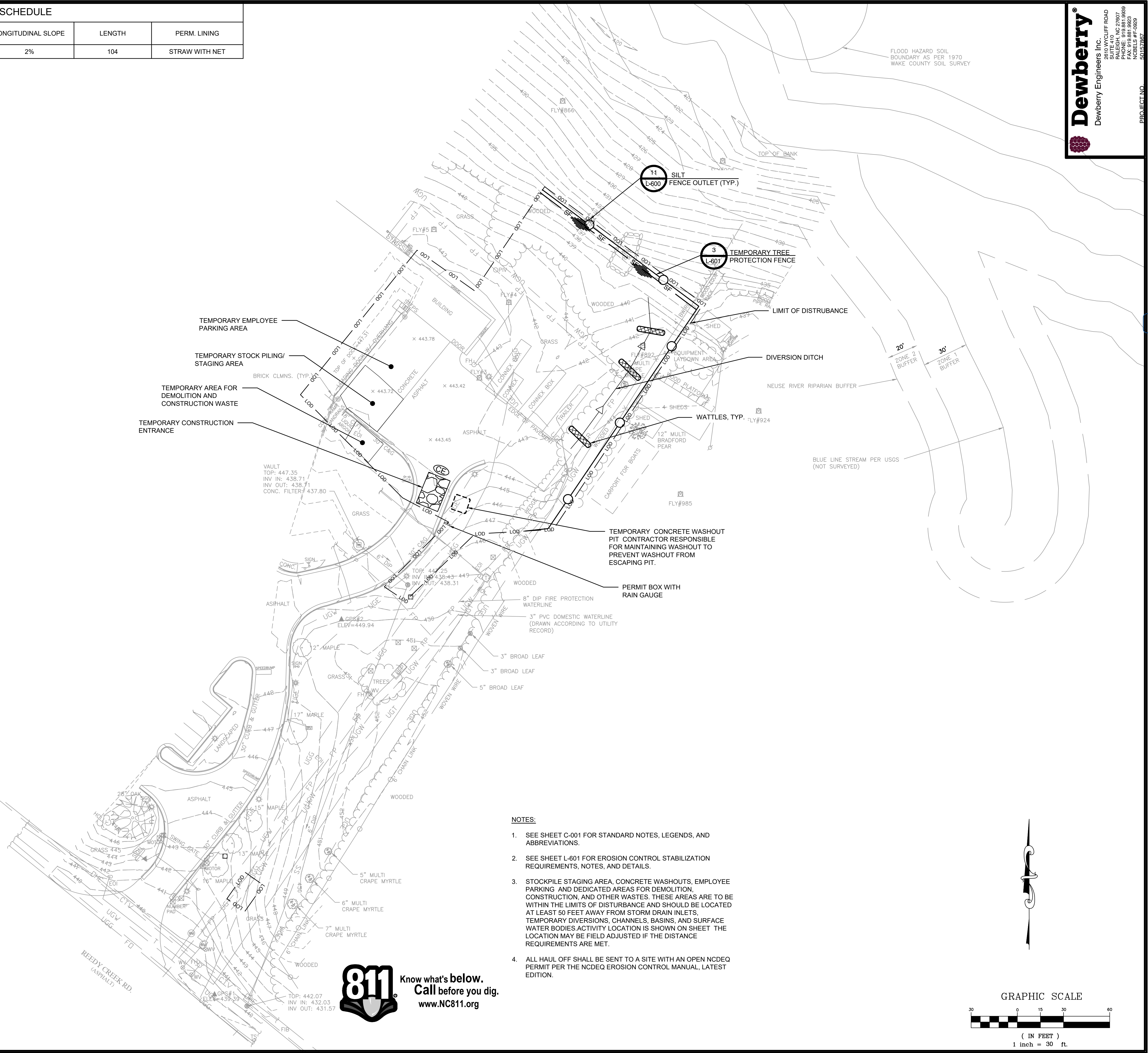
SITE PLAN

DATE  
09/06/2024

**L-200**

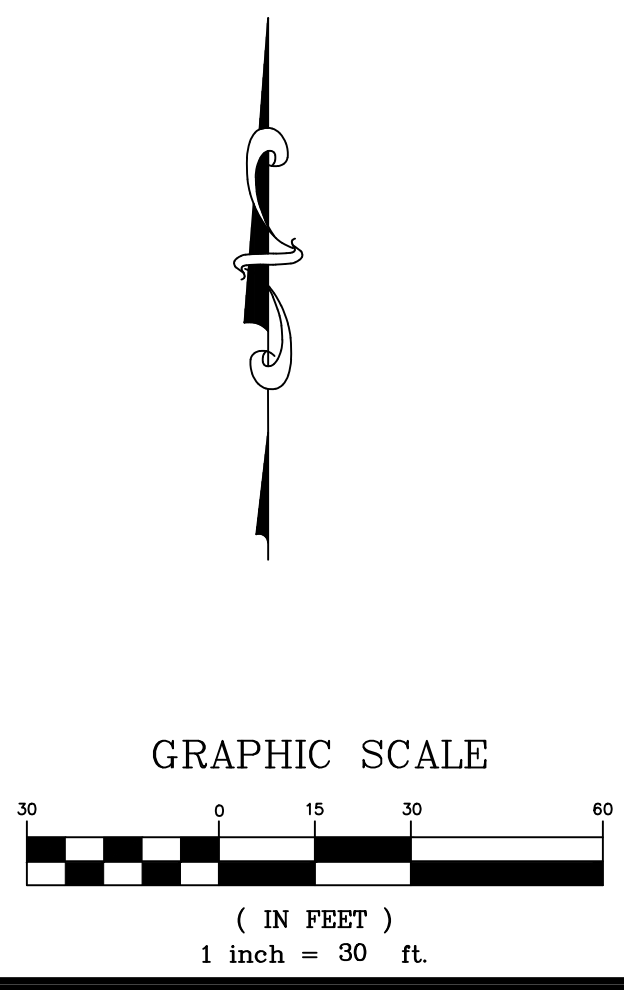
TEMPORARY DIVERSION DITCH SCHEDULE

DITCH NO.	MIN. DEPTH (FT)	SIDE SLOPE (X:1)	BOTTOM WIDTH (FT)	LONGITUDINAL SLOPE	LENGTH	PERM. LINING
#1	1	3	0	2%	104	STRAW WITH NET



- TEMPORARY EMPLOYEE PARKING AREA
- TEMPORARY STOCK PILING/ STAGING AREA
- TEMPORARY AREA FOR DEMOLITION AND CONSTRUCTION WASTE
- TEMPORARY CONSTRUCTION ENTRANCE

- NOTES:**
- SEE SHEET C-001 FOR STANDARD NOTES, LEGENDS, AND ABBREVIATIONS.
  - SEE SHEET L-601 FOR EROSION CONTROL STABILIZATION REQUIREMENTS, NOTES, AND DETAILS.
  - STOCKPILE STAGING AREA, CONCRETE WASHOUTS, EMPLOYEE PARKING, AND DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION, AND OTHER WASTES. THESE AREAS ARE TO BE WITHIN THE LIMITS OF DISTURBANCE AND SHOULD BE LOCATED AT LEAST 50 FEET AWAY FROM STORM DRAIN INLETS, TEMPORARY DIVERSIONS, CHANNELS, BASINS, AND SURFACE WATER BODIES. ACTIVITY LOCATION IS SHOWN ON SHEET THE LOCATION MAY BE FIELD ADJUSTED IF THE DISTANCE REQUIREMENTS ARE MET.
  - ALL HAUL OFF SHALL BE SENT TO A SITE WITH AN OPEN NCDEQ PERMIT PER THE NCDEQ EROSION CONTROL MANUAL, LATEST EDITION.



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Professional Engineer Seal for **James Bentley**, License No. 2042, State of North Carolina, expires 9/5/2024.

Professional Engineer Seal for **Dewberry Engineers Inc.**, License No. C-47B, State of North Carolina, expires 8/31/2024.

NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
 SCO ID# 22-24471-02A  
 EDDY BUILDING ADDITION  
 4302 REEDY CREEK RD., RALEIGH, NC 27607

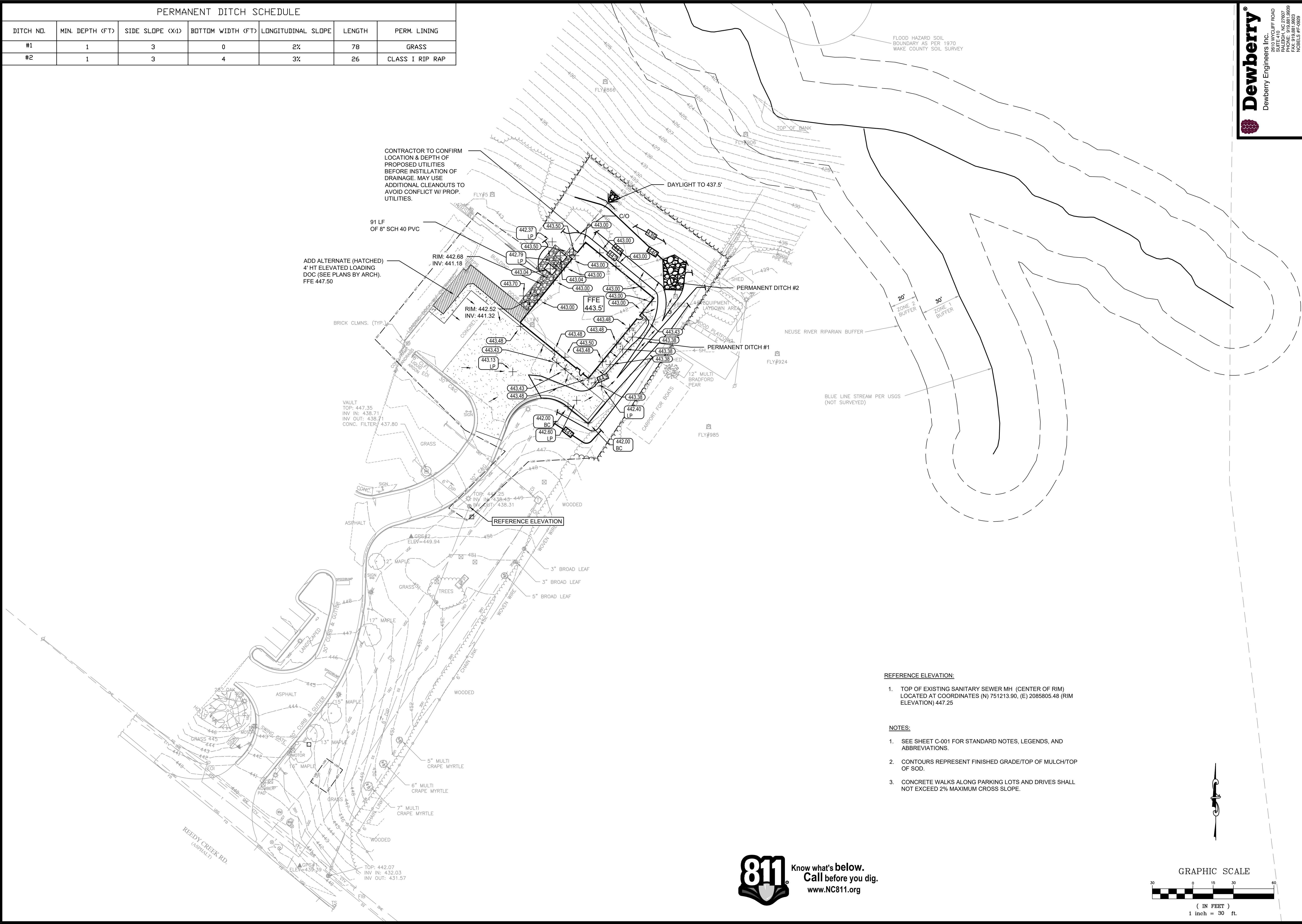
No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

EROSION CONTROL PLAN

DATE  
 09/06/2024  
**L-300**

PERMANENT DITCH SCHEDULE

DITCH NO.	MIN. DEPTH (FT)	SIDE SLOPE (X:1)	BOTTOM WIDTH (FT)	LONGITUDINAL SLOPE	LENGTH	PERM. LINING
#1	1	3	0	2%	78	GRASS
#2	1	3	4	3%	26	CLASS I RIP RAP



CONTRACTOR TO CONFIRM LOCATION & DEPTH OF PROPOSED UTILITIES BEFORE INSTALLATION OF DRAINAGE. MAY USE ADDITIONAL CLEANOUTS TO AVOID CONFLICT W/ PROP. UTILITIES.

ADD ALTERNATE (HATCHED) 4" HT ELEVATED LOADING DOC (SEE PLANS BY ARCH). FFE 447.50

VAULT  
TOP: 447.35  
INV IN: 438.71  
INV OUT: 438.71  
CONC. FILTER: 437.80

REFERENCE ELEVATION

REFERENCE ELEVATION:

- TOP OF EXISTING SANITARY SEWER MH (CENTER OF RIM) LOCATED AT COORDINATES (N) 751213.90, (E) 2085805.48 (RIM ELEVATION) 447.25

NOTES:

- SEE SHEET C-001 FOR STANDARD NOTES, LEGENDS, AND ABBREVIATIONS.
- CONTOURS REPRESENT FINISHED GRADE/TOP OF MULCH/TOP OF SOD.
- CONCRETE WALKS ALONG PARKING LOTS AND DRIVES SHALL NOT EXCEED 2% MAXIMUM CROSS SLOPE.

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Professional Engineer Seal  
North Carolina  
Professional Engineer  
C-478  
Dewberry Engineers Inc.  
9/5/2024

NEW PROJECT FOR  
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No.	Date
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	05/07
	06/12
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	08/06

GRADING AND DRAINAGE PLAN

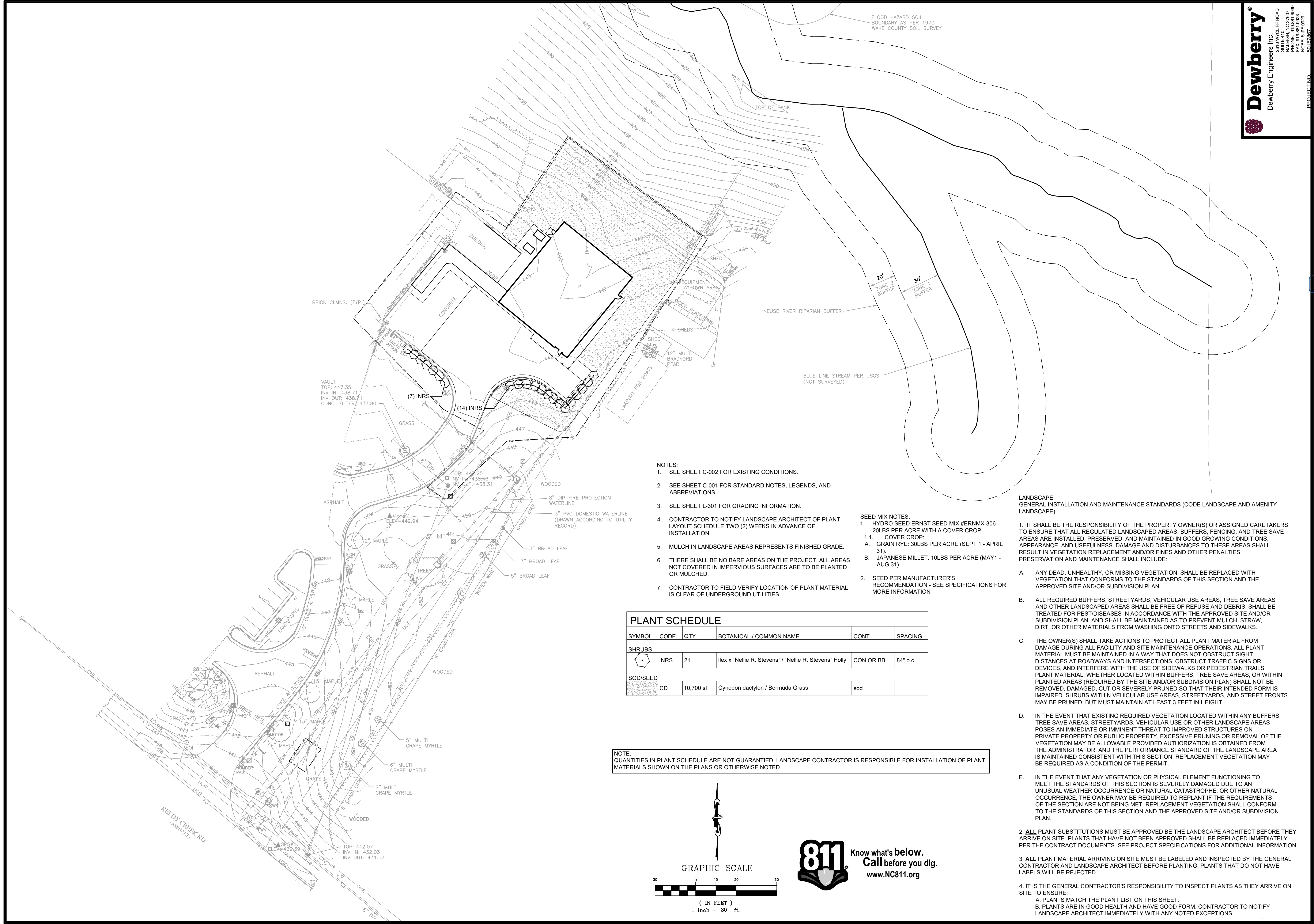
DATE  
09/06/2024

**L-301**

**811** Know what's below.  
Call before you dig.  
www.NC811.org

GRAPHIC SCALE  
0 15 30 60  
( IN FEET )  
1 inch = 30 ft.





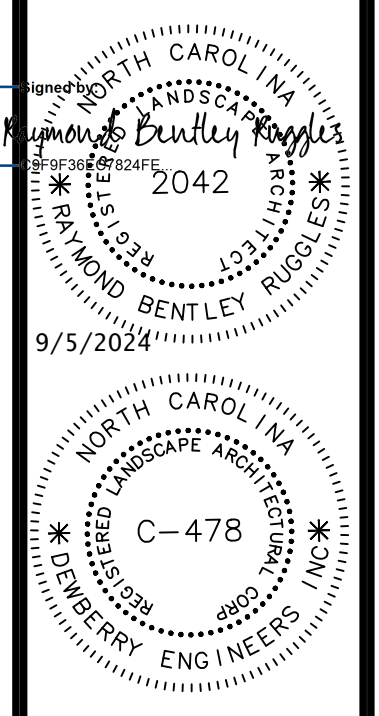
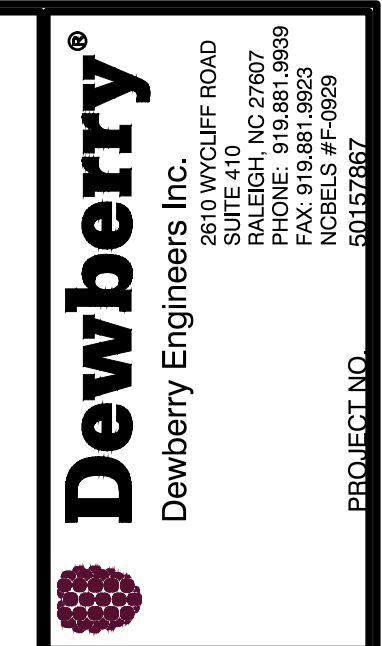
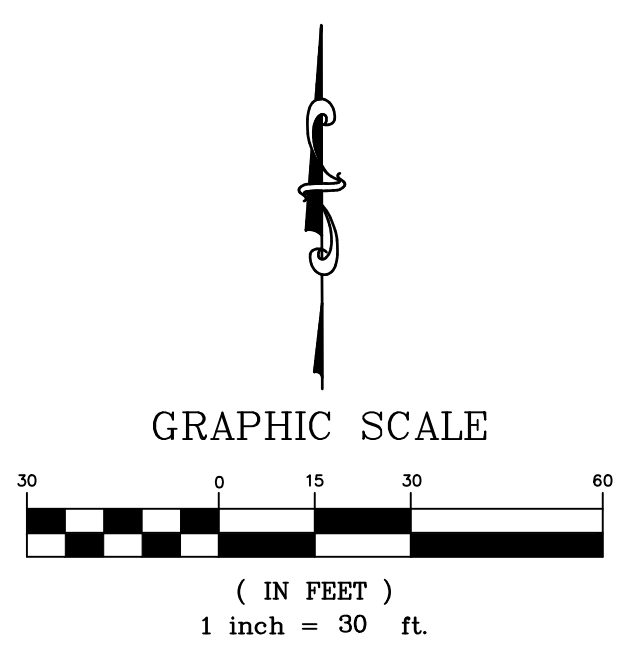
- NOTES:**
- SEE SHEET C-002 FOR EXISTING CONDITIONS.
  - SEE SHEET C-001 FOR STANDARD NOTES, LEGENDS, AND ABBREVIATIONS.
  - SEE SHEET L-301 FOR GRADING INFORMATION.
  - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF PLANT LAYOUT SCHEDULE TWO (2) WEEKS IN ADVANCE OF INSTALLATION.
  - MULCH IN LANDSCAPE AREAS REPRESENTS FINISHED GRADE.
  - THERE SHALL BE NO BARE AREAS ON THE PROJECT. ALL AREAS NOT COVERED IN IMPERVIOUS SURFACES ARE TO BE PLANTED OR MULCHED.
  - CONTRACTOR TO FIELD VERIFY LOCATION OF PLANT MATERIAL IS CLEAR OF UNDERGROUND UTILITIES.

- SEED MIX NOTES:**
- HYDRO SEED ERNST SEED MIX #ERNMX-306  
20LBS PER ACRE WITH A COVER CROP.
    - COVER CROP:
      - GRAIN RYE: 30LBS PER ACRE (SEPT 1 - APRIL 31).
      - JAPANESE MILLET: 10LBS PER ACRE (MAY 1 - AUG 31).
  - SEED PER MANUFACTURER'S RECOMMENDATION - SEE SPECIFICATIONS FOR MORE INFORMATION

- LANDSCAPE GENERAL INSTALLATION AND MAINTENANCE STANDARDS (CODE LANDSCAPE AND AMENITY LANDSCAPE)**
- IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S) OR ASSIGNED CARETAKERS TO ENSURE THAT ALL REGULATED LANDSCAPED AREAS, BUFFERS, FENCING, AND TREE SAVE AREAS ARE INSTALLED, PRESERVED, AND MAINTAINED IN GOOD GROWING CONDITIONS, APPEARANCE, AND USEFULNESS. DAMAGE AND DISTURBANCES TO THESE AREAS SHALL RESULT IN VEGETATION REPLACEMENT AND/OR FINES AND OTHER PENALTIES. PRESERVATION AND MAINTENANCE SHALL INCLUDE:
    - ANY DEAD, UNHEALTHY, OR MISSING VEGETATION, SHALL BE REPLACED WITH VEGETATION THAT CONFORMS TO THE STANDARDS OF THIS SECTION AND THE APPROVED SITE AND/OR SUBDIVISION PLAN.
    - ALL REQUIRED BUFFERS, STREETYARDS, VEHICULAR USE AREAS, TREE SAVE AREAS AND OTHER LANDSCAPED AREAS SHALL BE FREE OF REFUSE AND DEBRIS, SHALL BE TREATED FOR PEST/DISEASES IN ACCORDANCE WITH THE APPROVED SITE AND/OR SUBDIVISION PLAN, AND SHALL BE MAINTAINED AS TO PREVENT MULCH, STRAW, DIRT, OR OTHER MATERIALS FROM WASHING ONTO STREETS AND SIDEWALKS.
    - THE OWNER(S) SHALL TAKE ACTIONS TO PROTECT ALL PLANT MATERIAL FROM DAMAGE DURING ALL FACILITY AND SITE MAINTENANCE OPERATIONS. ALL PLANT MATERIAL MUST BE MAINTAINED IN A WAY THAT DOES NOT OBSTRUCT SIGHT DISTANCES AT ROADWAYS AND INTERSECTIONS, OBSTRUCT TRAFFIC SIGNS OR DEVICES, AND INTERFERE WITH THE USE OF SIDEWALKS OR PEDESTRIAN TRAILS. PLANT MATERIAL, WHETHER LOCATED WITHIN BUFFERS, TREE SAVE AREAS, OR WITHIN PLANTED AREAS (REQUIRED BY THE SITE AND/OR SUBDIVISION PLAN) SHALL NOT BE REMOVED, DAMAGED, CUT OR SEVERELY PRUNED SO THAT THEIR INTENDED FORM IS IMPAIRED. SHRUBS WITHIN VEHICULAR USE AREAS, STREETYARDS, AND STREET FRONTS MAY BE PRUNED, BUT MUST MAINTAIN AT LEAST 3 FEET IN HEIGHT.
    - IN THE EVENT THAT EXISTING REQUIRED VEGETATION LOCATED WITHIN ANY BUFFERS, TREE SAVE AREAS, STREETYARDS, VEHICULAR USE OR OTHER LANDSCAPE AREAS POSES AN IMMEDIATE OR IMMINENT THREAT TO IMPROVED STRUCTURES ON PRIVATE PROPERTY OR PUBLIC PROPERTY, EXCESSIVE PRUNING OR REMOVAL OF THE VEGETATION MAY BE ALLOWABLE PROVIDED AUTHORIZATION IS OBTAINED FROM THE ADMINISTRATOR, AND THE PERFORMANCE STANDARD OF THE LANDSCAPE AREA IS MAINTAINED CONSISTENT WITH THIS SECTION. REPLACEMENT VEGETATION MAY BE REQUIRED AS A CONDITION OF THE PERMIT.
    - IN THE EVENT THAT ANY VEGETATION OR PHYSICAL ELEMENT FUNCTIONING TO MEET THE STANDARDS OF THIS SECTION IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR NATURAL CATASTROPHE, OR OTHER NATURAL OCCURRENCE, THE OWNER MAY BE REQUIRED TO REPLANT IF THE REQUIREMENTS OF THE SECTION ARE NOT BEING MET. REPLACEMENT VEGETATION SHALL CONFORM TO THE STANDARDS OF THIS SECTION AND THE APPROVED SITE AND/OR SUBDIVISION PLAN.
  - ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THEY ARRIVE ON SITE. PLANTS THAT HAVE NOT BEEN APPROVED SHALL BE REPLACED IMMEDIATELY PER THE CONTRACT DOCUMENTS. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  - ALL PLANT MATERIAL ARRIVING ON SITE MUST BE LABELED AND INSPECTED BY THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT BEFORE PLANTING. PLANTS THAT DO NOT HAVE LABELS WILL BE REJECTED.
  - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSPECT PLANTS AS THEY ARRIVE ON SITE TO ENSURE:
    - PLANTS MATCH THE PLANT LIST ON THIS SHEET.
    - PLANTS ARE IN GOOD HEALTH AND HAVE GOOD FORM. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY WITH ANY NOTED EXCEPTIONS.

PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
<b>SHRUBS</b>					
	INRS	21	Ilex x 'Nellie R. Stevens' / 'Nellie R. Stevens' Holly	CON OR BB	84" o.c.
<b>SOD/SEED</b>					
	CD	10,700 sf	Cynodon dactylon / Bermuda Grass	sod	

NOTE: QUANTITIES IN PLANT SCHEDULE ARE NOT GUARANTIED. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PLANT MATERIALS SHOWN ON THE PLANS OR OTHERWISE NOTED.

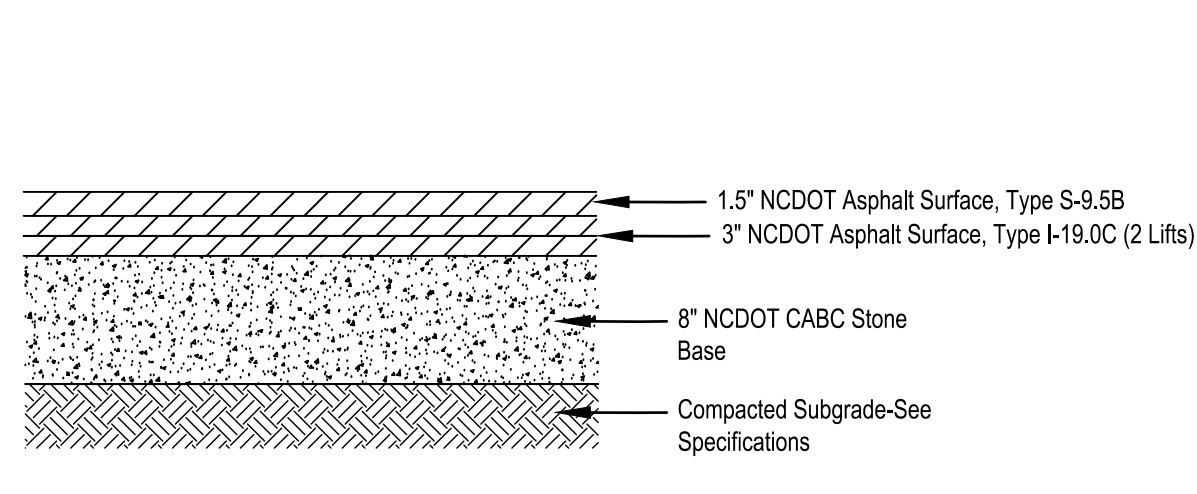


NEW PROJECT FOR  
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**EADY BUILDING ADDITION**  
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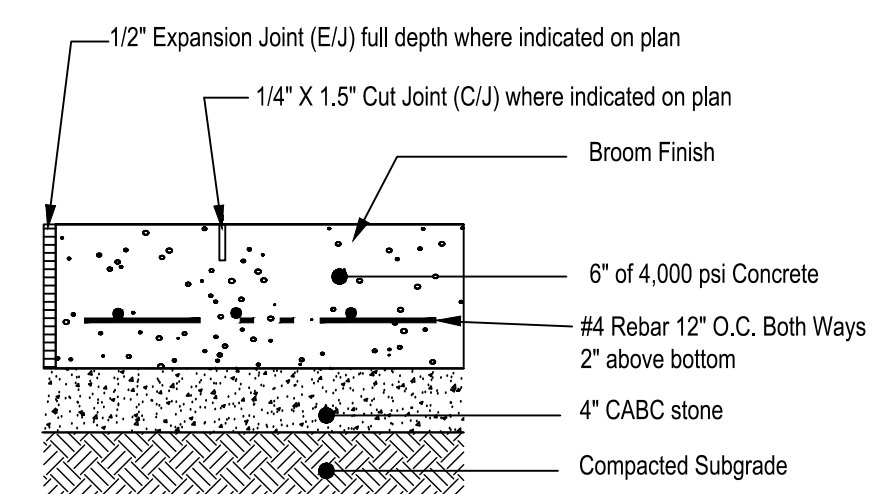
No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

LANDSCAPE PLAN

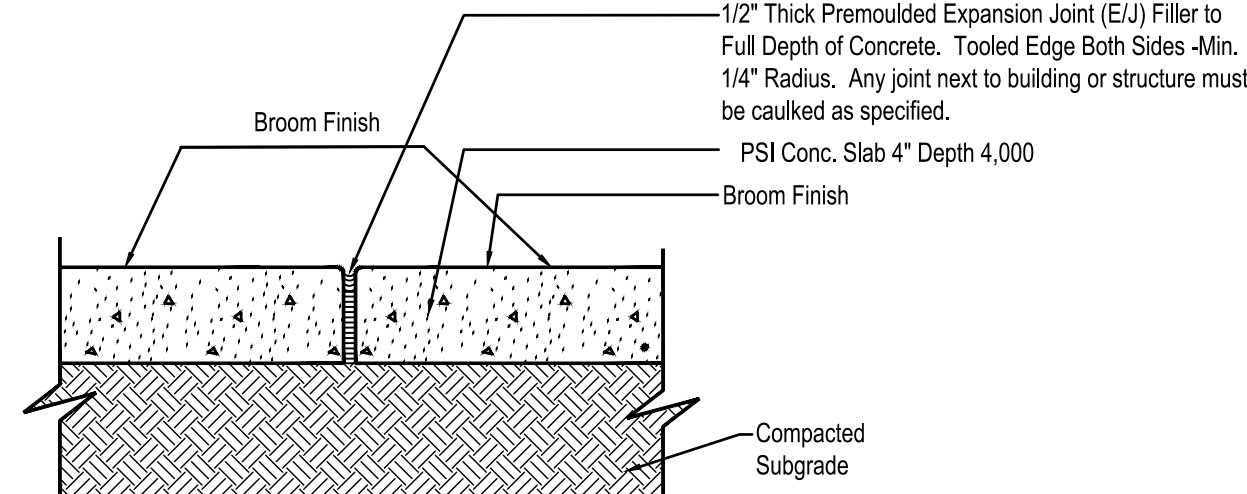
DATE  
09/06/2024  
**L-400**



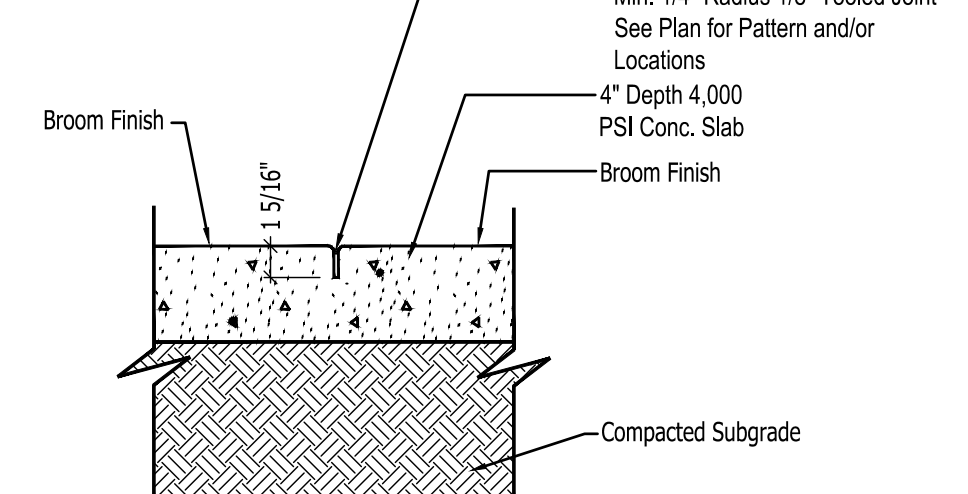
**1 VEHICLE PAVING SECTION**  
L-600 NOT TO SCALE



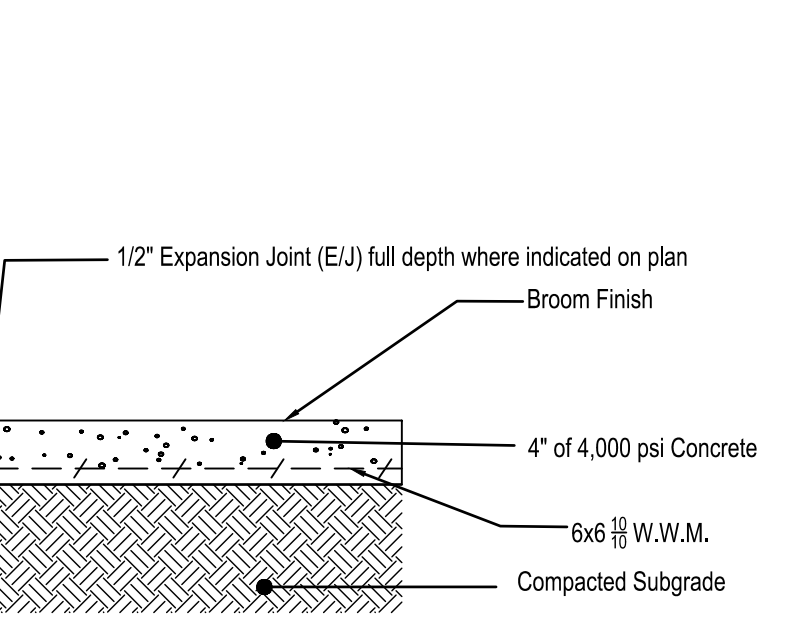
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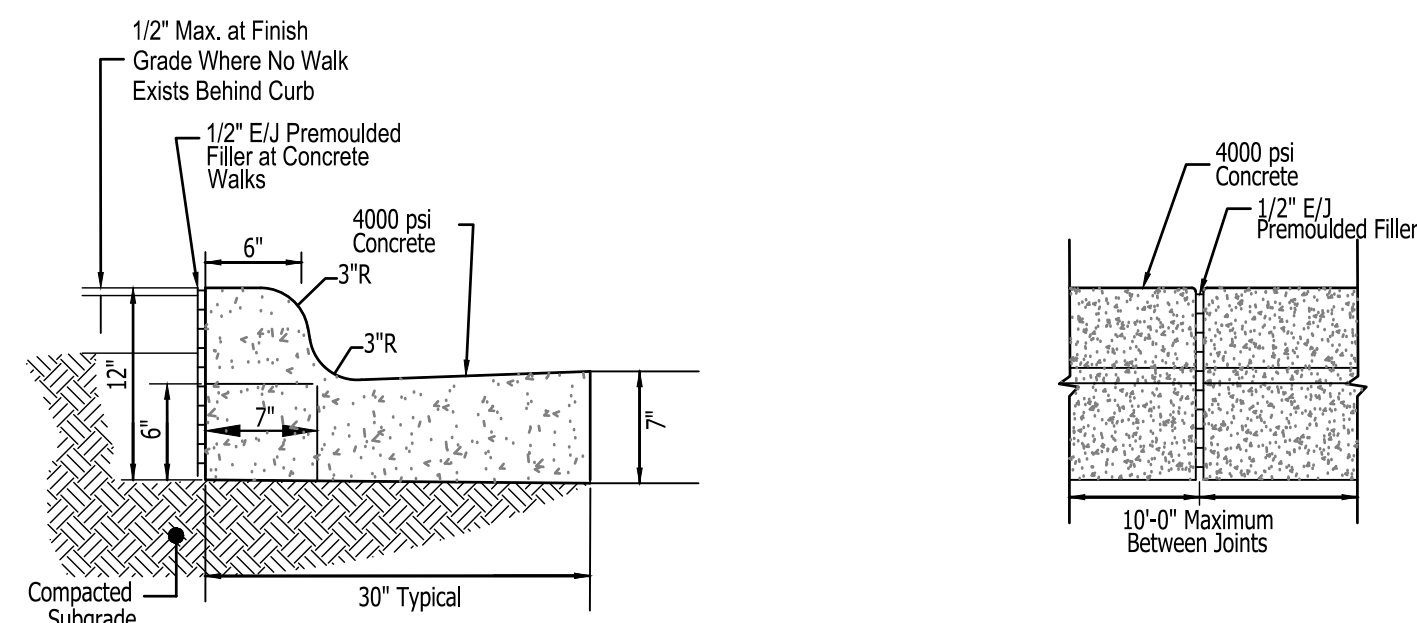
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L-600 SCALE: 1/2\"/>



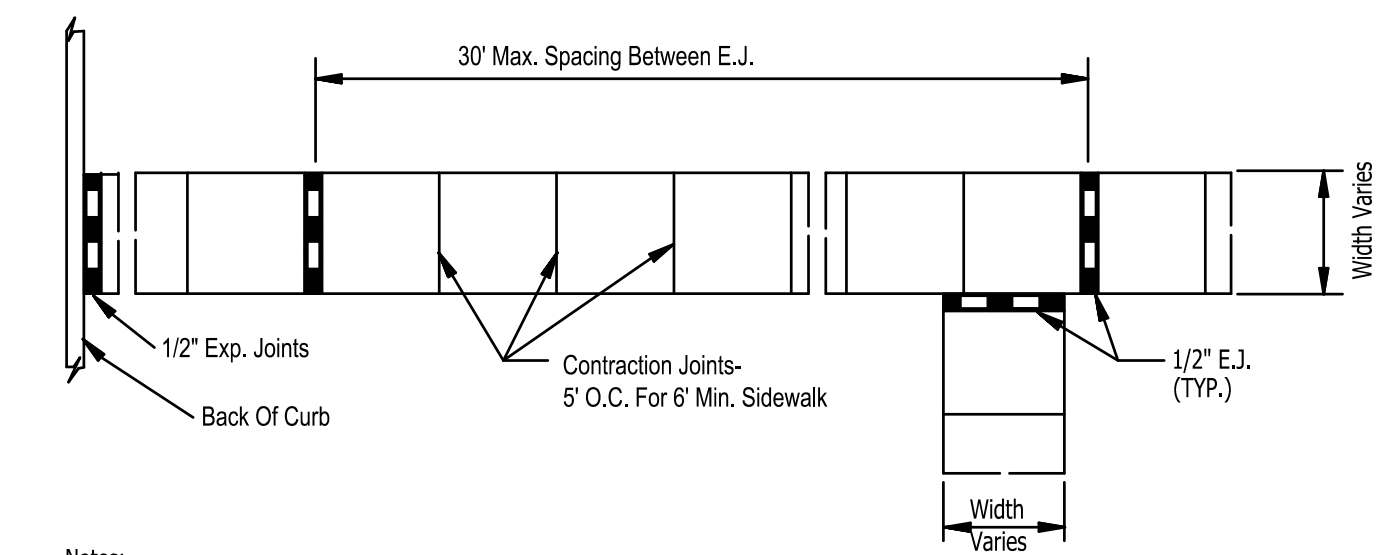
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L-600 SCALE: 1/2\"/>



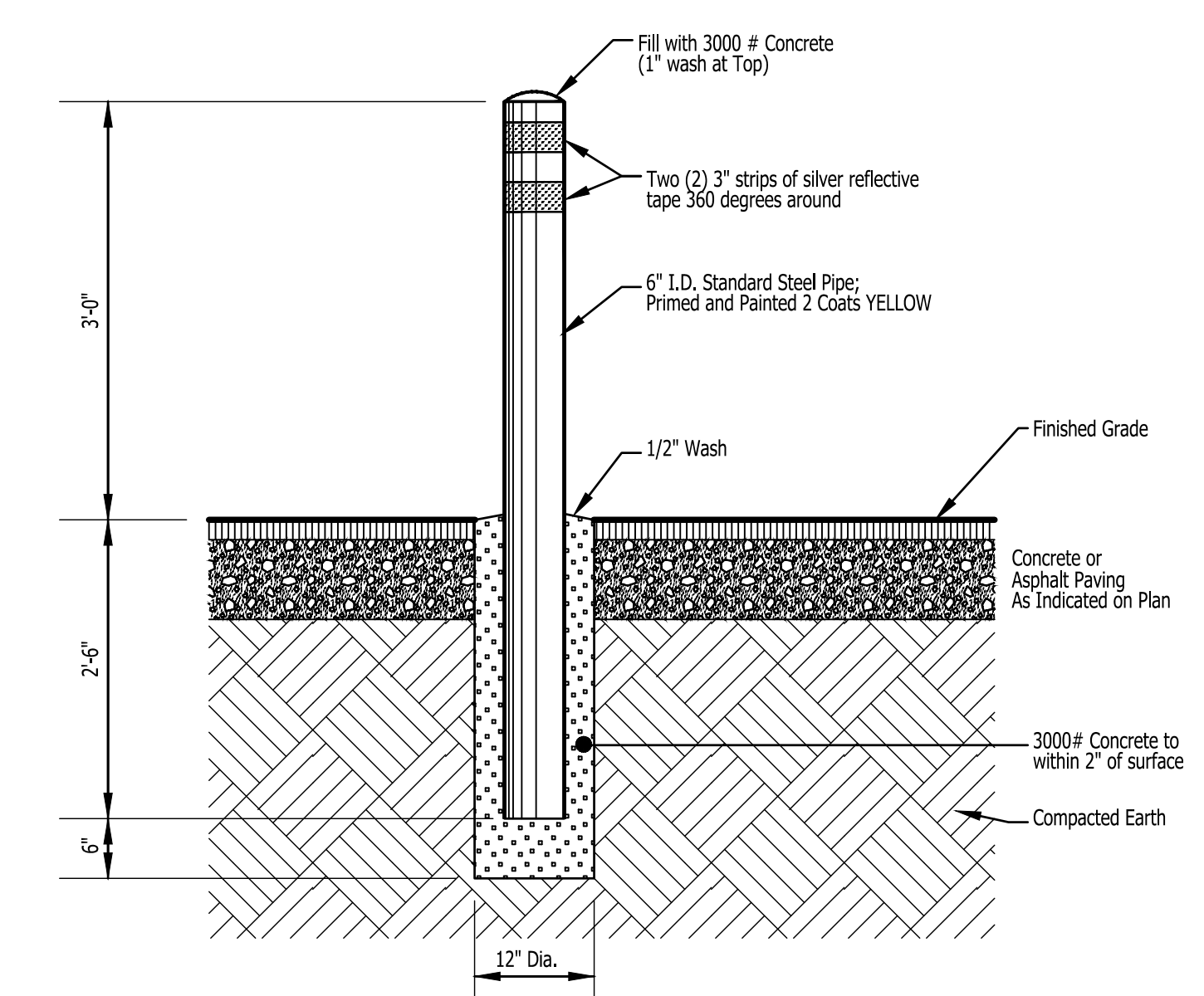
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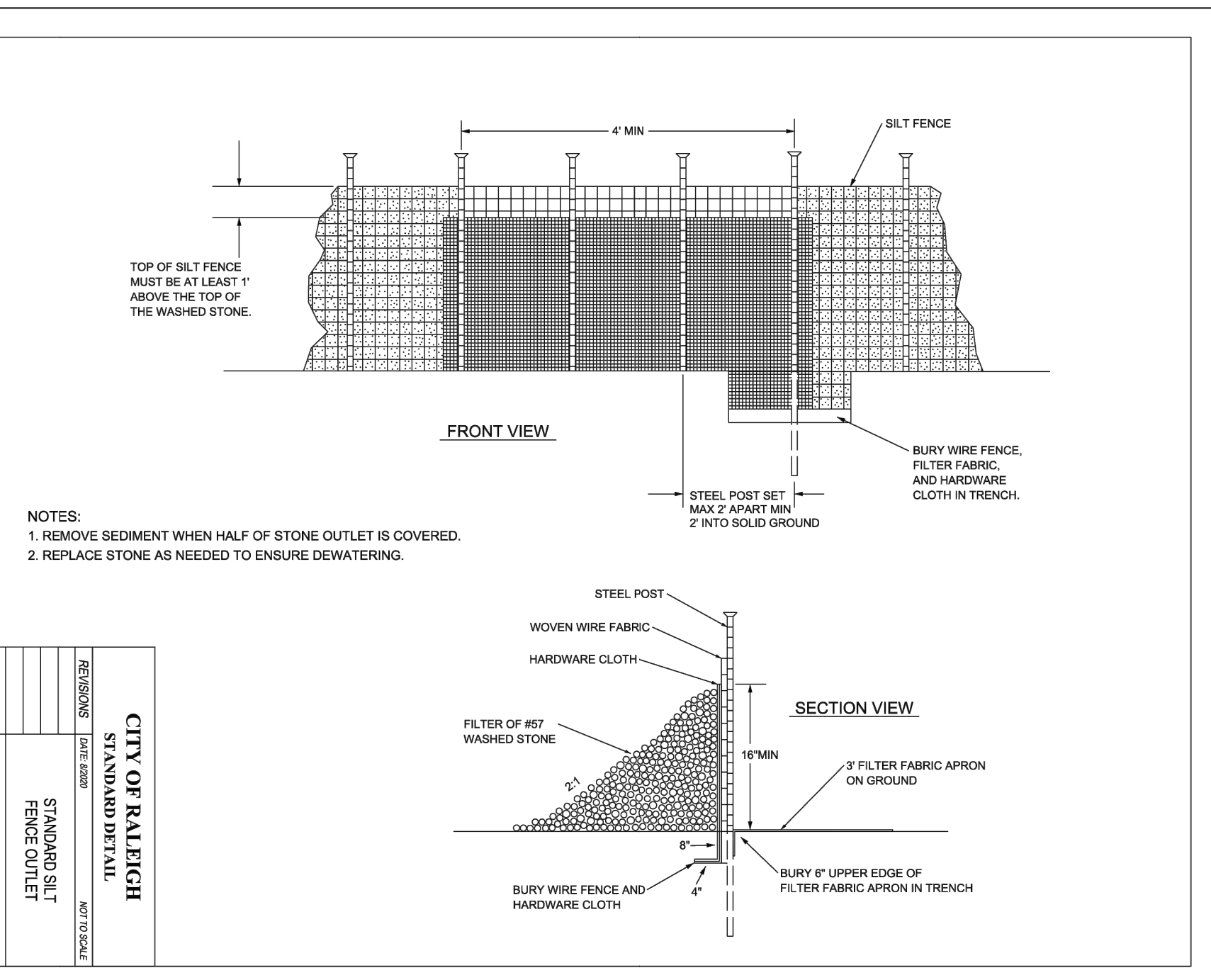
**6 30\"/>**



**7 SIDEWALK PLAN VIEW**  
L-600 NOT TO SCALE



**10 PIPE BOLLARD**  
L-600 SCALE: 3/4\"/>



**11 SILT FENCE OUTLET**  
L-600 SCALE: NOT TO SCALE

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No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

SITE DETAILS

DATE  
09/06/2024

L-600

GENERAL SEEDING SCHEDULE (TEMPORARY & PERMANENT):

TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING. Includes tables for Seeding Mixture (Species, Rate), Seeding Dates, and Maintenance instructions.

SEED BED PREPARATION: LIMING - Apply lime according to soil test recommendations. FERTILIZER - Base application rates on soil tests. SURFACE ROUGHENING - If recent tillage operations have resulted in a loose surface...

TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING. Includes tables for Seeding Mixture and Seeding Dates.

NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING. Includes tables for Seeding Mixture and Seeding Dates.

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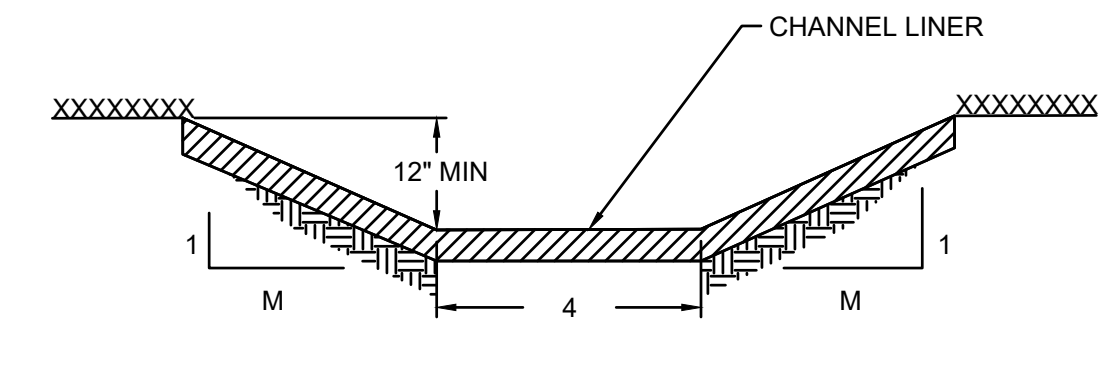
EROSION AND SEDIMENTATION CONTROL SEQUENCE NOTES:

GENERAL SEQUENCE:

ENFORCEMENT NOTE 1: FAILURE TO FOLLOW THIS CONSTRUCTION SEQUENCE MAY RESULT IN LOCAL ENFORCEMENT ACTIONS, INCLUDING BUT NOT LIMITED TO CIVIL PENALTIES UP TO \$5,000 PER VIOLATION PER DAY...

CONSTRUCTION SEQUENCE:

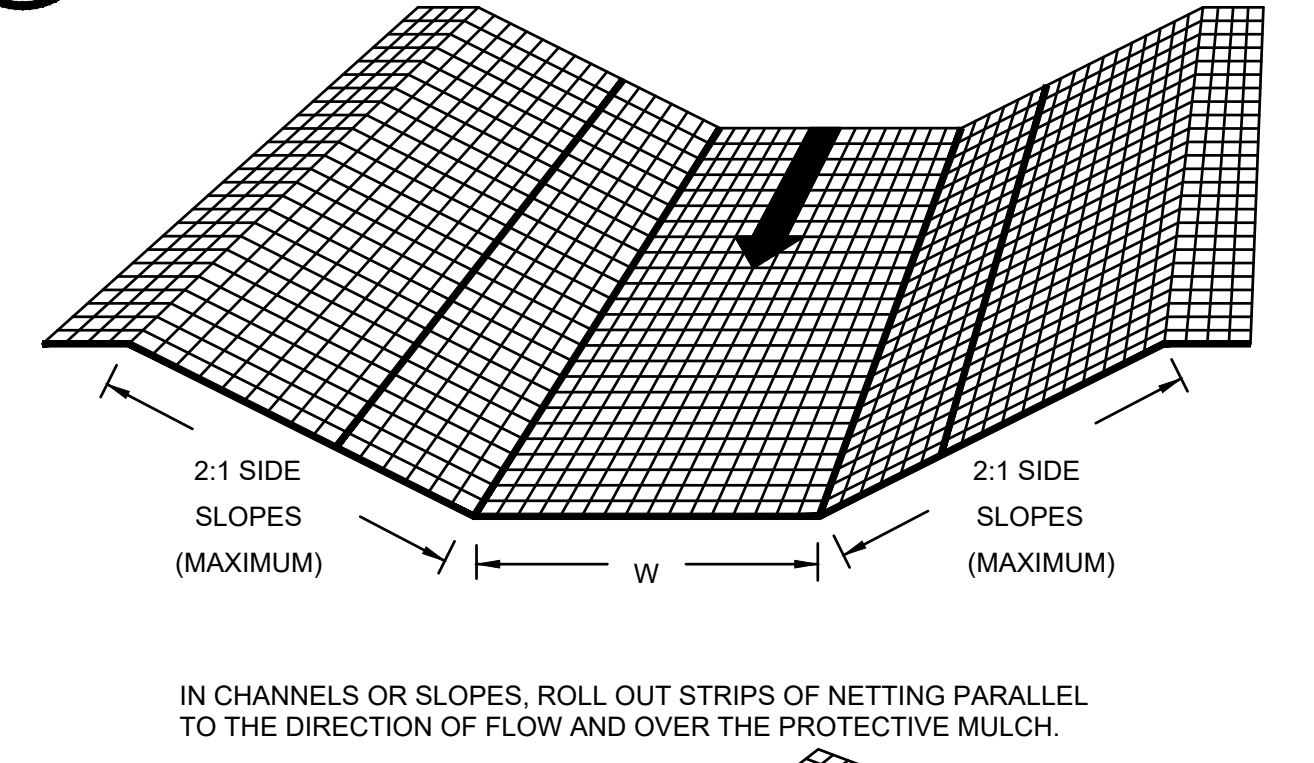
- 1. OBTAIN ALL PERMITS AND APPROVALS NECESSARY TO BEGIN AND COMPLETE THE PROJECT. OBTAIN ALL PERMITS PRIOR TO BEGINNING ANY DISTURBANCE OF THE SITE SO WORK WILL NOT BE INTERRUPTED.
2. CONTACT DEMLR RALEIGH REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO COMMENCING THE LAND-DISTURBING ACTIVITY...



PERMANENT LINED DITCH

- CONSTRUCTION SPECIFICATIONS:
1. REMOVE ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA AND DISPOSE OF PROPERLY.
2. EXCAVATE THE CHANNEL, AND SHAPE IT TO NEAT LINES AND DIMENSIONS AS SHOWN ON THE PLANS.

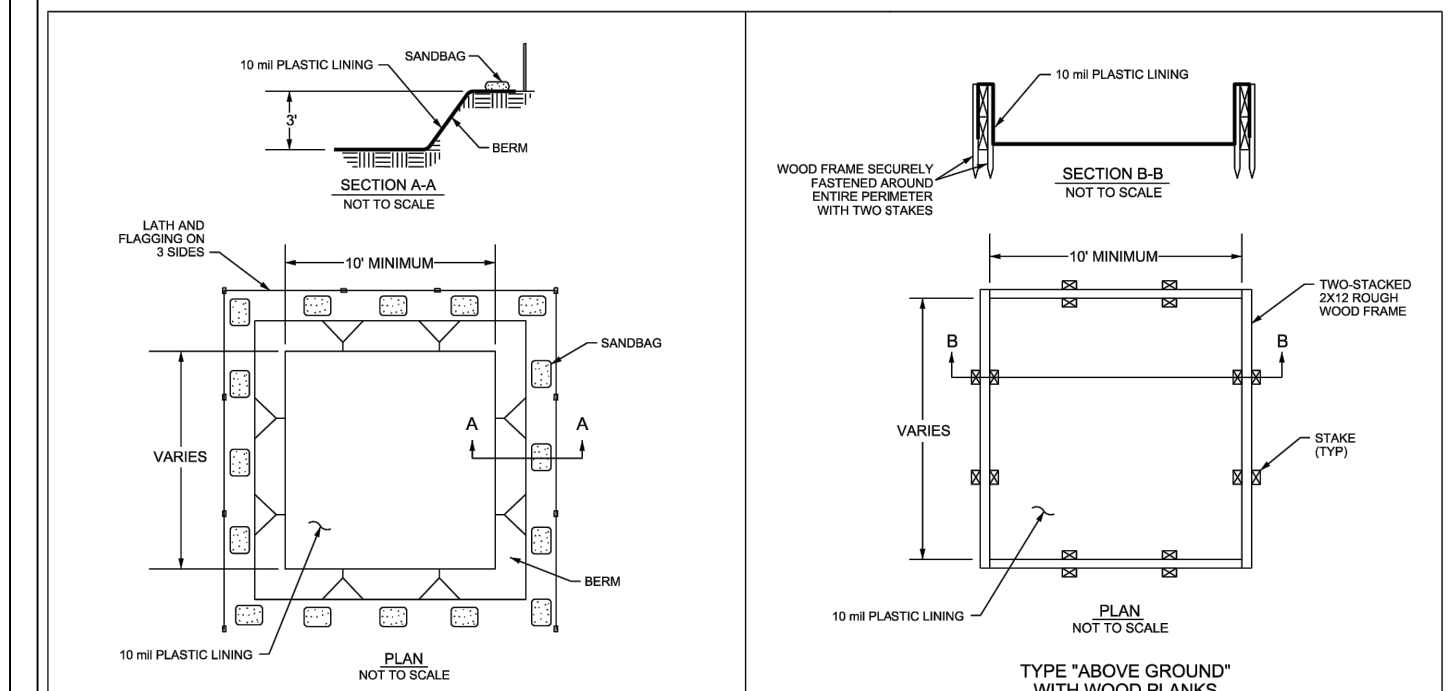
PERMANENT DITCH TYPICAL SECTION



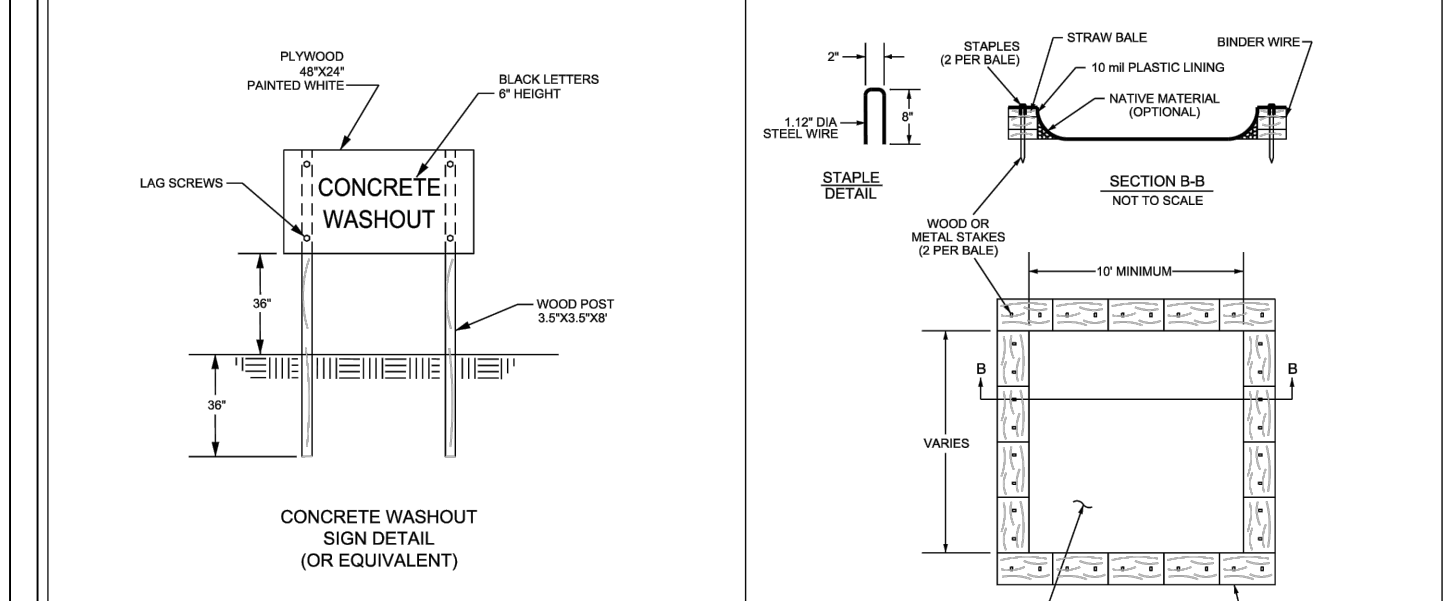
TYPICAL ROLLED EROSION CONTROL PRODUCT SLOPE INSTALLATION

- MAINTENANCE REQUIREMENTS:
1. CONTRACTOR SHALL INSPECT MULCHES PERIODICALLY, AND AFTER RAINSTORMS CHECK FOR RILL EROSION. WHERE EROSION IS OBSERVED, APPLY ADDITIONAL MULCH...

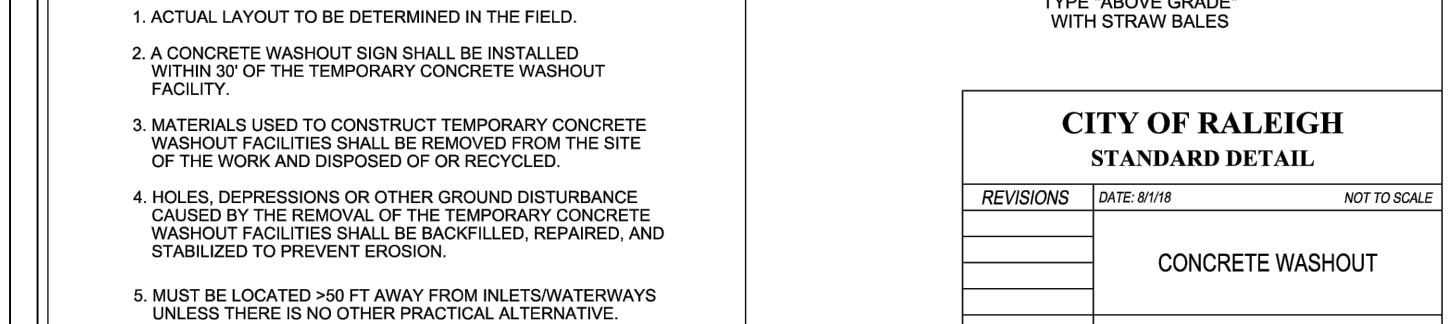
CONCRETE WASHOUT



CONCRETE WASHOUT



TREE PROTECTION FENCE

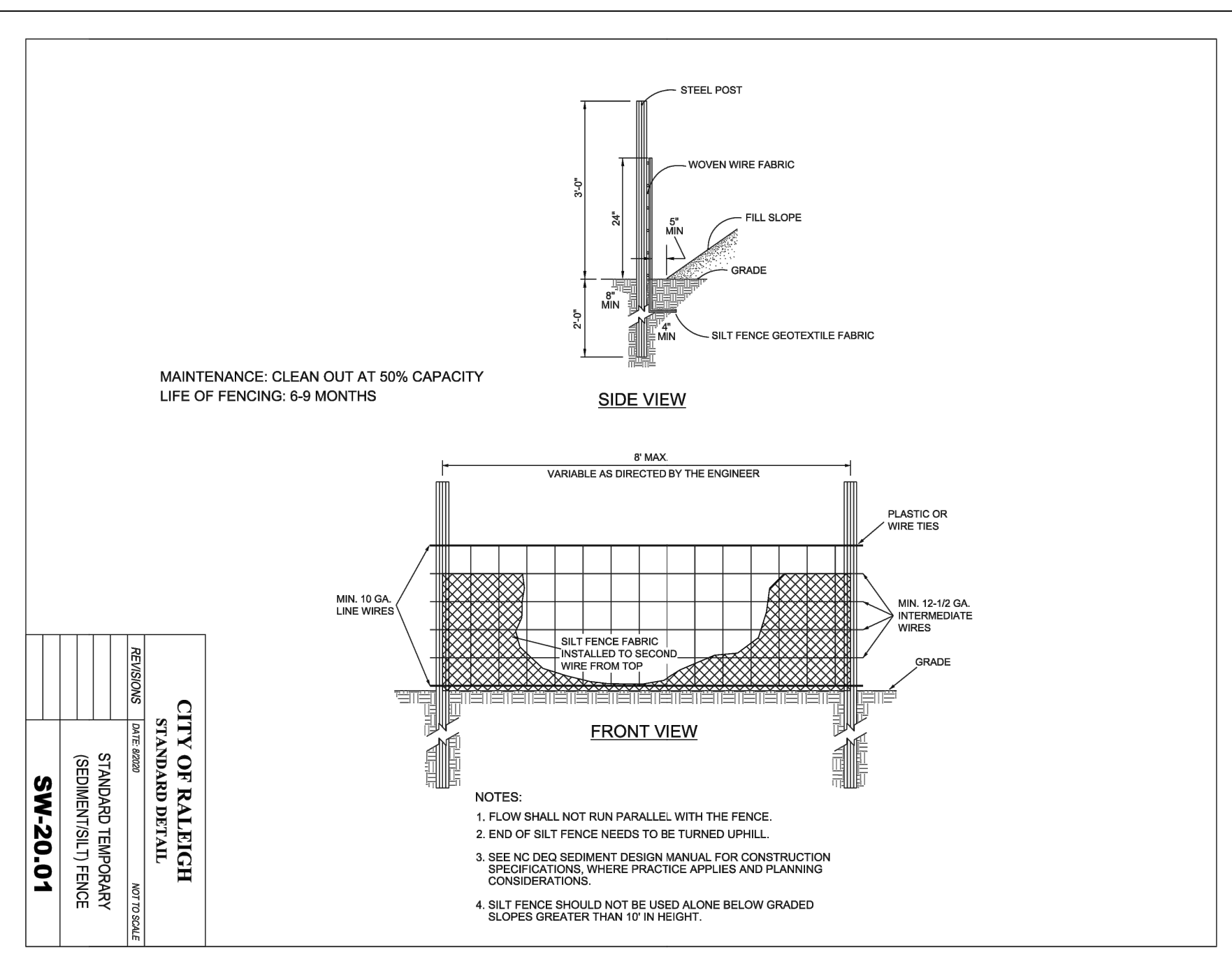


CONSTRUCTION ENTRANCE

CITY OF RALEIGH STANDARD DETAIL SW-20.25 CONCRETE WASHOUT

CITY OF RALEIGH STANDARD DETAIL TPP-01 TREE PROTECTION FENCE

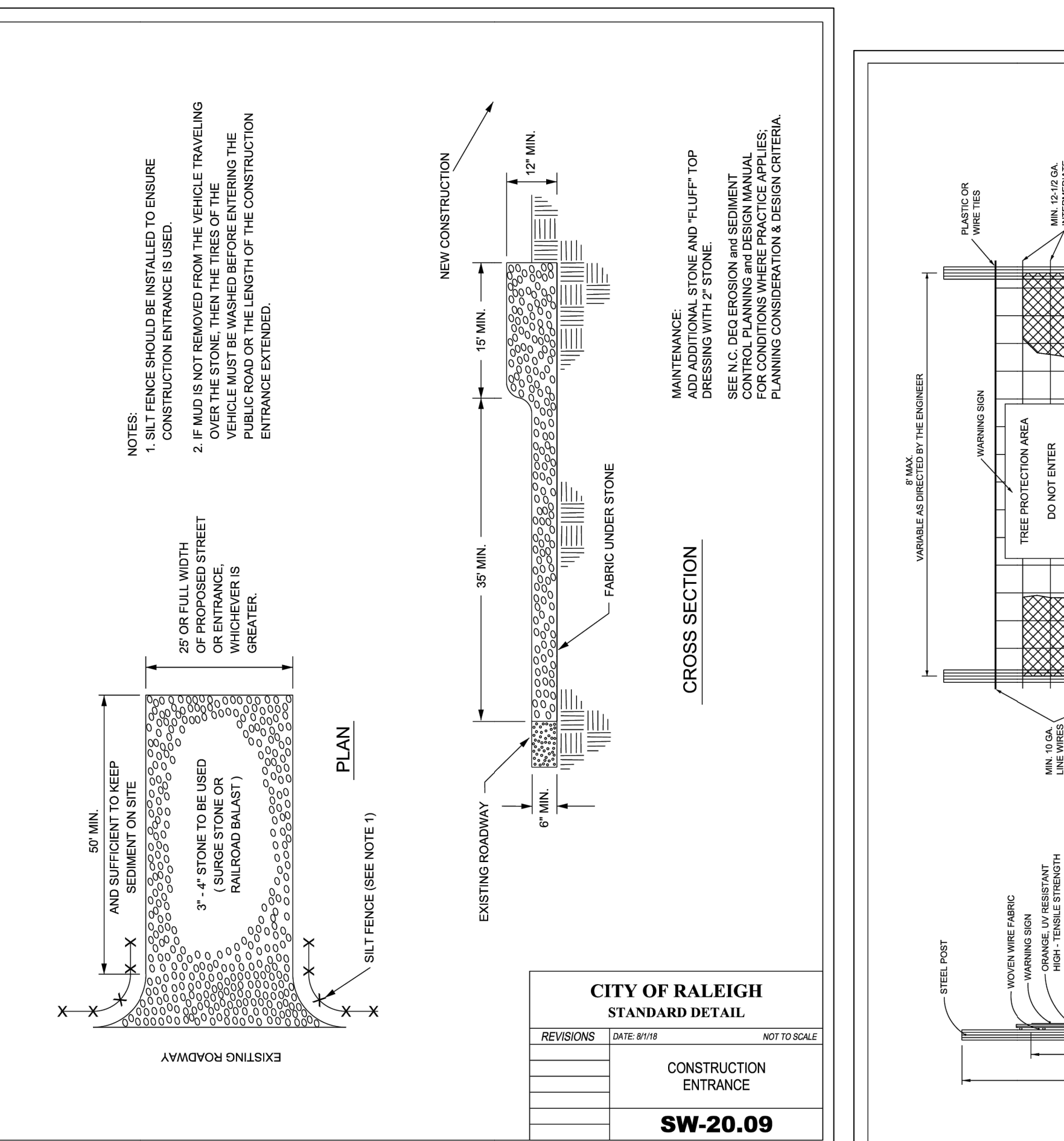
CITY OF RALEIGH STANDARD DETAIL SW-20.09 CONSTRUCTION ENTRANCE



TEMPORARY SILT FENCE

- NOTES:
1. FLOW SHALL NOT RUN PARALLEL WITH THE FENCE.
2. END OF SILT FENCE NEEDS TO BE TURNED UPHILL.
3. SEE NC DEQ SEDIMENT DESIGN MANUAL FOR CONSTRUCTION SPECIFICATIONS...

CITY OF RALEIGH STANDARD DETAIL SW-20.01

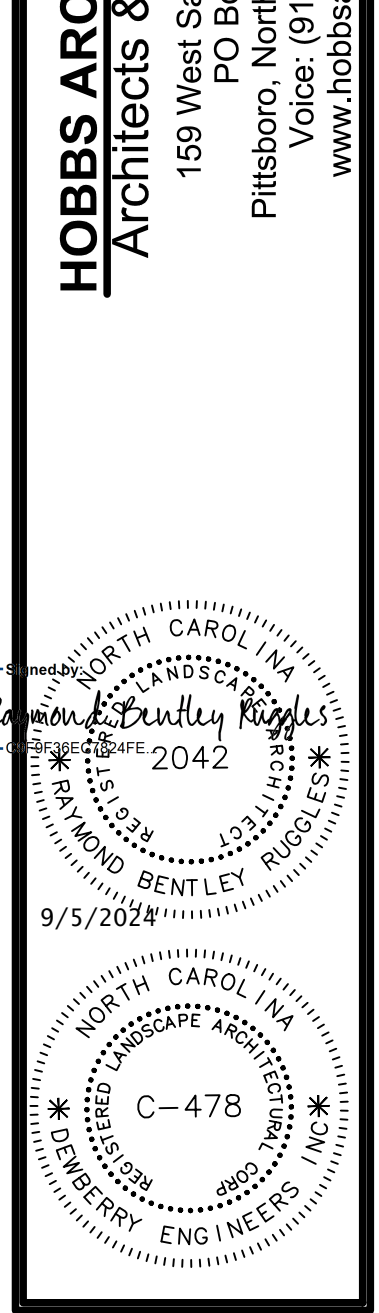
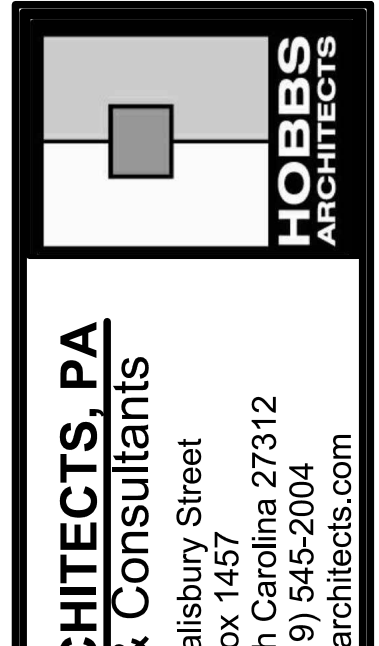


CONSTRUCTION ENTRANCE

CITY OF RALEIGH STANDARD DETAIL SW-20.09

CITY OF RALEIGH STANDARD DETAIL TPP-01

CITY OF RALEIGH STANDARD DETAIL SW-20.01



NEW PROJECT FOR NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES SCO ID# 22-24471-02A EDDY BUILDING ADDITION 4302 REEDY CREEK RD., RALEIGH, NC 27607

Table with columns No. and Date, listing dates 04/12, 05/07, 06/12, 06/25, 08/06.

EROSION CONTROL DETAILS

DATE 09/06/2024

L-601

### 1 CONCRETE BASE PAD

L-602 NOT TO SCALE

GENERAL NOTES:  
USE THIS STANDARD WITH ALL DRAINAGE STRUCTURES USING REINFORCED CONCRETE PIPE SET IN BASE SLAB.

PIPE DIA	"W"	"H"	"D"	"R"	REINFORCING BARS	CONCRETE QUANTITY (CU YD)
12"	1'-17 1/8"	0'-7 1/8"	0'-2"	0'-2"	0.005	0.007
15"	1'-35 1/8"	0'-9 1/8"	0'-2"	0'-2"	0.006	0.008
18"	1'-53 1/8"	0'-10 1/8"	0'-2"	0'-2"	0.007	0.010
24"	1'-89 1/8"	0'-13 1/8"	0'-3"	0'-3"	0.011	0.018
30"	2'-0 1/8"	1'-23 1/8"	0'-3 1/2"	0'-3 1/2"	0.014	0.023
36"	2'-33 1/8"	1'-59 1/8"	0'-4"	0'-4"	0.017	0.023
42"	2'-71 1/8"	1'-7"	0'-5 1/4"	0'-5 1/4"	0.025	0.030
48"	2'-109 1/8"	1'-8 3/4"	0'-5 3/4"	0'-5 3/4"	0.028	0.038
54"	3'-23 1/8"	1'-10 1/2"	0'-6 1/4"	0'-6 1/4"	0.035	0.047
60"	3'-55 1/8"	2'-0 1/4"	0'-6 3/4"	0'-6 3/4"	0.042	0.056
66"	3'-9"	2'-2 1/4"	0'-7 1/4"	0'-7 1/4"	0.050	0.064
72"	4'-0 1/2"	2'-3 3/4"	0'-7 3/4"	0'-7 3/4"	0.059	0.088

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### 2 CONCRETE CATCH BASIN

L-602 NOT TO SCALE

GENERAL NOTES:  
USE CLASS "B" CONCRETE THROUGHOUT.  
PROVIDE ALL CATCH BASIN OVER 3'-0" IN DEPTH WITH STEPS 15" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.06. OPTIONAL CONSTRUCTION - MONOLITHIC FORMS, 5" KEYWAY, OR #4 BAR DOMELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.  
USE FORMS TO CONSTRUCT THE BOTTOM SLAB.  
IF REINFORCED CONCRETE PIPE IS SET IN BASE SLAB OF BOX, ADD TO BASE AS SHOWN ON STANDARD 840.05.  
USE TYPE "L", "Y" AND "C" GRATES UNLESS OTHERWISE INDICATED.  
FOR 4'-0" IN HEIGHT OR LESS USE 6" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.  
CONTRACT WITH PIPE COINGS MATCHING.  
CHAMFER ALL EXPOSED CORNERS 1".  
DRAWING NOT TO SCALE.

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### 3 CONCRETE CATCH BASIN

L-602 NOT TO SCALE

GENERAL NOTES:  
USE CLASS "B" CONCRETE THROUGHOUT.  
PROVIDE ALL CATCH BASIN OVER 3'-0" IN DEPTH WITH STEPS 15" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.06. OPTIONAL CONSTRUCTION - MONOLITHIC FORMS, 5" KEYWAY, OR #4 BAR DOMELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.  
USE FORMS TO CONSTRUCT THE BOTTOM SLAB.  
IF REINFORCED CONCRETE PIPE IS SET IN BASE SLAB OF BOX, ADD TO BASE AS SHOWN ON STANDARD 840.05.  
USE TYPE "L", "Y" AND "C" GRATES UNLESS OTHERWISE INDICATED.  
FOR 4'-0" IN HEIGHT OR LESS USE 6" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.  
CONTRACT WITH PIPE COINGS MATCHING.  
CHAMFER ALL EXPOSED CORNERS 1".  
DRAWING NOT TO SCALE.

PIPE DIA	SPAN	WIDTH	HEIGHT	REINFORCING BARS	CONCRETE QUANTITY (CU YD)
12"	3'-0"	2'-2"	2'-0"	0.255	0.325
15"	3'-0"	2'-2"	2'-0"	0.255	0.325
18"	3'-0"	2'-2"	2'-0"	0.255	0.325
24"	3'-0"	2'-2"	2'-0"	0.255	0.325
30"	3'-0"	2'-2"	2'-0"	0.255	0.325
36"	3'-0"	2'-2"	2'-0"	0.255	0.325
42"	3'-0"	2'-2"	2'-0"	0.255	0.325
48"	3'-0"	2'-2"	2'-0"	0.255	0.325
54"	3'-0"	2'-2"	2'-0"	0.255	0.325
60"	3'-0"	2'-2"	2'-0"	0.255	0.325
66"	3'-0"	2'-2"	2'-0"	0.255	0.325
72"	3'-0"	2'-2"	2'-0"	0.255	0.325

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### 4 CONCRETE JUNCTION BOX

L-602 NOT TO SCALE

GENERAL NOTES:  
CHAMFER ALL EXPOSED CORNERS 1".  
USE CLASS "B" CONCRETE THROUGHOUT.  
OPTIONAL CONSTRUCTION - MONOLITHIC FORMS, 5" KEYWAY, OR #4 BAR DOMELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.  
USE FORMS TO CONSTRUCT THE BOTTOM SLAB.  
IF REINFORCED CONCRETE PIPE IS SET IN BASE SLAB OF BOX, ADD TO BASE AS SHOWN ON STANDARD 840.05.  
PROVIDE ALL JUNCTION BOXES OVER 3'-0" IN DEPTH WITH STEPS 15" ON CENTERS IN ACCORDANCE WITH STD. NO. 840.06.  
ADJUST THE STEEL, CONCRETE AND BRICK MASONRY QUANTITIES TO INCLUDE THE POSITION OF THE MANHOLE (I.E. DIAGONAL BRMS SHORTENED AROUND OPENING IN TOP SLAB. ADDITIONAL VARIABLE HEIGHT BRICK MASONRY, OPENING IN TOP SLAB.)  
MAX. DEPTH OF THIS STRUCTURE FROM TOP OF BOTTOM SLAB TO TOP ELEVATION IS 15 FEET.

PIPE DIA	SPAN	WIDTH	HEIGHT	REINFORCING BARS	CONCRETE QUANTITY (CU YD)
12"	2'-0"	2'-0"	2'-0"	1.2	0.167
15"	2'-0"	2'-0"	2'-0"	1.2	0.167
18"	2'-0"	2'-0"	2'-0"	1.2	0.167
24"	2'-0"	2'-0"	2'-0"	1.2	0.167
30"	2'-0"	2'-0"	2'-0"	1.2	0.167
36"	2'-0"	2'-0"	2'-0"	1.2	0.167
42"	2'-0"	2'-0"	2'-0"	1.2	0.167
48"	2'-0"	2'-0"	2'-0"	1.2	0.167
54"	2'-0"	2'-0"	2'-0"	1.2	0.167
60"	2'-0"	2'-0"	2'-0"	1.2	0.167
66"	2'-0"	2'-0"	2'-0"	1.2	0.167

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### 5 PRECAST DRAINAGE STRUCTURE

L-602 NOT TO SCALE

GENERAL NOTES:  
THE PATTERN OF THE KNOCK-OUT PANELS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

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### 6 PRECAST DRAINAGE STRUCTURE

L-602 NOT TO SCALE

GENERAL NOTES:  
THIS PRECAST BOX MAY BE USED FOR THE FOLLOWING STANDARDS: 840.01, 840.02, 840.04, 840.05, 840.13, 840.14, 840.15, 840.17, 840.18, 840.19, 840.26, 840.27, 840.28, 840.31, 840.32 AND 840.41.  
INSTALL PRECAST DRAINAGE STRUCTURES AND PAY FOR IN ACCORDANCE WITH SPECIFICATION SECTION 840.  
DO NOT PLACE PRECAST DRAINAGE STRUCTURES UNDER TRAFFIC OR WHERE TRAFFIC WILL BE DETOURED.  
USE 4000 PSI CONCRETE.  
PROVIDE ALL REINFORCING STEEL WHICH MEETS ASTM A615 FOR GRADE 60 AND WELDED WIRE FABRIC CONFORMING TO ASTM A1064.  
LIMIT MAXIMUM DEPTH TO TOP OF BOTTOM SLAB FOR WAFFLE WALL STRUCTURE TO 10'-0"; LIMIT SOLID WALL STRUCTURE TO 15'-0".  
PLACE LIFT HOLES OR PINS IN ACCORDANCE WITH OSHA STANDARD 1926.704.  
OUT OR FORM OPENINGS FOR PIPE TO PROVIDE REQUIRED SIZE AND LOCATION. ORIENT WAFFLE WALL STRUCTURES SO THAT PIPES ENTER THROUGH THE CORNERS OF SOLID WALL BOXES IF A MINIMUM OF 6" OF WALL IS PROVIDED ABOVE THE HOLE.  
ALL ELEMENTS PRECAST TO MEET ASTM C913.  
FRAME AND GRATE HEIGHT MAY BE ADJUSTED WITH CONCRETE OR BRICK IN ACCORDANCE WITH STANDARD 840.25.  
PROVIDE PRECAST STRUCTURES OVER 4'-0" IN DEPTH WITH STEPS AS DIRECTED BY THE ENGINEER.  
WELDED WIRE FABRIC MAY BE SUBSTITUTED FOR REBAR AS LONG AS THE SAME AREA OF STEEL IS PROVIDED.  
SEAL JOINTS WITH A FLEXIBLE BUTYL RUBBER BASE CONFORMING TO FEDERAL SPECIFICATION SS-S-21A, ASD10 M-199, TYPE B - BUTYL RUBBER.  
LIMIT MAXIMUM STRUCTURE SIZE TO INSIDE CLEAR DIMENSIONS OF 5'-0" X 5'-0".  
THE OUTSIDE PIPE DIAMETER PLUS 2" OR THE OPENING REQUIRED FOR FRAME AND GRATE IS THE MINIMUM STRUCTURE SIZE WHICHEVER IS GREATER.  
USE MANHOLE FRAME AND COVER AS INDICATED ON THE PLANS. REINFORCE OPENING AS SHOWN ON THIS SHEET.

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### 7 PRECAST MANHOLE

L-602 NOT TO SCALE

GENERAL NOTES:  
THIS PRECAST BOX MAY BE USED FOR THE FOLLOWING STANDARDS: 840.01, 840.02, 840.04, 840.05, 840.13, 840.14, 840.15, 840.17, 840.18, 840.19, 840.26, 840.27, 840.28, 840.31, 840.32 AND 840.41.  
INSTALL PRECAST DRAINAGE STRUCTURES AND PAY FOR IN ACCORDANCE WITH SPECIFICATION SECTION 840.  
DO NOT PLACE PRECAST DRAINAGE STRUCTURES UNDER TRAFFIC OR WHERE TRAFFIC WILL BE DETOURED.  
USE 4000 PSI CONCRETE.  
PROVIDE ALL REINFORCING STEEL WHICH MEETS ASTM A615 FOR GRADE 60 AND WELDED WIRE FABRIC CONFORMING TO ASTM A1064.  
LIMIT MAXIMUM DEPTH TO TOP OF BOTTOM SLAB FOR WAFFLE WALL STRUCTURE TO 10'-0"; LIMIT SOLID WALL STRUCTURE TO 15'-0".  
PLACE LIFT HOLES OR PINS IN ACCORDANCE WITH OSHA STANDARD 1926.704.  
OUT OR FORM OPENINGS FOR PIPE TO PROVIDE REQUIRED SIZE AND LOCATION. ORIENT WAFFLE WALL STRUCTURES SO THAT PIPES ENTER THROUGH THE KNOCKOUT/WAFFLE PANELS ONLY. PIPES MAY ENTER THROUGH THE CORNERS OF SOLID WALL BOXES IF A MINIMUM OF 6" OF WALL IS PROVIDED ABOVE THE HOLE.  
ALL ELEMENTS PRECAST TO MEET ASTM C913.  
FRAME AND GRATE HEIGHT MAY BE ADJUSTED WITH CONCRETE OR BRICK IN ACCORDANCE WITH STANDARD 840.25.  
PROVIDE PRECAST STRUCTURES OVER 4'-0" IN DEPTH WITH STEPS AS DIRECTED BY THE ENGINEER.  
WELDED WIRE FABRIC MAY BE SUBSTITUTED FOR REBAR AS LONG AS THE SAME AREA OF STEEL IS PROVIDED.  
SEAL JOINTS WITH A FLEXIBLE BUTYL RUBBER BASE CONFORMING TO FEDERAL SPECIFICATION SS-S-21A, ASD10 M-199, TYPE B - BUTYL RUBBER.  
LIMIT MAXIMUM STRUCTURE SIZE TO INSIDE CLEAR DIMENSIONS OF 5'-0" X 5'-0".  
THE OUTSIDE PIPE DIAMETER PLUS 2" OR THE OPENING REQUIRED FOR FRAME AND GRATE IS THE MINIMUM STRUCTURE SIZE WHICHEVER IS GREATER.  
USE MANHOLE FRAME AND COVER AS INDICATED ON THE PLANS. REINFORCE OPENING AS SHOWN ON THIS SHEET.

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### 8 TYPICAL BEDDING DETAILS

L-602 NOT TO SCALE

GENERAL NOTES:  
DO NOT OPERATE HEAVY EQUIPMENT OVER ANY PIPE UNLESS THE PIPE IS FULLY SUPPORTED BY THE BEDDING.  
DO NOT OPERATE HEAVY EQUIPMENT OVER ANY PIPE UNLESS THE PIPE IS FULLY SUPPORTED BY THE BEDDING.  
DO NOT OPERATE HEAVY EQUIPMENT OVER ANY PIPE UNLESS THE PIPE IS FULLY SUPPORTED BY THE BEDDING.

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### 9 TYPICAL ROOF DRAIN CLEANOUT

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9/5/2024

2042

C-47B

### NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES

NEW PROJECT FOR  
SCO ID# 22-24471-02A  
EADY BUILDING ADDITION  
4302 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date
	04/12
	05/07
	06/12
	06/25
	08/06

STORM DETAILS

DATE 09/06/2024

L-602

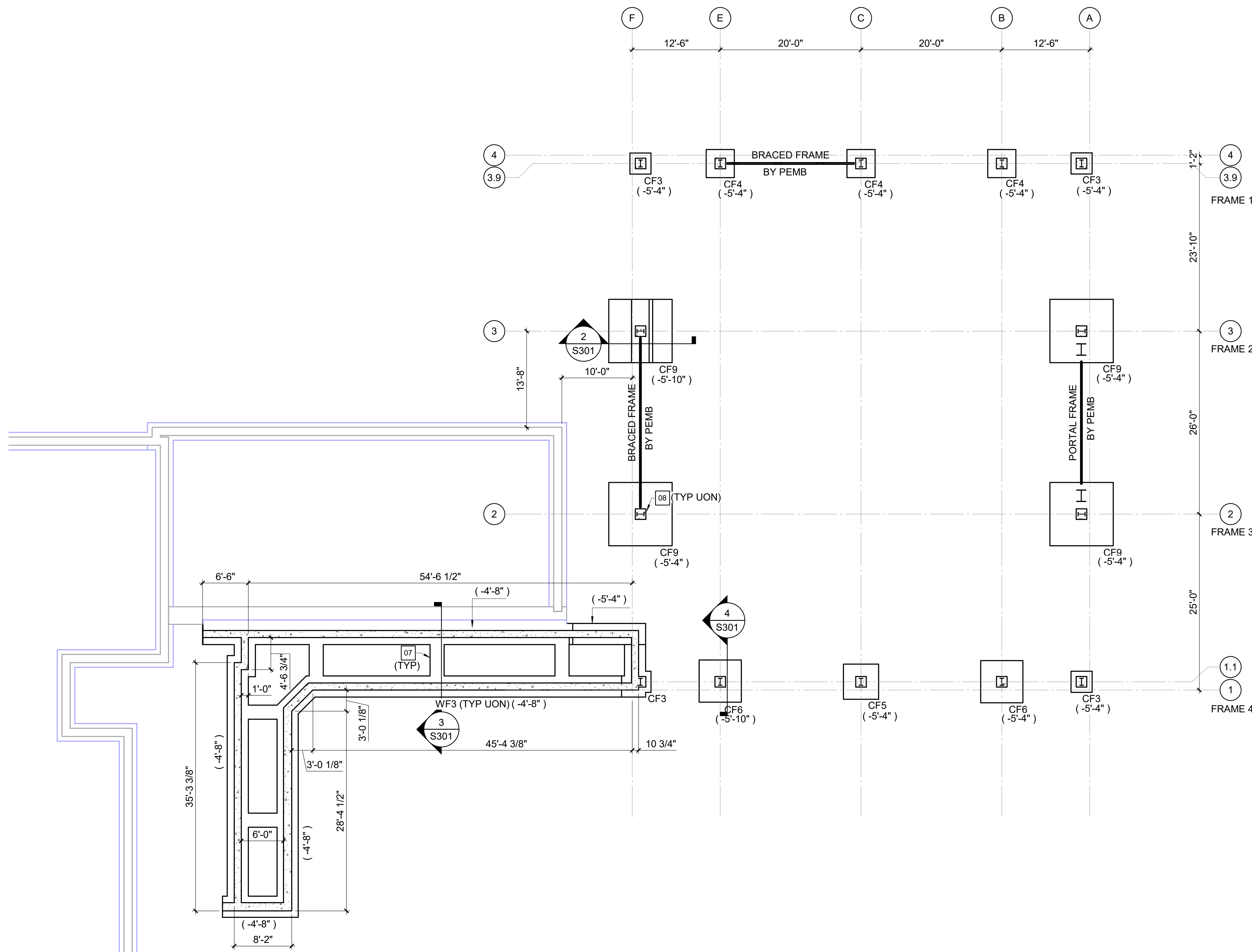


WALL FOOTING SCHEDULE				
MARK	SIZE		REINFORCING	
	WIDTH	DEPTH	CONTINUOUS	TRANSVERSE
WF3	3' - 0"	1'-0"	(4) #4 BOT	#4 AT 24" OC BOT

COLUMN FOOTING SCHEDULE					
MARK	SIZE			REINFORCING	
	LENGTH	WIDTH	DEPTH	BOTTOM	TOP
CF3	3' - 0"	3' - 0"	1'-6"	(4) #5 EW	(4) #5 EW
CF4	4' - 0"	4' - 0"	1'-6"	(5) #5 EW	(5) #5 EW
CF5	5' - 0"	5' - 0"	1'-6"	(6) #5 EW	(5) #5 EW
CF6	6' - 0"	6' - 0"	1'-6"	(7) #5 EW	(7) #5 EW
CF9	9' - 0"	9' - 0"	1'-6"	(10) #5 EW	(10) #5 EW

### FOUNDATION PLAN NOTES

- A. REFERENCE ARCHITECTURAL DRAWINGS FOR DIMENSIONS TO NONBEARING WALLS, WALL CONTROL JOINTS AND OPENINGS.
- B. UNLESS OTHERWISE NOTED, ALL ELEVATIONS ARE BASED ON A FINISHED FIRST FLOOR REFERENCE OF 0'-0". ACTUAL FINISHED FLOOR ELEVATION IS 447.5'. REFERENCE ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR MATERIALS.
- C. TOP OF ALL FOOTINGS MUST BE AT ELEVATION -4'-8" UNLESS OTHERWISE NOTED.
- D. NOT ALL UTILITY LOCATIONS ARE SHOWN ON PLAN. THE CONTRACTOR MUST COORDINATE THE LOCATIONS, SIZES, AND INVERTS OF UTILITIES. AT LOCATIONS WHERE UTILITIES PASS BELOW THE TOP OF FOOTING ELEVATION, STEP THE TOP OF FOOTING DOWN ON EACH SIDE PER THE "STEPPED FOOTING DETAIL" AND SLEEVE THE UTILITY THROUGH THE FOUNDATION WALL. THE CONTRACTOR MAY, AT HIS/HER OPTION, SLEEVE THE UTILITY THROUGH THE FOUNDATION PER THE "UTILITY SLEEVE DETAIL".
- E. UNLESS OTHERWISE INDICATED, EXTEND WALL FOOTINGS A MINIMUM OF 6 INCHES BEYOND ENDS OF WALLS.
- F. WHERE PIPE AND UTILITIES CROSS PERIMETER FOUNDATIONS, REFER TO "TYPICAL PIPE PENETRATION THROUGH PERIMETER FOOTING DETAILS." PIPES AND UTILITIES SHALL NOT RUN UNDERNEATH COLUMN FOUNDATIONS.

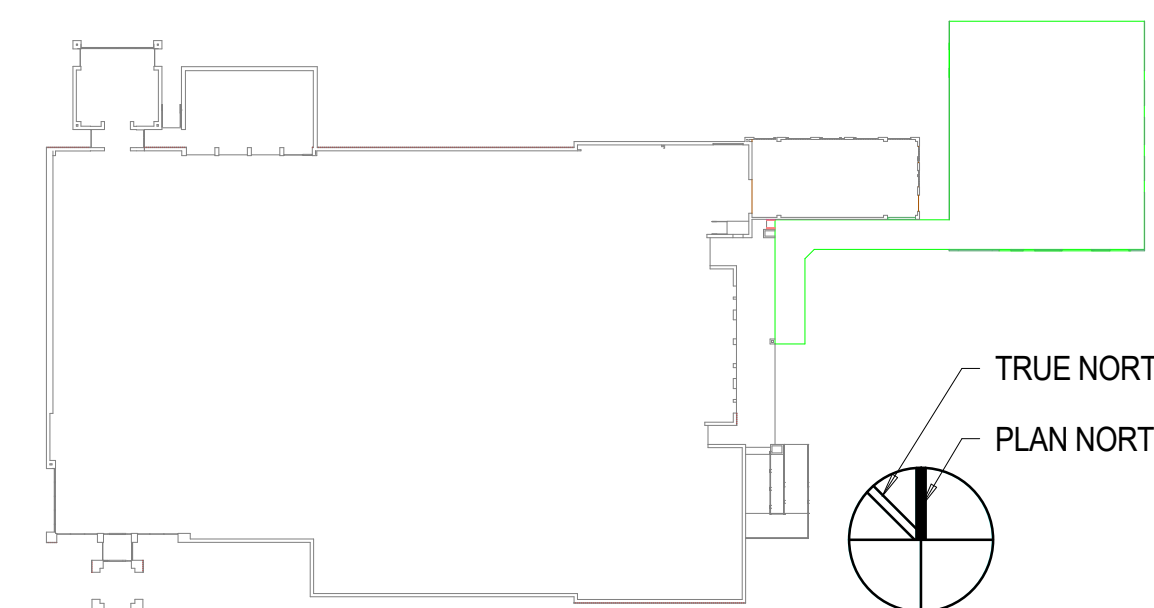


### KEY NOTES

- 07 24" WIDE x 12" DEEP GRADE BEAM WITH (4) #5 CONTINUOUS REINFORCING TOP AND BOTTOM.
- 08 18" CONCRETE PEDESTAL.
- X1 EXISTING WALL.

**1 FOUNDATION PLAN**  
1/8" = 1'-0"

### KEY PLAN



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LA Project Number: LM23-048

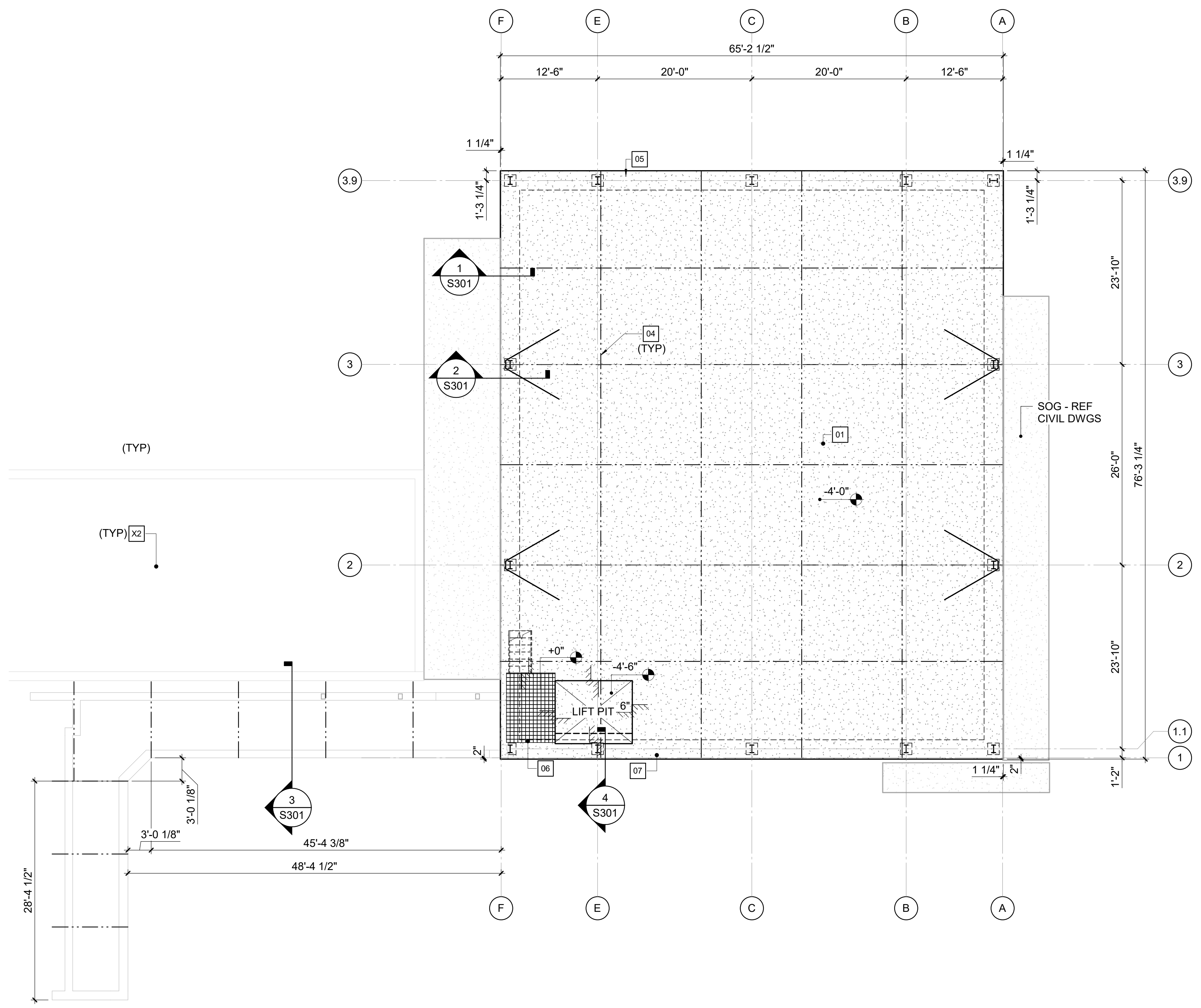
NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
SCO ID#: 22-24471-02A  
**EADDY BUILDING DETACHED ADDITION**  
4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

FOUNDATION PLAN

DATE  
09-06-24

**S111**



**1 SLAB PLAN**  
1/8" = 1'-0"

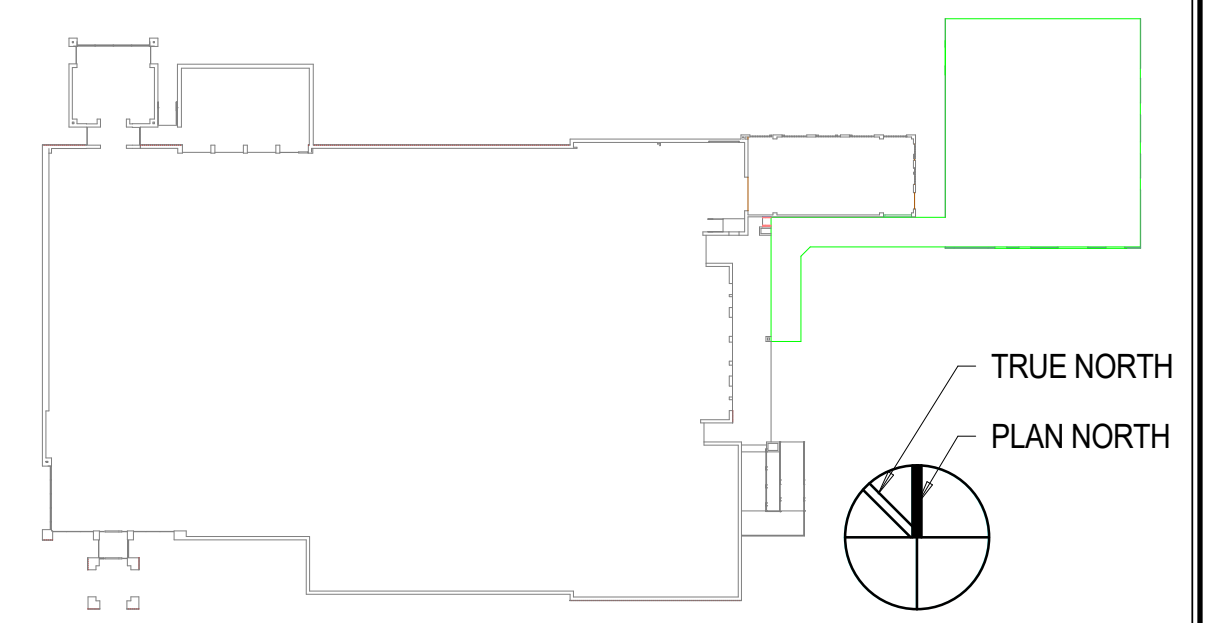
**SLAB PLAN NOTES**

- A. REFERENCE ARCHITECTURAL DRAWINGS FOR DIMENSIONS TO NONBEARING WALLS, WALL CONTROL JOINTS AND OPENINGS.
- B. UNLESS OTHERWISE NOTED, ALL ELEVATIONS ARE BASED ON A FINISHED FIRST FLOOR REFERENCE OF 0'-0". ACTUAL FINISHED FLOOR ELEVATION IS 447.5'. REFERENCE ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR MATERIALS.
- C. REFERENCE ARCHITECTURAL DRAWINGS FOR EXACT LIMITS OF SLAB DEPRESSIONS AND OMITTED SLABS.
- D. DIMENSIONS SHOWN ON FOUNDATION PLAN ARE TO COLUMN GRIDLINES AND OUTSIDE FACE OF FOUNDATION WALLS, UNLESS OTHERWISE NOTED
- E. FLOOR SINKS AND DRAINS ARE NOT SHOWN ON PLAN. REFERENCE PME DRAWINGS FOR LOCATIONS.
- F. REFERENCE CIVIL AND LANDSCAPE DRAWINGS FOR EXTERIOR CONCRETE SLABS AND PAVING.
- G. SLAB-ON-GRADE JOINTS MUST BE SAWED JOINTS OR FORMED CONSTRUCTION JOINTS, UNLESS OTHERWISE NOTED. CONTRACTOR MUST COORDINATE ALL SLAB JOINTS WITH JOINTS IN BONDED FLOOR FINISHES. REFERENCE ARCHITECTURAL DRAWINGS FOR FLOOR FINISH JOINT LOCATIONS.
- H. PLACE (1) #4 x 3'-0" IN MIDDLE OF SLAB AT RE-ENTRANT CORNERS WHERE A SLAB JOINT DOES NOT OCCUR.

**KEY NOTES**

- 01 6" CONCRETE SLAB-ON-GRADE OVER VAPOR RETARDER AND 4" DEPTH OF POROUS FILL UNLESS OTHERWISE INDICATED. REINFORCE SLAB WITH 4x4-W2.9xW2.9 WELDED WIRE REINFORCING PLACED 1 1/2" CLEAR BELOW TOP OF SLAB. MAINTAIN REINFORCEMENT IN POSITION ON BOLSTERS, CHAIRS OR SPACERS DURING CONCRETE PLACEMENT SPACED NOT MORE THAN 24" O/C.
- 02 6" CONCRETE SLAB-ON-GRADE OVER 4" DEPTH OF POROUS FILL UNLESS OTHERWISE INDICATED. REINFORCE SLAB WITH #4 AT 16" OC EACH WAY LOCATED 2" CLEAR BELOW TOP OF SLAB AND #5 AT 16" OC SHORT WAY LOCATED 1-1/2" CLEAR FROM BOTTOM OF SLAB STAGGERED WITH TOP BARS. MAINTAIN REINFORCEMENT IN POSITION ON BOLSTERS, CHAIRS OR SPACERS DURING CONCRETE PLACEMENT.
- 04 DOWELED CONTROL JOINT - LOCATION CRITICAL DUE TO HAIR PINS. LOCATION OF BRACED FRAME. SEE PEMB DRAWINGS FOR END BAY DESIGN. END BAYS HAVE NOT BEEN DESIGNED FOR FUTURE BUILDING EXPANSION.
- 06 PRE-MANUFACTURED GALVANIZED STEEL PLATFORM 10'x6' WITH STAIR AND HANDRAILS. TOP OF PLATFORM = +4'-0". PROVIDE VERTICAL LIFT GATE AT HYDRAULIC LIFT.
- 07 24" WIDE x 12" DEEP GRADE BEAM WITH (4) #5 CONTINUOUS REINFORCING TOP AND BOTTOM.
- X1 EXISTING WALL.
- X2 EXISTING SLAB.

**KEY PLAN**



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LA Project Number: LM23-046

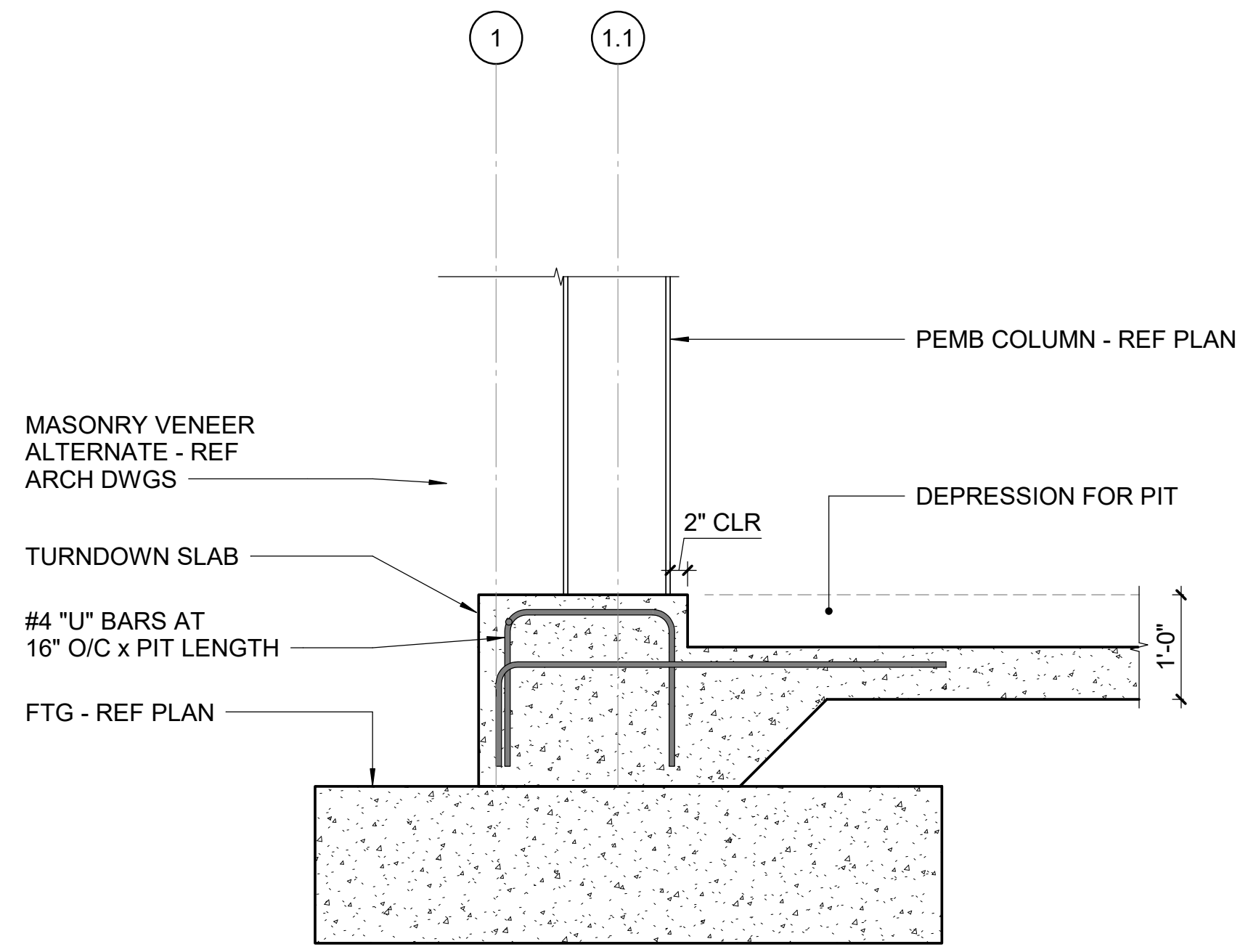
NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
SCO ID#: 22-24471-02A

**EADDY BUILDING DETACHED ADDITION**  
4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

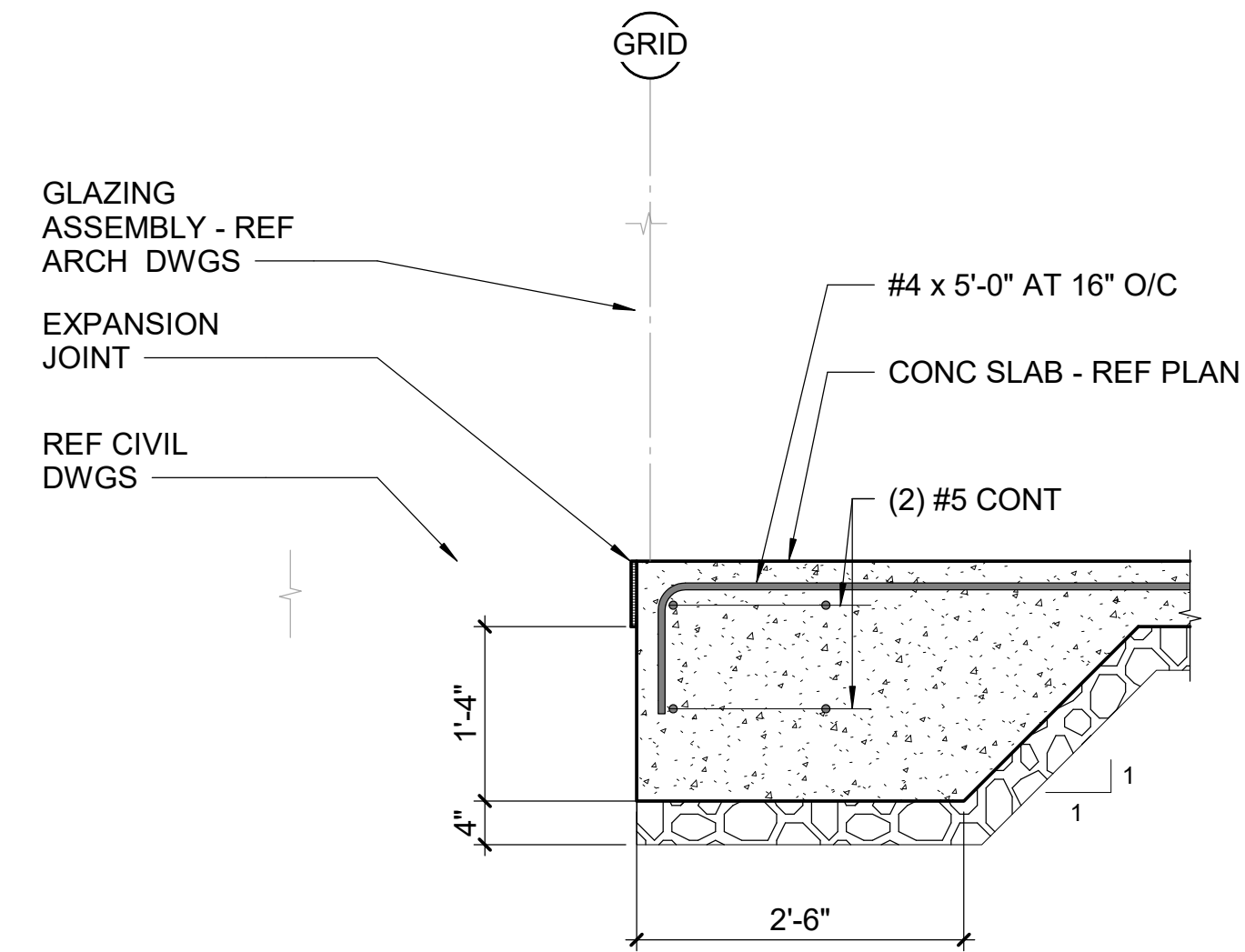
SLAB PLAN

DATE  
09-06-24  
**S112**

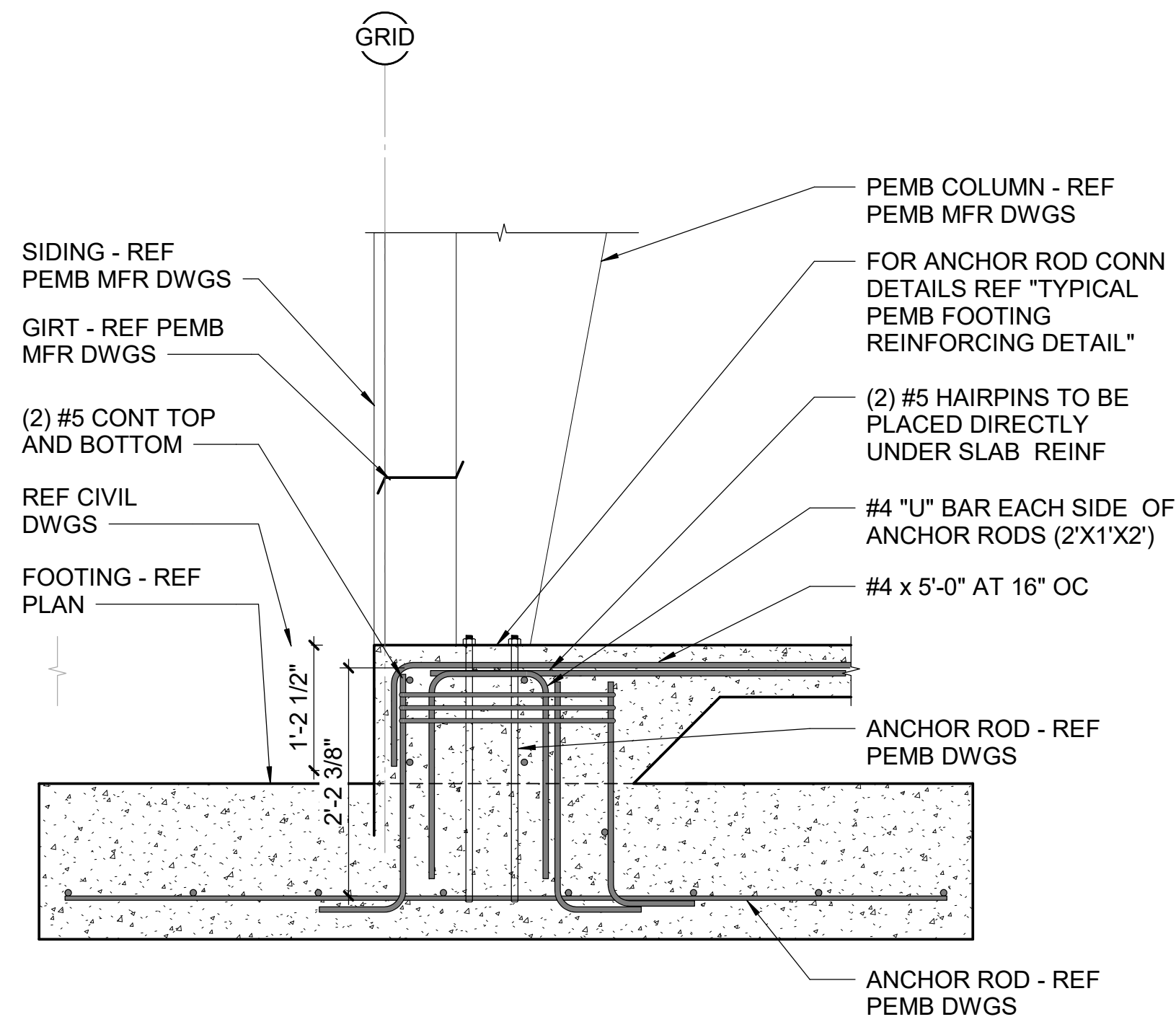


FOR DETAILS NOT SHOWN  
REFERENCE 2/S301

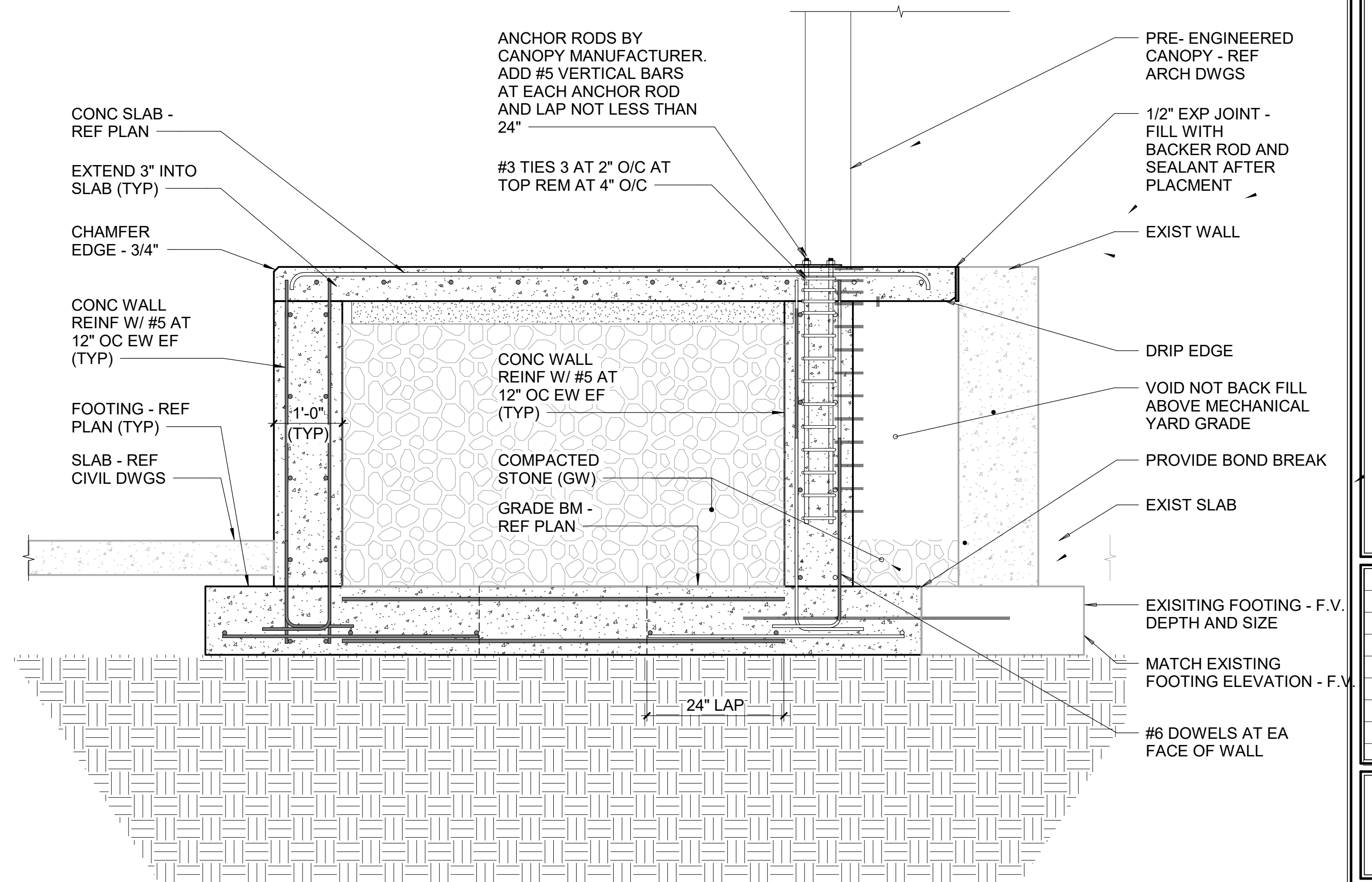
**4** SECTION  
3/4" = 1'-0"



**1** SECTION  
3/4" = 1'-0"



**2** SECTION  
3/4" = 1'-0"



**3** SECTION  
3/4" = 1'-0"

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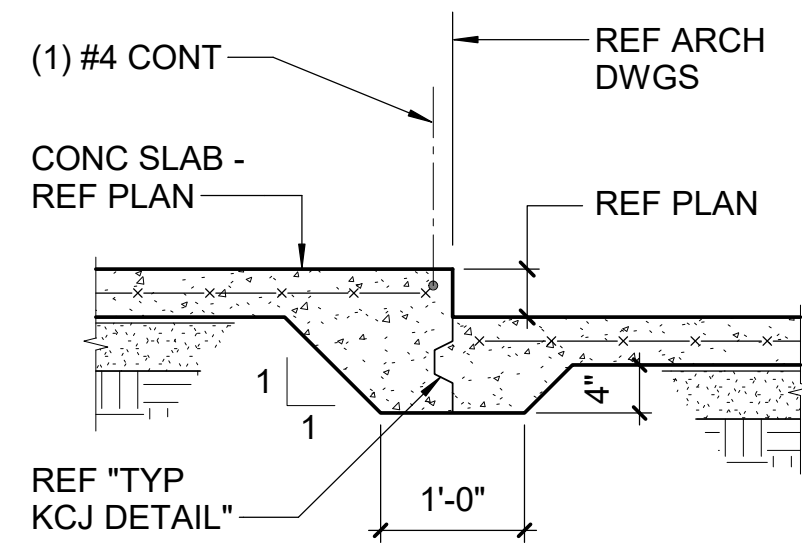
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SECTIONS

DATE  
09-06-24

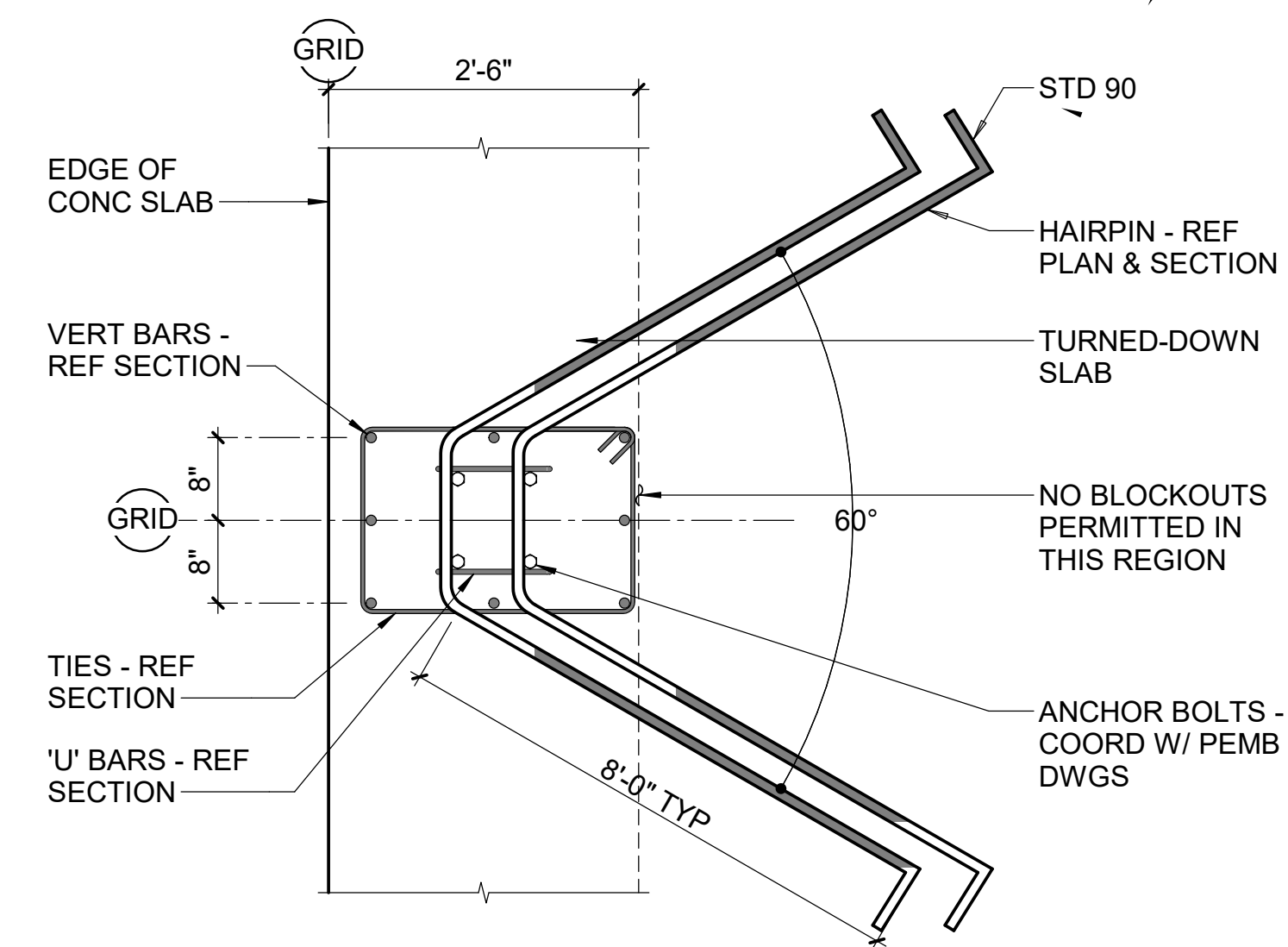
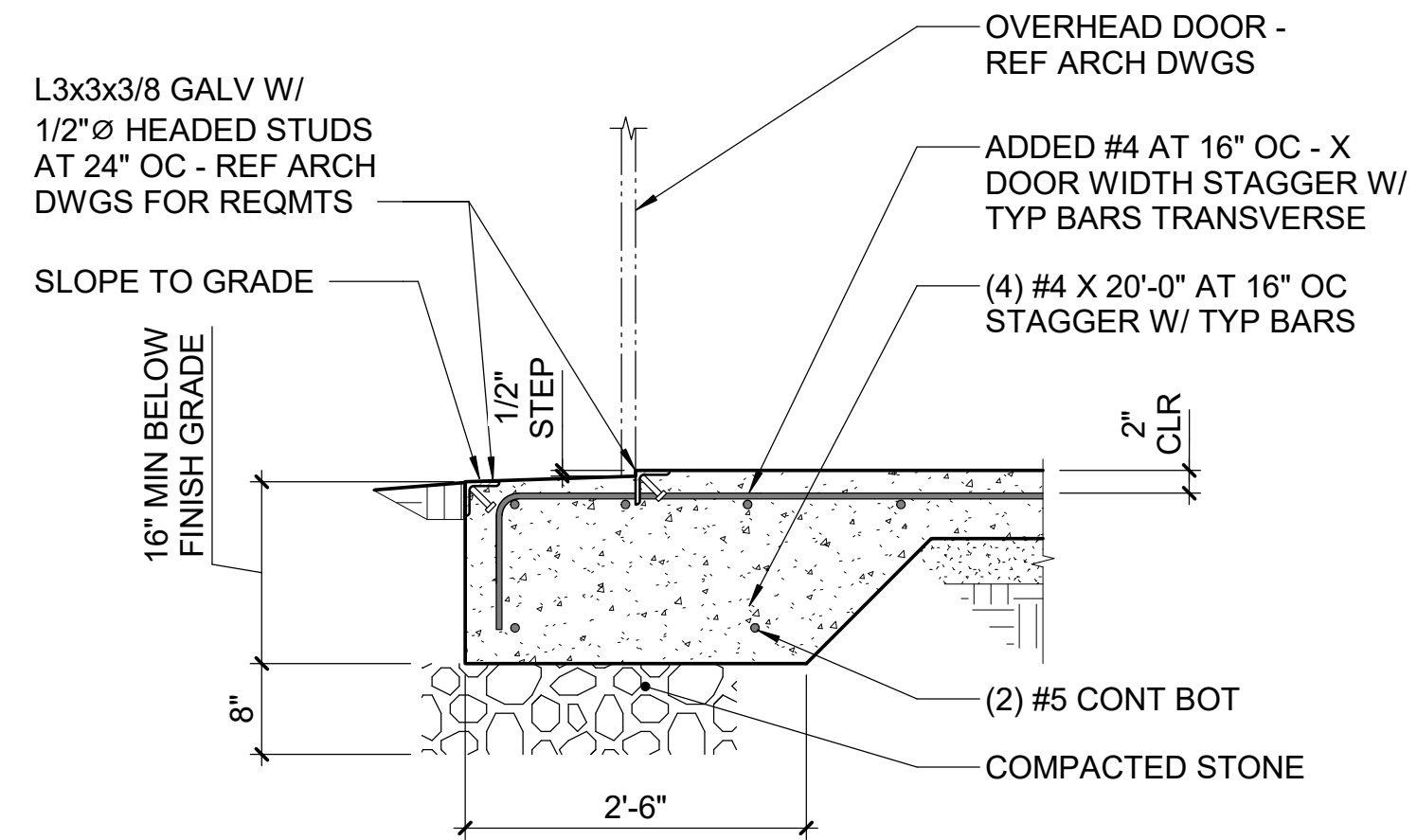
**S301**





GREATER THAN 4"

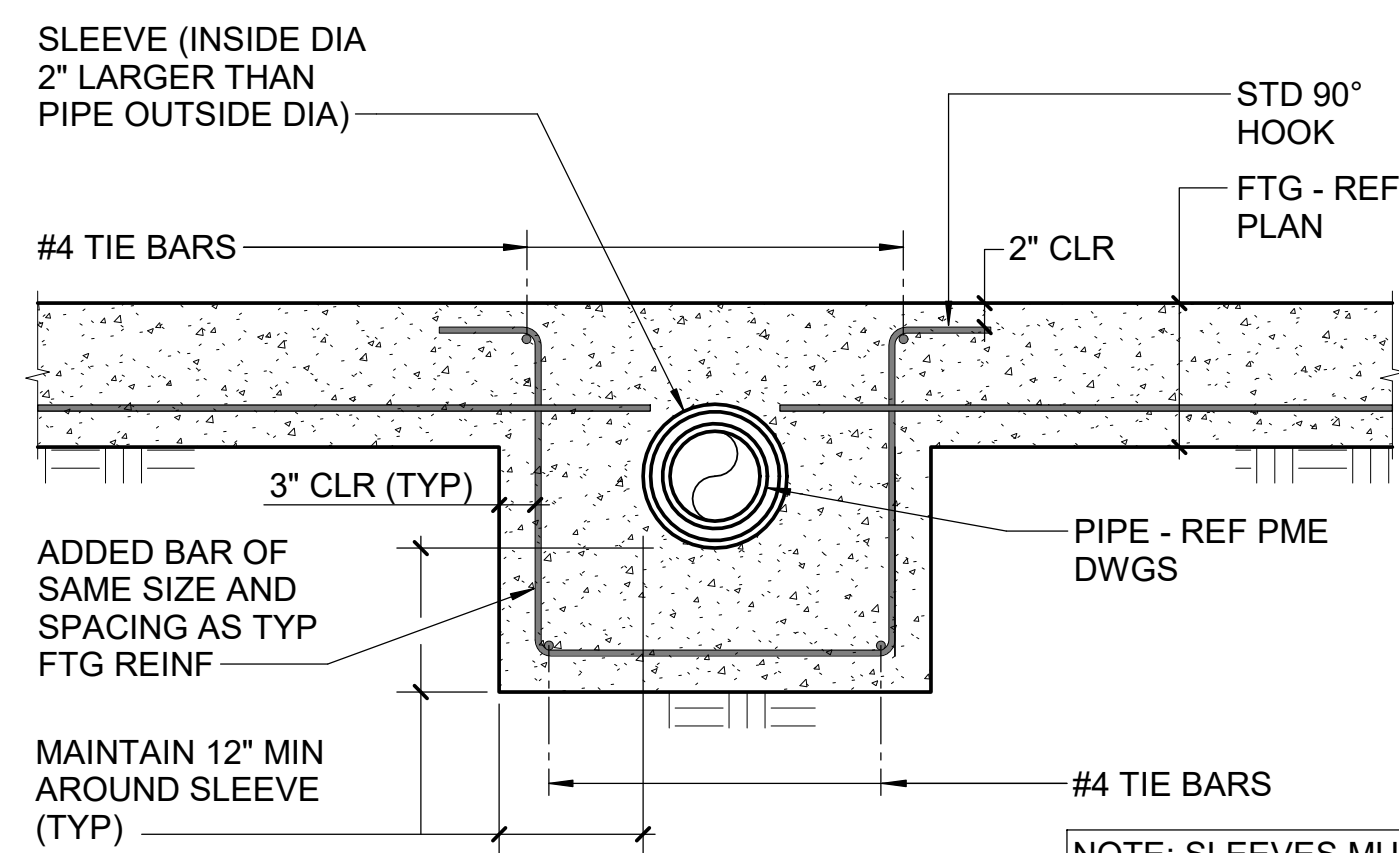
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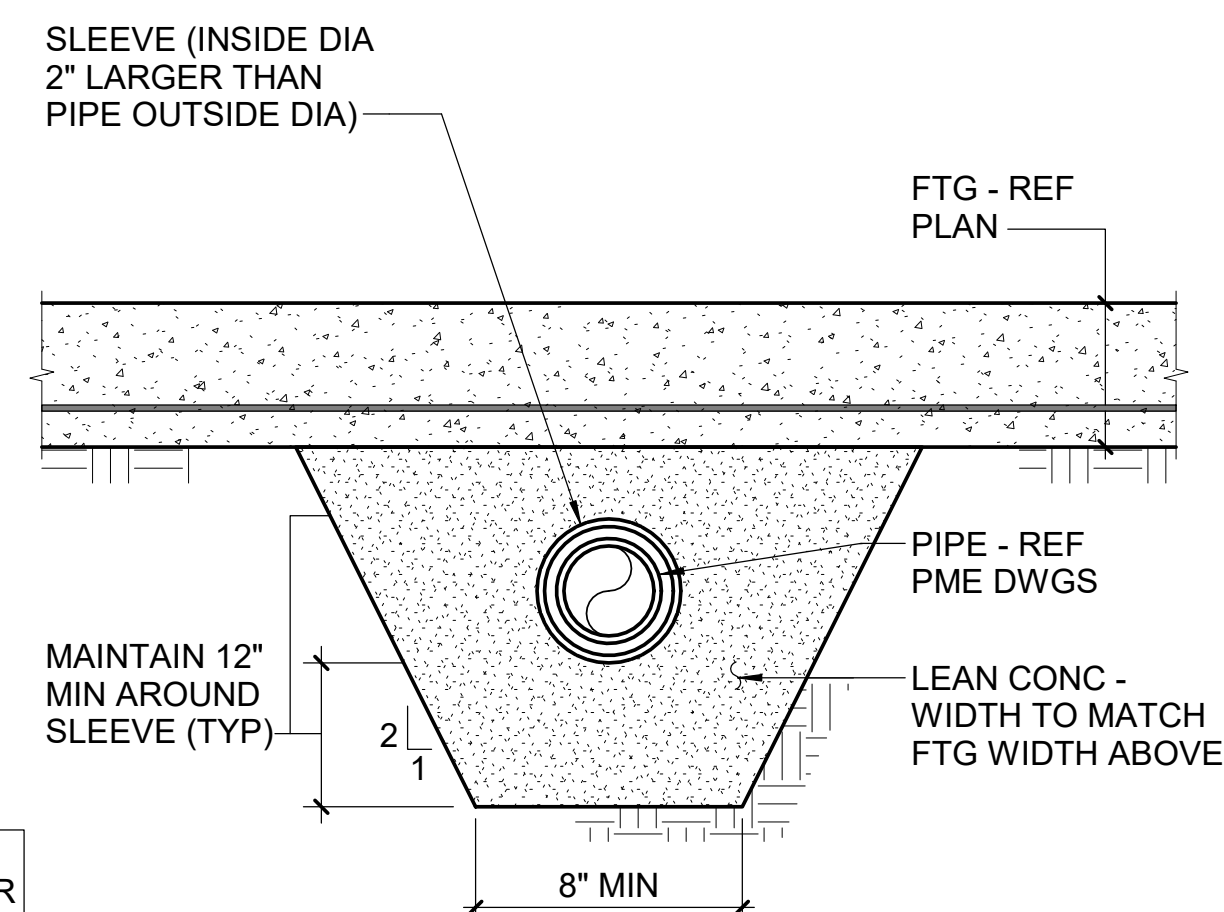
7 TYPICAL DEPRESSED SLAB DETAILS  
3/4" = 1'-0"

6 TYPICAL FOUNDATION AT OVERHEAD DOORS DETAIL  
NTS

8 TYPICAL PEMB FOOTING REINFORCING DETAIL  
3/4" = 1'-0"

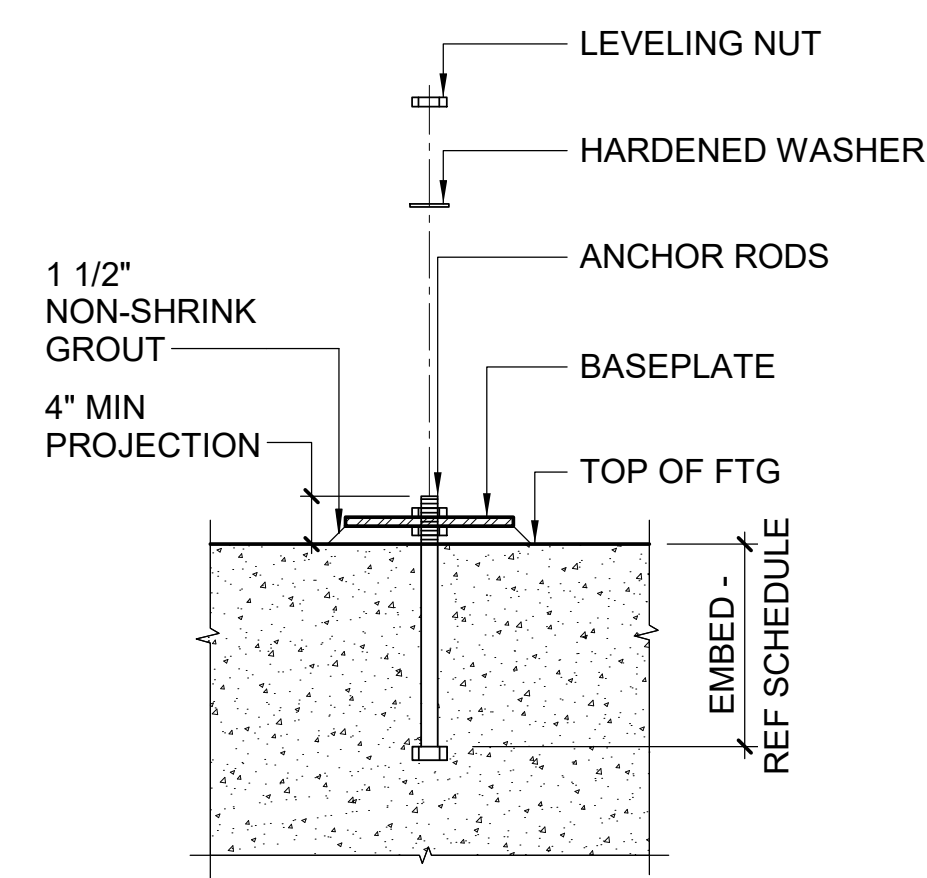


THROUGH FOOTING



BELOW FOOTING

NOTE: SLEEVES MUST NOT BE LOCATED IN OR UNDER COL FTGS.



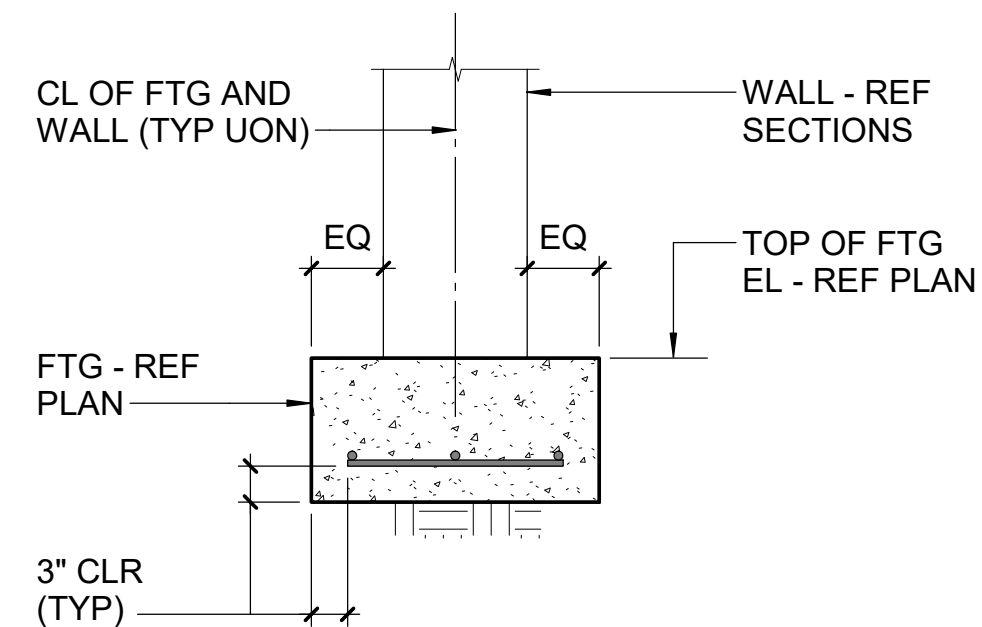
NOTE: FTG REINF NOT SHOWN.

ANCHOR ROD EMBEDMENT SCHEDULE	
ANCHOR ROD DIAMETER	EMBEDMENT
3/4" Ø	12"
1" Ø	12"

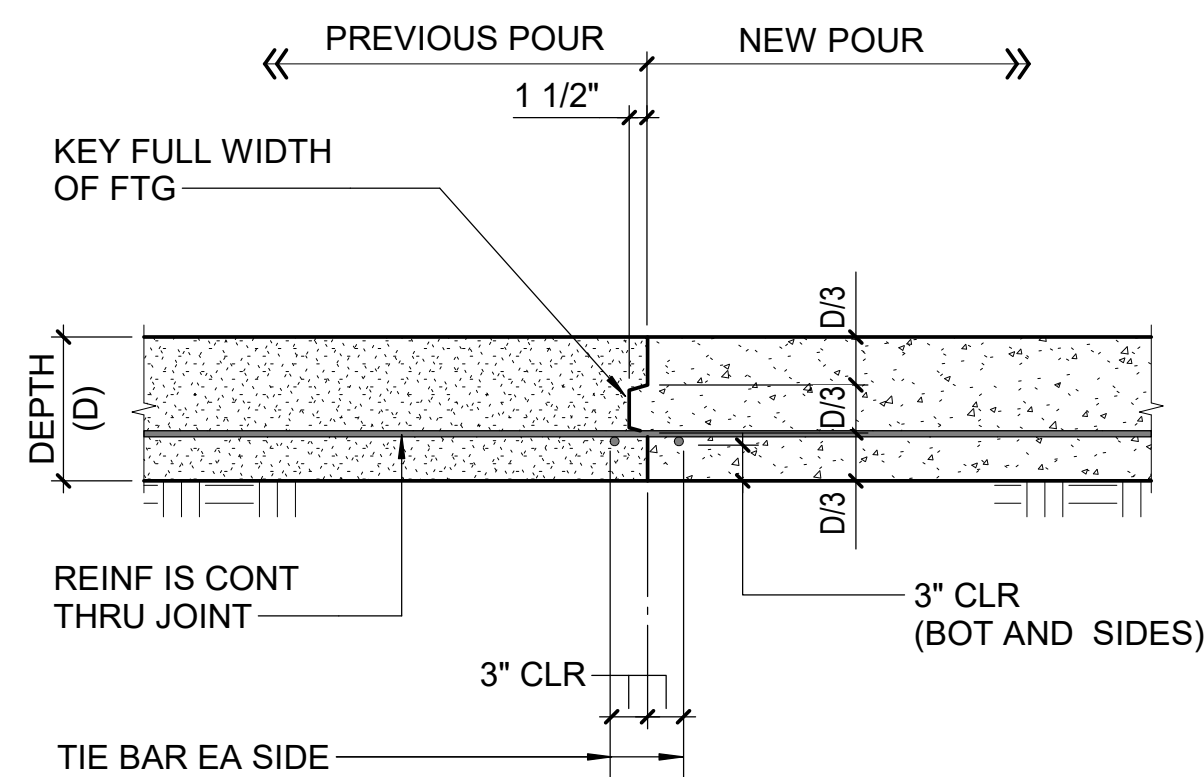
NOTE: ALL ANCHOR RODS SHALL BE ASTM F1554, GRADE 55 OR BETTER WITH HEAVY HEX NUTS TACK WELDED TO BOTTOM OF ANCHOR RODS.

5 TYPICAL PIPE SLEEVE AT WALL FOOTING DETAILS  
NTS

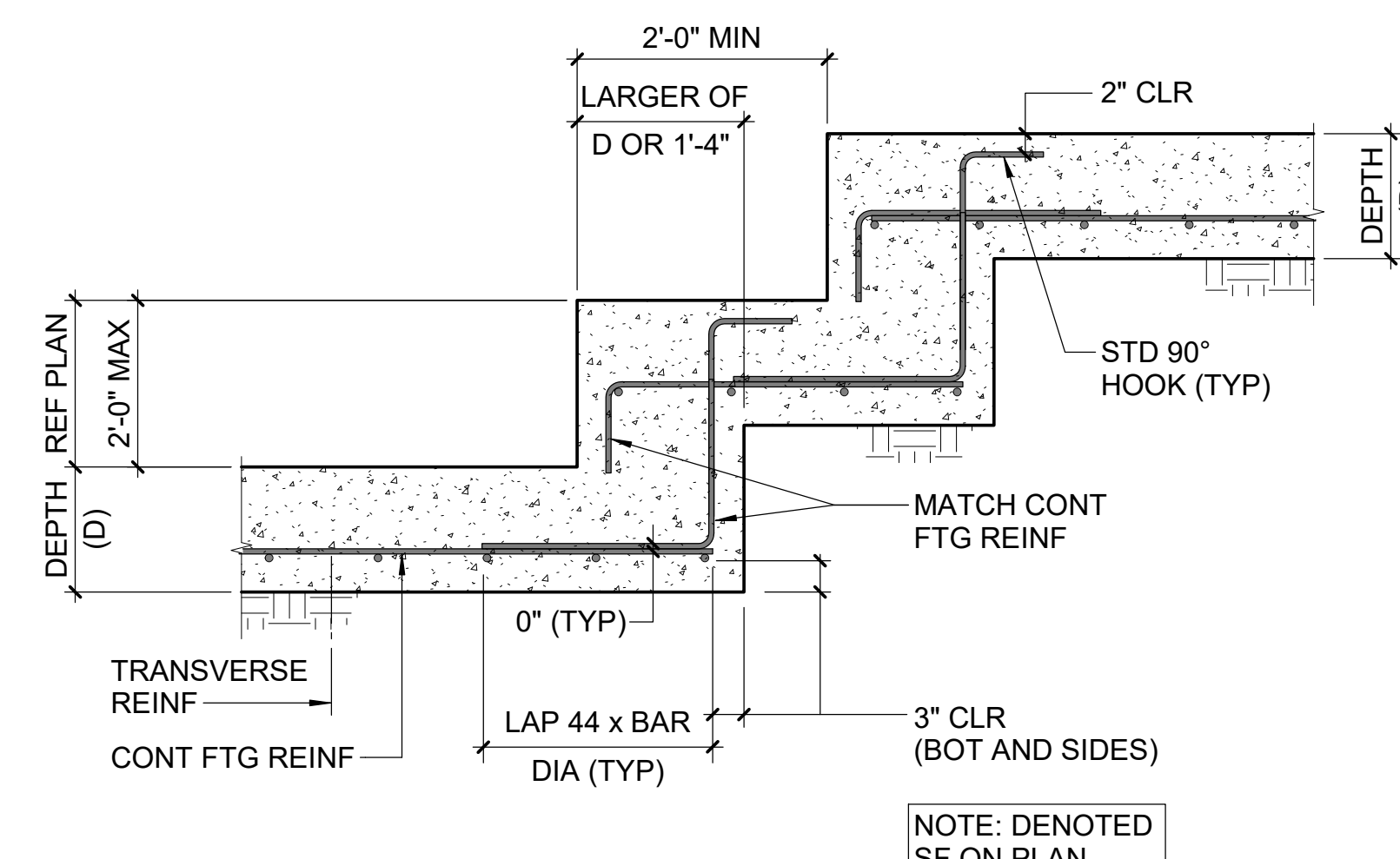
3 TYPICAL ANCHOR ROD EMBEDMENT DETAIL  
NTS



1 TYPICAL WALL FOOTING DETAIL  
3/4" = 1'-0"

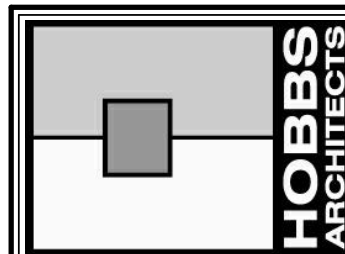


4 TYPICAL WALL FOOTING CONSTRUCTION JOINT DETAIL  
NTS



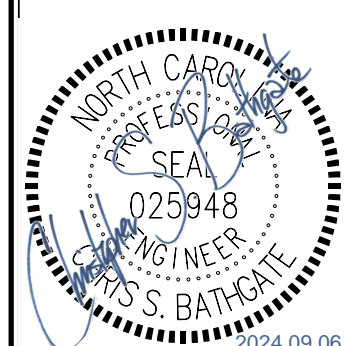
NOTE: DENOTED SF ON PLAN.

2 TYPICAL STEPPED WALL FOOTING DETAIL  
3/4" = 1'-0"



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**lynchmykins**  
Structural Engineers  
125 Elm St., Suite 205  
Greensboro, NC 27401  
336-339-1702 - lynchmykins.com  
LA Project Number: LM23-048



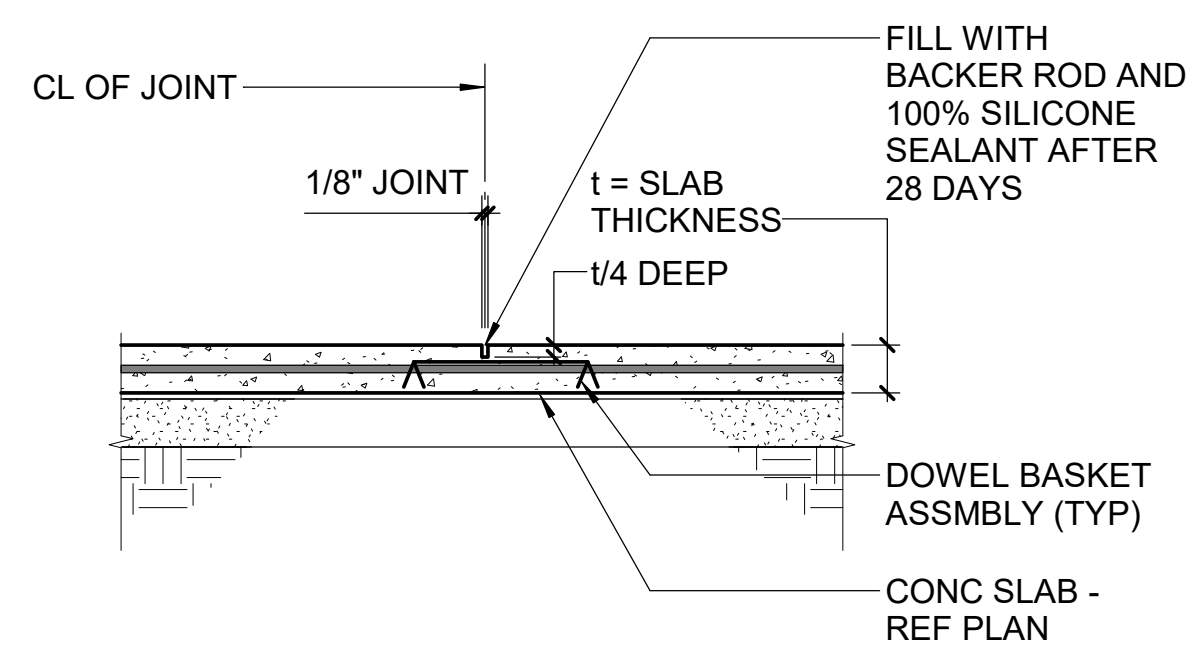
NEW PROJECT FOR  
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SCO ID#: 22-24471-02A  
**EADDY BUILDING DETACHED ADDITION**  
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No.	Date

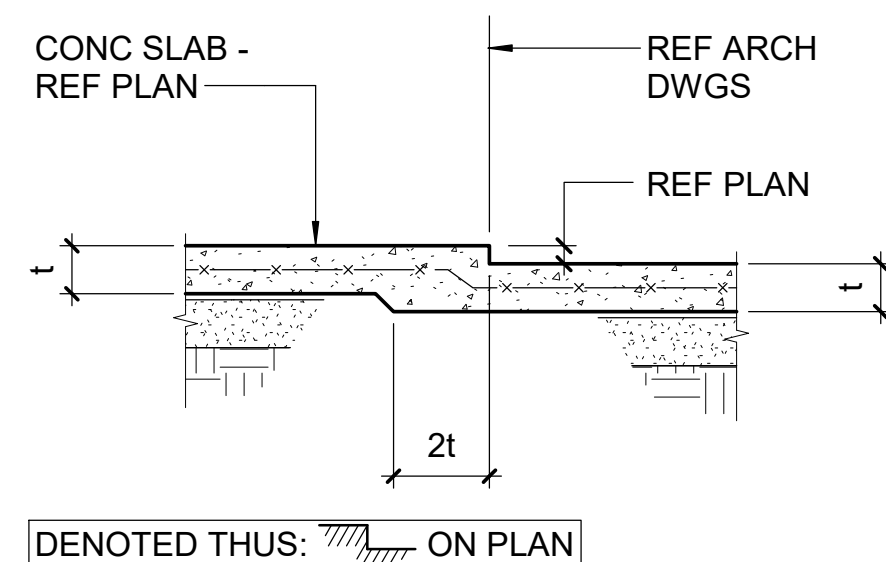
TYPICAL DETAILS

DATE  
09-06-24  
**S501**

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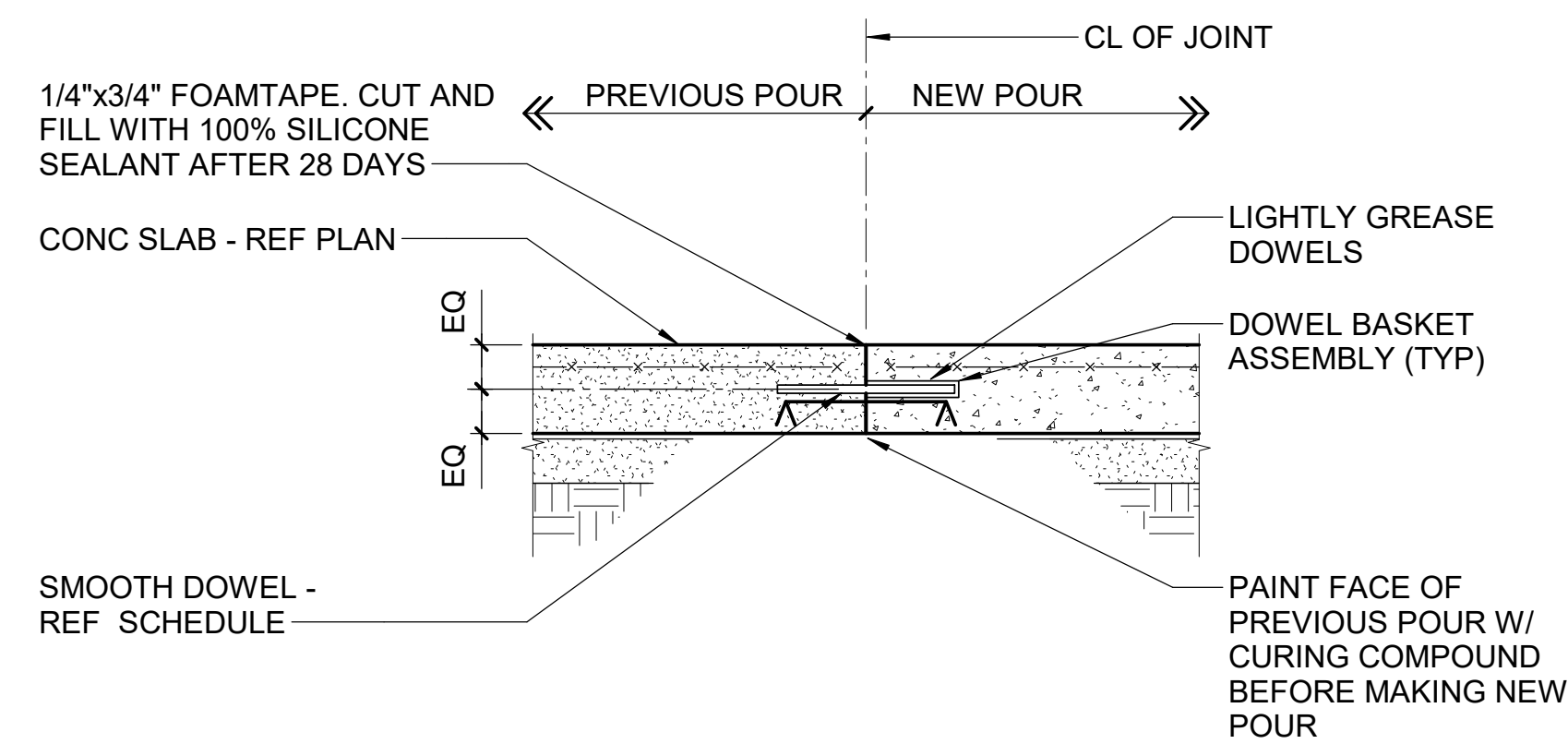


1 TYPICAL SAWED JOINT DETAIL  
3/4" = 1'-0"

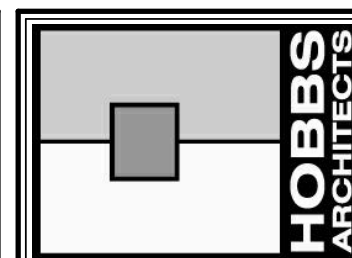


3 TYPICAL DEPRESSED SLAB DETAIL  
3/4" = 1'-0"

SMOOTH DOWEL SCHEDULE		
SLAB DEPTH	SIZE	SPACING
6"	3/4"Ø x 14" LONG	12"OC

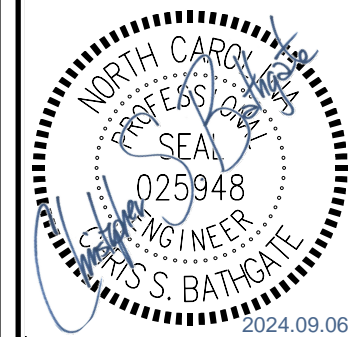


2 TYPICAL DOWELED CONSTRUCTION JOINT DETAIL  
3/4" = 1'-0"



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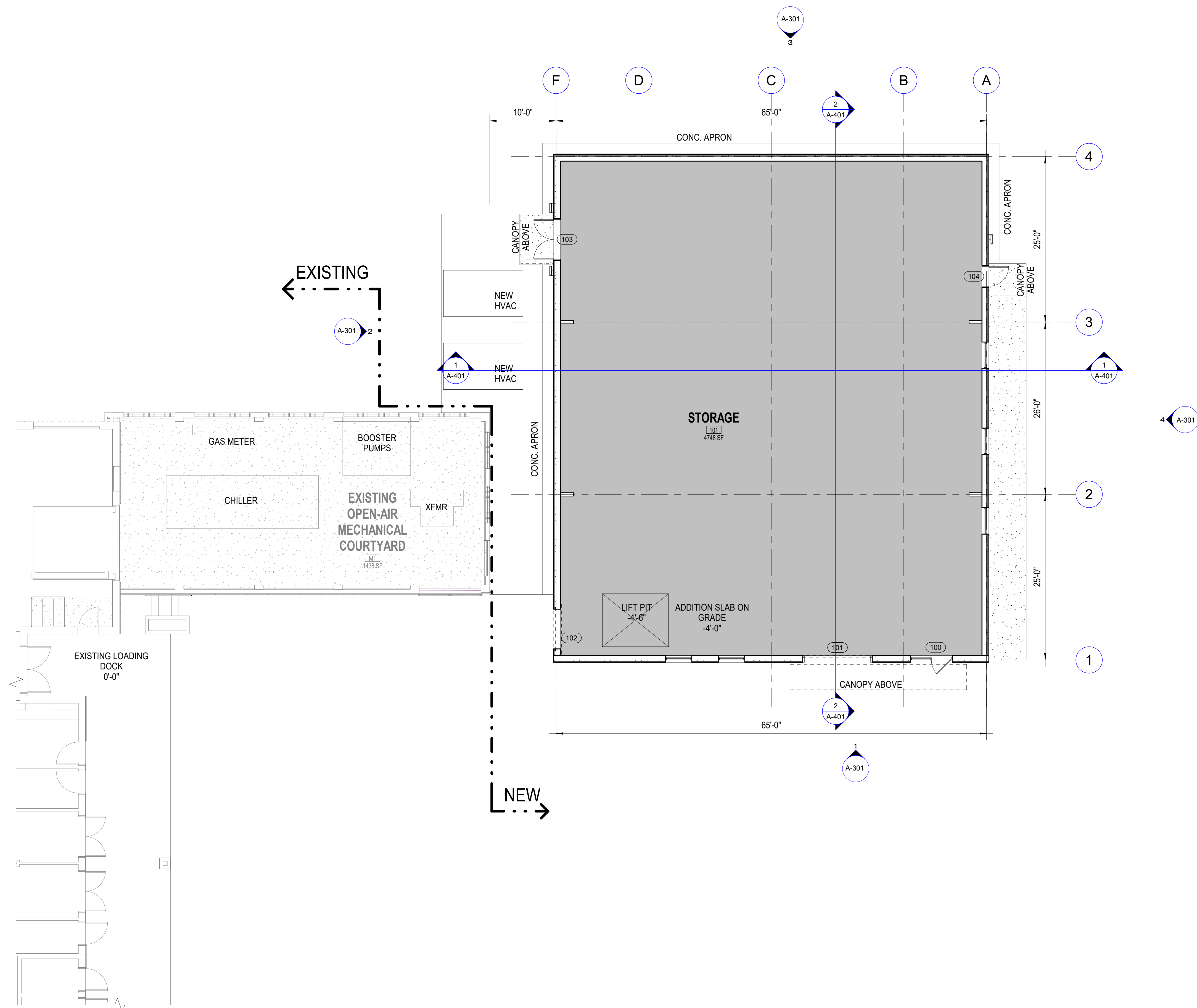


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SCO ID#: 22-24471-02A  
**EADDY BUILDING DETACHED ADDITION**  
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No.	Date

TYPICAL  
DETAILS

DATE  
09-06-24  
**S502**

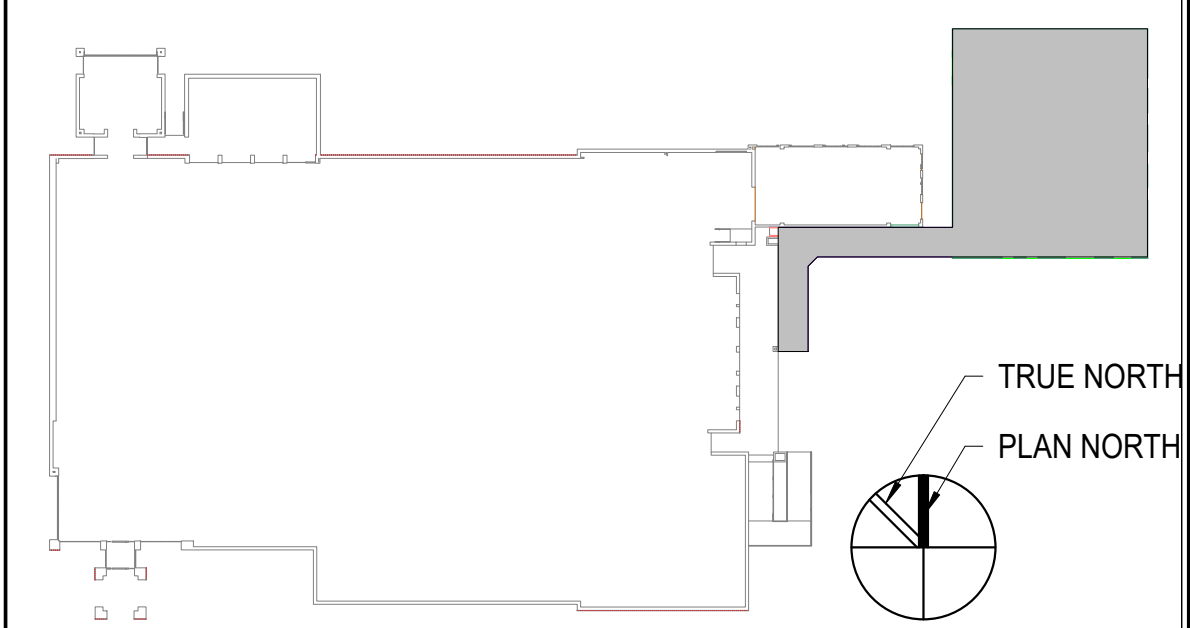


1 1ST FLOOR PLAN - ADDITION - BASE BID  
SCALE: 1/8" = 1'-0"

**FLOOR PLAN GENERAL NOTES**

1. SEE SITE CIVIL AND LANDSCAPE PLANS FOR CONTINUATION OF WORK OUTSIDE OF BUILDING.
2. DETACHED ADDITION AS SHOWN IS TO BE A PRE-ENGINEERED METAL BUILDING (PEMB) WITH DELEGATED DESIGN AS SHOWN IN DRAWINGS AND DESCRIBED IN SPECIFICATIONS. ANY DEVIATIONS FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PROCUREMENT OR INSTALLATION.

**KEY PLAN**



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*M. J. J.*  
9.20.24

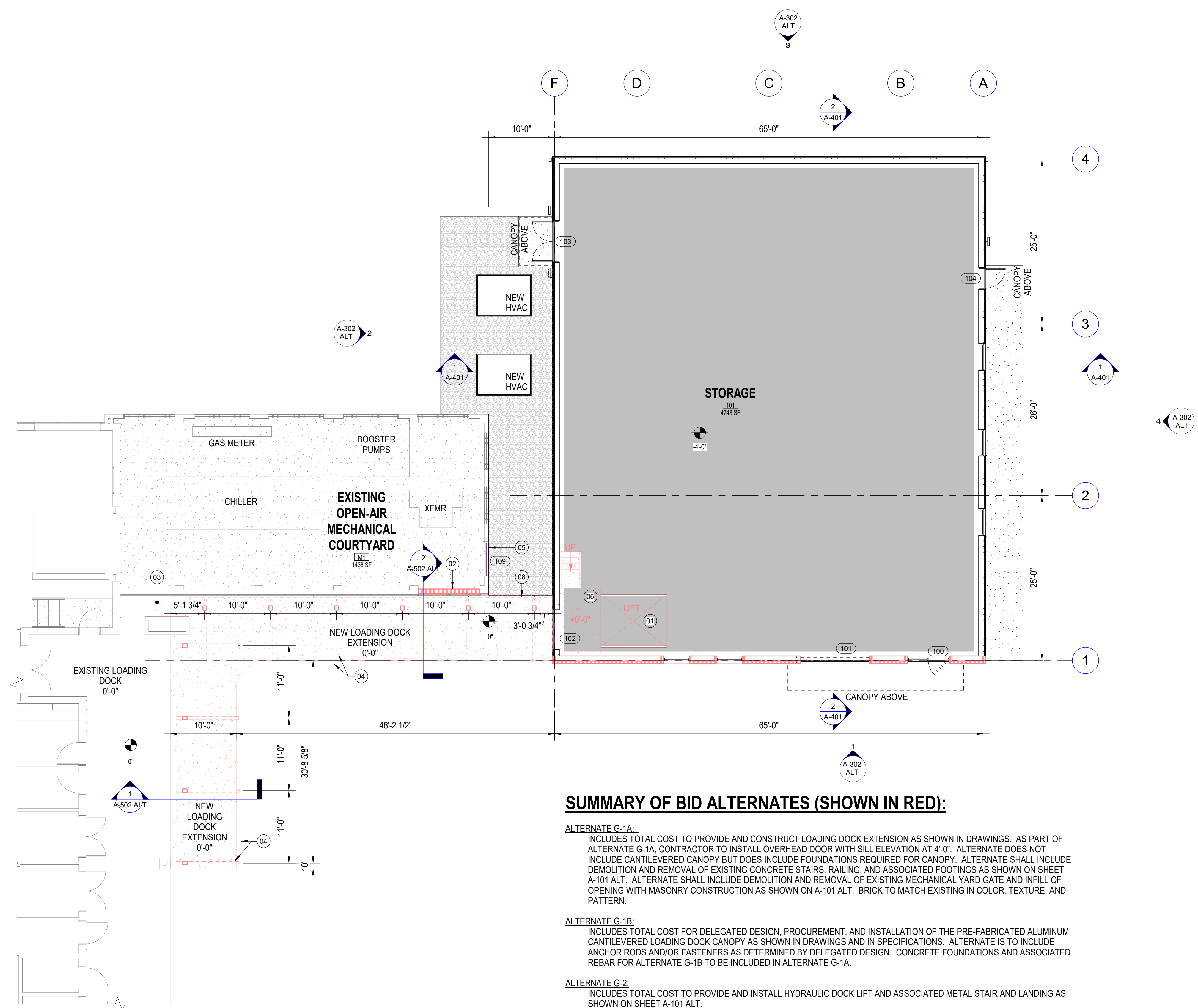
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EADDY BUILDING DETACHED ADDITION  
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No.	Date

FIRST FLOOR  
PLAN - BASE  
BID

DATE  
9/6/24

**A-101**



**SUMMARY OF BID ALTERNATES (SHOWN IN RED):**

**ALTERNATE G-1A:**  
 INCLUDES TOTAL COST TO PROVIDE AND CONSTRUCT LOADING DOCK EXTENSION AS SHOWN IN DRAWINGS. AS PART OF ALTERNATE G-1A, CONTRACTOR TO INSTALL OVERHEAD DOOR WITH SILL ELEVATION AT 4'-0". ALTERNATE DOES NOT INCLUDE CANTILEVERED CANOPY BUT DOES INCLUDE FOUNDATIONS REQUIRED FOR CANOPY. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING CONCRETE STAIRS, RAILING, AND ASSOCIATED FOOTINGS AS SHOWN ON SHEET A-101 ALT. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING MECHANICAL YARD GATE AND INFILL OF OPENING WITH MASONRY CONSTRUCTION AS SHOWN ON A-101 ALT. BRICK TO MATCH EXISTING IN COLOR, TEXTURE, AND PATTERN.

**ALTERNATE G-1B:**  
 INCLUDES TOTAL COST FOR DELEGATED DESIGN, PROCUREMENT, AND INSTALLATION OF THE PRE-FABRICATED ALUMINUM CANTILEVERED LOADING DOCK CANOPY AS SHOWN IN DRAWINGS AND IN SPECIFICATIONS. ALTERNATE IS TO INCLUDE ANCHOR RODS AND/OR FASTENERS AS DETERMINED BY DELEGATED DESIGN. CONCRETE FOUNDATIONS AND ASSOCIATED REBAR FOR ALTERNATE G-1B TO BE INCLUDED IN ALTERNATE G-1A.

**ALTERNATE G-2:**  
 INCLUDES TOTAL COST TO PROVIDE AND INSTALL HYDRAULIC DOCK LIFT AND ASSOCIATED METAL STAIR AND LANDING AS SHOWN ON SHEET A-101 ALT.

**ALTERNATE G-3:**  
 INCLUDES TOTAL COST TO PROVIDE AND INSTALL BRICK VENEER ON FRONT FAÇADE AS SHOWN ON SHEET A-301 ALT. ALTERNATE SHALL INCLUDE COST TO PROVIDE AND INSTALL ALL RELATED FRAMING, ANCHORS, FLASHINGS, AND ACCESSORIES AS SPECIFIED IN SECTION 04 22 00 UNIT MASONRY.

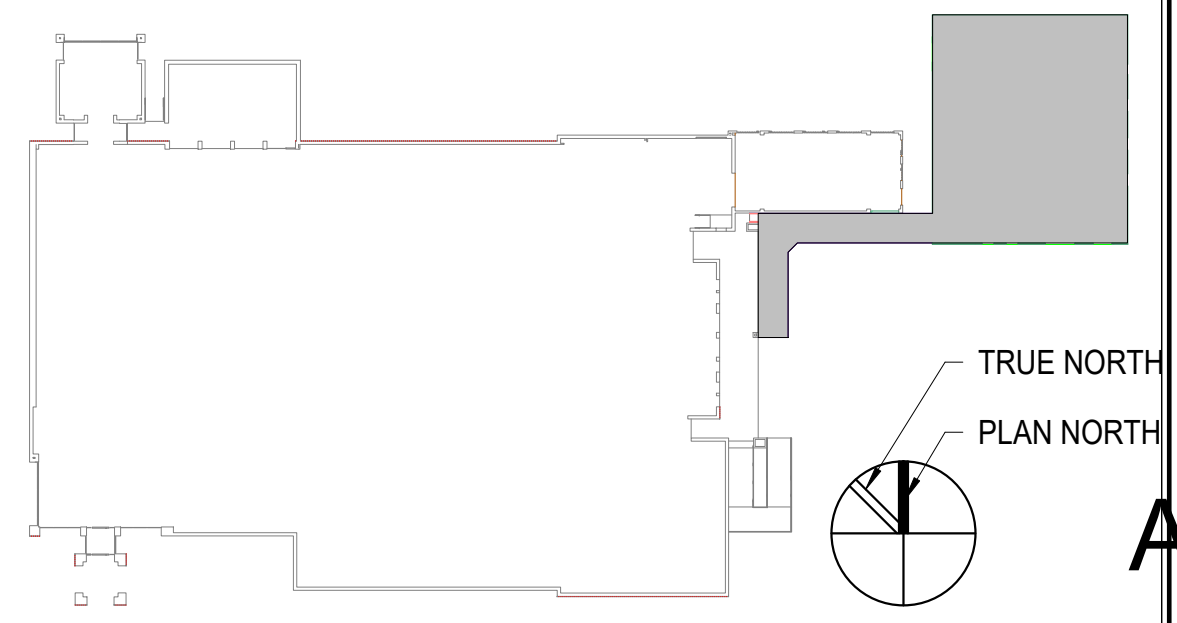
**FLOOR PLAN GENERAL NOTES**

1. SEE SITE CIVIL AND LANDSCAPE PLANS FOR CONTINUATION OF WORK OUTSIDE OF BUILDING.
2. DETACHED ADDITION AS SHOWN IS TO BE A PRE-ENGINEERED METAL BUILDING (PEMB) WITH DELEGATED DESIGN AS SHOWN IN DRAWINGS AND DESCRIBED IN SPECIFICATIONS. ANY DEVIATIONS FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PROCUREMENT OR INSTALLATION.

**BASE BID + ALT PLAN SHEET NOTES**

- 01 NEW HYDRAULIC DOCK LIFT - SEE SPECIFICATIONS
- 02 DEMOLISH EXISTING MTL. GATE FOR MASONRY INFILL TO MATCH EXISTING SCREENWALL
- 03 DEMOLISH EXISTING MTL. & CONCRETE STAIRS FOR SLAB INFILL
- 04 NEW PREFABRICATED ALUMINUM CANTILEVERED CANOPY. SEE WALL SECTIONS AND SPECIFICATIONS.
- 05 DEMOLISH PORTION OF EXISTING BRICK WALL, PREPARE FOR NEW MTL. DOORS.
- 06 NEW METAL GRATE STAIR AND LANDING - SEE SPECIFICATIONS.
- 07 PROVIDE NEW DOCK BUMPERS AT EXTENDED LOADING DOCK - SEE SPECIFICATIONS.
- 08 PROVIDE NEW PAINTED METAL GUARDRAIL AT REAR OF LOADING DOCK WHERE SHOWN. SEE SPECIFICATIONS.

**KEY PLAN**



**1 1ST FLOOR PLAN - ADDITION - BASE BID + ALTERNATES**  
 SCALE: 1/8" = 1'-0"

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*M. Liu*  
 9.20.24

NORTH CAROLINA  
 PROFESSIONAL SEAL  
 12240  
 CHESTNUT HILL  
 ARCHITECT

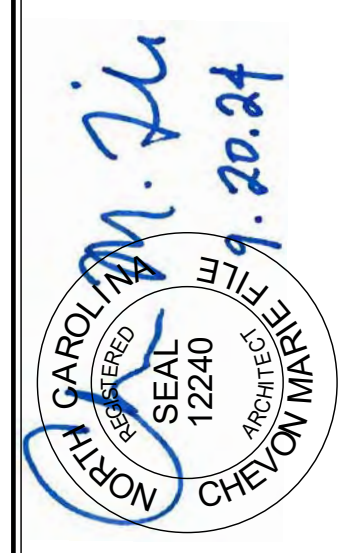
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No.	Date

FIRST FLOOR  
 PLAN - BASE  
 BID + ALT.

DATE  
 9/6/24

**A-101 ALT**



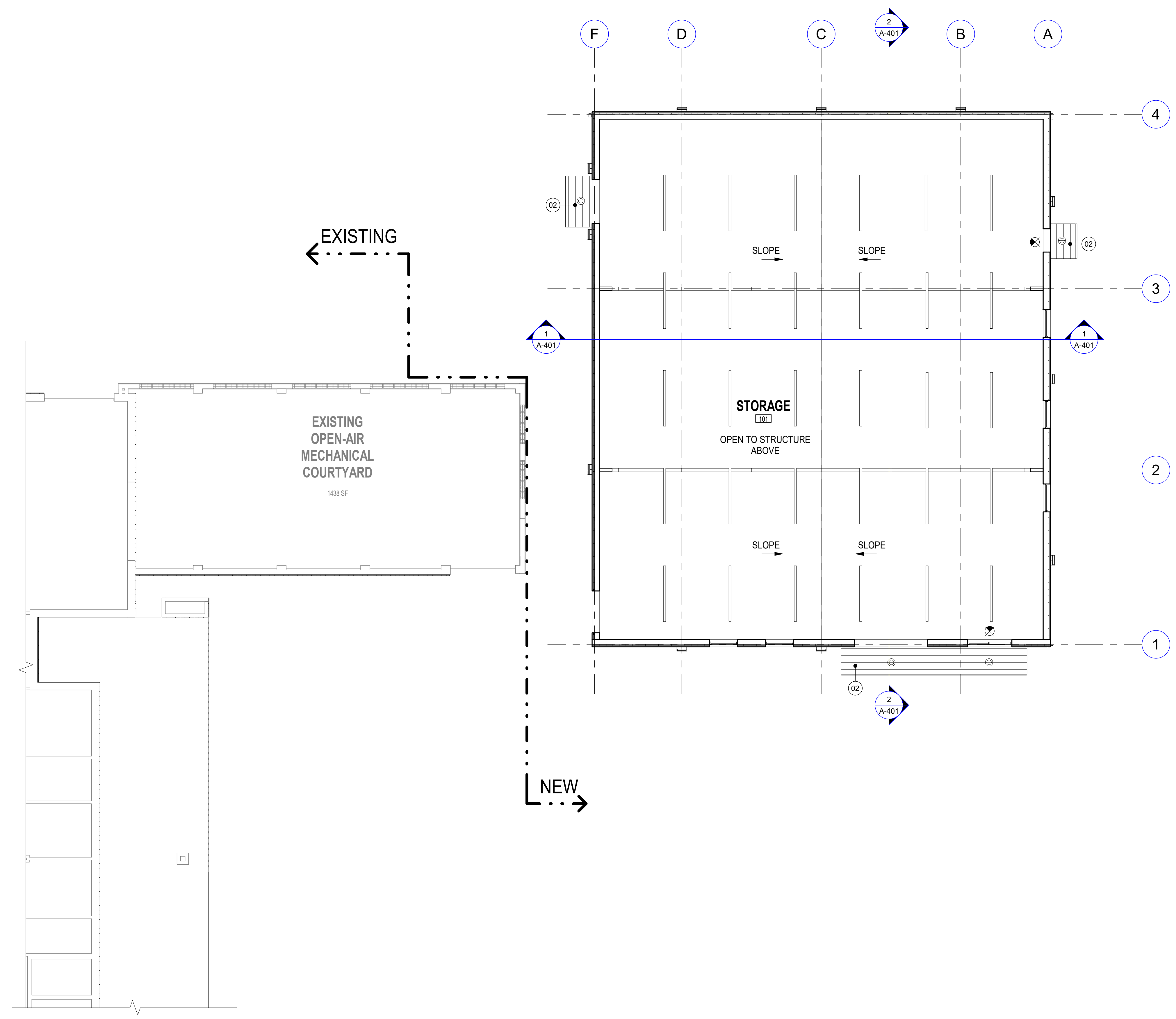
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EADDY BUILDING DETACHED ADDITION  
4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

FIRST FLOOR  
REFLECTED  
CEILING PLAN  
- BASE BID

DATE  
9/6/24

**A-121**



**REFLECTED CEILING PLAN SYMBOLS**

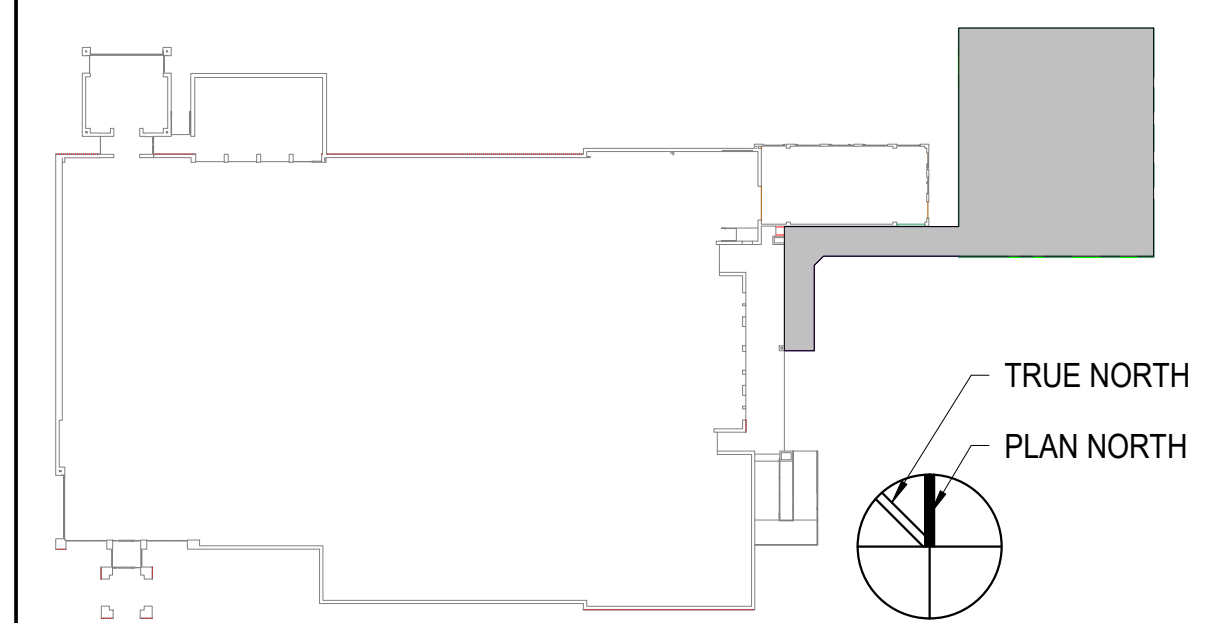
- PREFABRICATED ALUMINUM CANOPY
- NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)
- EXIT SIGN
- CEILING ELEVATION HT.
- CEILING MOUNTED EXTERIOR LED
- WALL PACK
- 8' LED STRIP LIGHT

NOTE: SEE SPECIFIC DISCIPLINES (MECH., ELEC., FIRE ALARM, ETC.) SHEETS FOR SPECIFIC DEVICE TYPES AND ADDITIONAL DEVICES NOT SHOWN HERE.

**BASE BID RCP SHEET NOTES**

- 01 NOT USED
- 02 NEW SUSPENDED PREFABRICATED ALUMINUM CANOPY
- 03 NOT USED

**KEY PLAN**



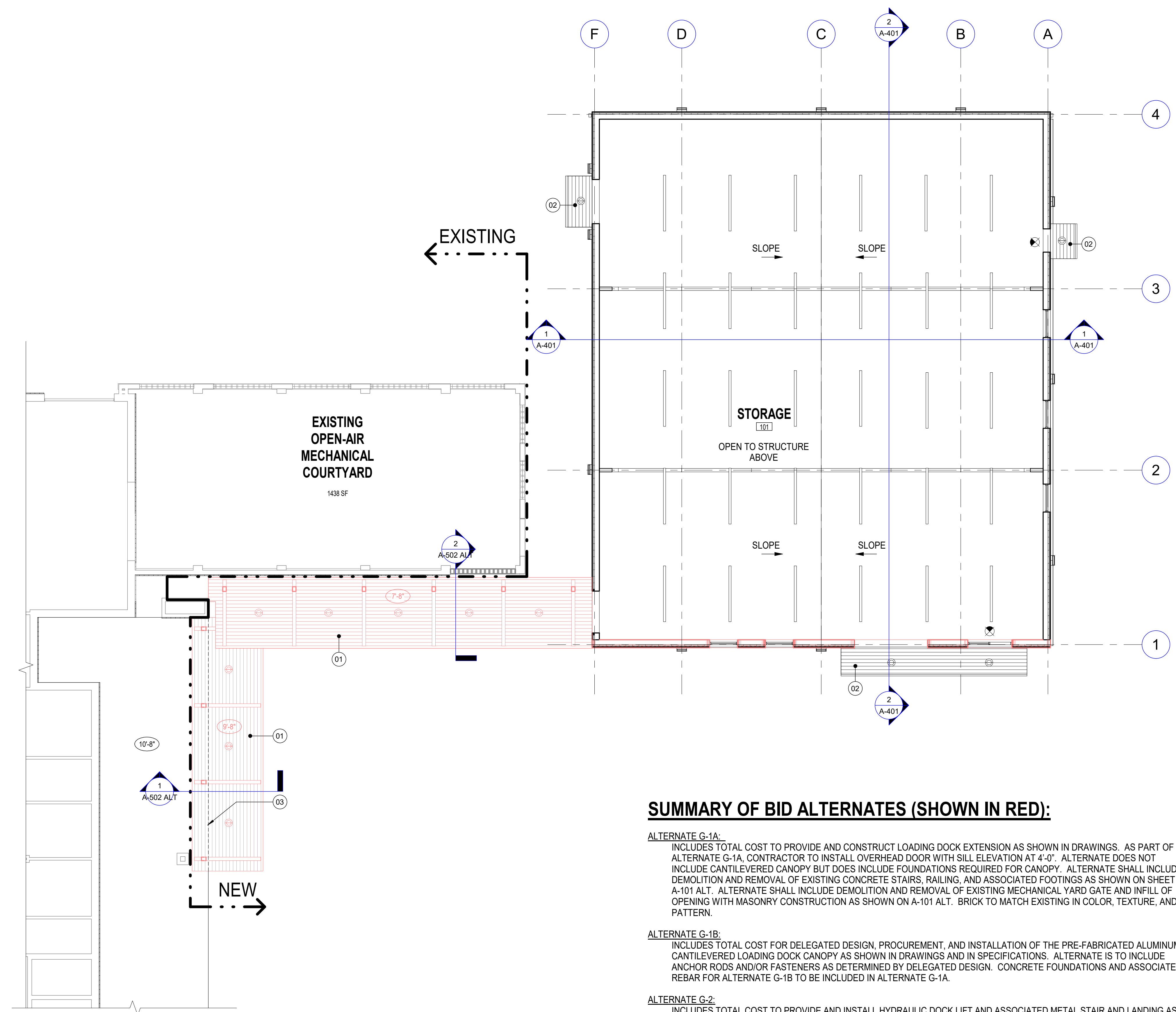
**1** 1ST FLOOR RCP - ADDITION - BASE BID  
SCALE: 1/8" = 1'-0"

No.	Date

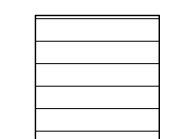
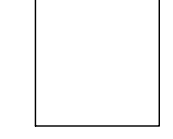





FIRST FLOOR  
PLAN  
REFLECTED  
CEILING PLAN  
- BASE BID +  
ALT

DATE  
9/6/24

**A-121 ALT**



**REFLECTED CEILING PLAN SYMBOLS**

-  PREFABRICATED ALUMINUM CANOPY
-  NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)
-  EXIT SIGN
-  CEILING ELEVATION HT.
-  CEILING MOUNTED EXTERIOR LED
-  WALL PACK
-  8' LED STRIP LIGHT

NOTE: SEE SPECIFIC DISCIPLINES (MECH., ELEC., FIRE ALARM, ETC.) SHEETS FOR SPECIFIC DEVICE TYPES AND ADDITIONAL DEVICES NOT SHOWN HERE.

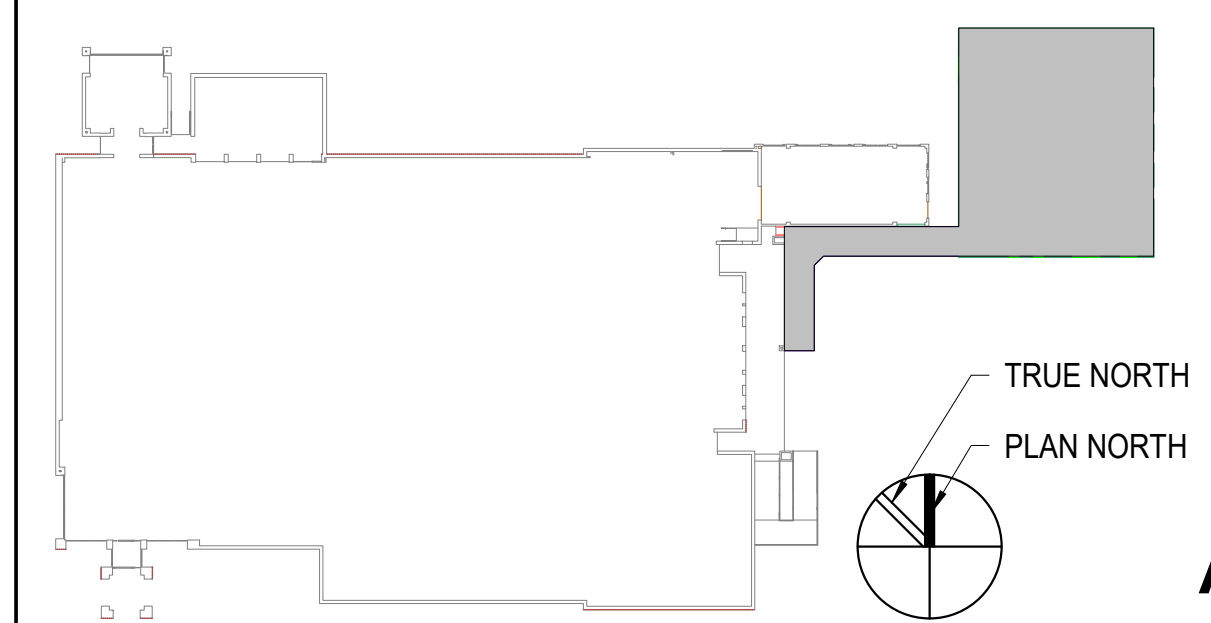
**BASE BID + ALT RCP SHEET NOTES**

- 01 NEW PREFABRICATED ALUMINUM CANTILEVERED CANOPY SYSTEM
- 02 NEW SUSPENDED PREFABRICATED ALUMINUM CANOPY
- 03 EDGE OF EXISTING SOFFIT ABOVE

**SUMMARY OF BID ALTERNATES (SHOWN IN RED):**

- ALTERNATE G-1A:**  
INCLUDES TOTAL COST TO PROVIDE AND CONSTRUCT LOADING DOCK EXTENSION AS SHOWN IN DRAWINGS. AS PART OF ALTERNATE G-1A, CONTRACTOR TO INSTALL OVERHEAD DOOR WITH SILL ELEVATION AT 4'-0". ALTERNATE DOES NOT INCLUDE CANTILEVERED CANOPY BUT DOES INCLUDE FOUNDATIONS REQUIRED FOR CANOPY. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING CONCRETE STAIRS, RAILING, AND ASSOCIATED FOOTINGS AS SHOWN ON SHEET A-101 ALT. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING MECHANICAL YARD GATE AND INFILL OF OPENING WITH MASONRY CONSTRUCTION AS SHOWN ON A-101 ALT. BRICK TO MATCH EXISTING IN COLOR, TEXTURE, AND PATTERN.
- ALTERNATE G-1B:**  
INCLUDES TOTAL COST FOR DELEGATED DESIGN, PROCUREMENT, AND INSTALLATION OF THE PRE-FABRICATED ALUMINUM CANTILEVERED LOADING DOCK CANOPY AS SHOWN IN DRAWINGS AND IN SPECIFICATIONS. ALTERNATE IS TO INCLUDE ANCHOR RODS AND/OR FASTENERS AS DETERMINED BY DELEGATED DESIGN. CONCRETE FOUNDATIONS AND ASSOCIATED REBAR FOR ALTERNATE G-1B TO BE INCLUDED IN ALTERNATE G-1A.
- ALTERNATE G-2:**  
INCLUDES TOTAL COST TO PROVIDE AND INSTALL HYDRAULIC DOCK LIFT AND ASSOCIATED METAL STAIR AND LANDING AS SHOWN ON SHEET A-101 ALT.
- ALTERNATE G-3:**  
INCLUDES TOTAL COST TO PROVIDE AND INSTALL BRICK VENEER ON FRONT FAÇADE AS SHOWN ON SHEET A-301 ALT. ALTERNATE SHALL INCLUDE COST TO PROVIDE AND INSTALL ALL RELATED FRAMING, ANCHORS, FLASHINGS, AND ACCESSORIES AS SPECIFIED IN SECTION 04 22 00 UNIT MASONRY.

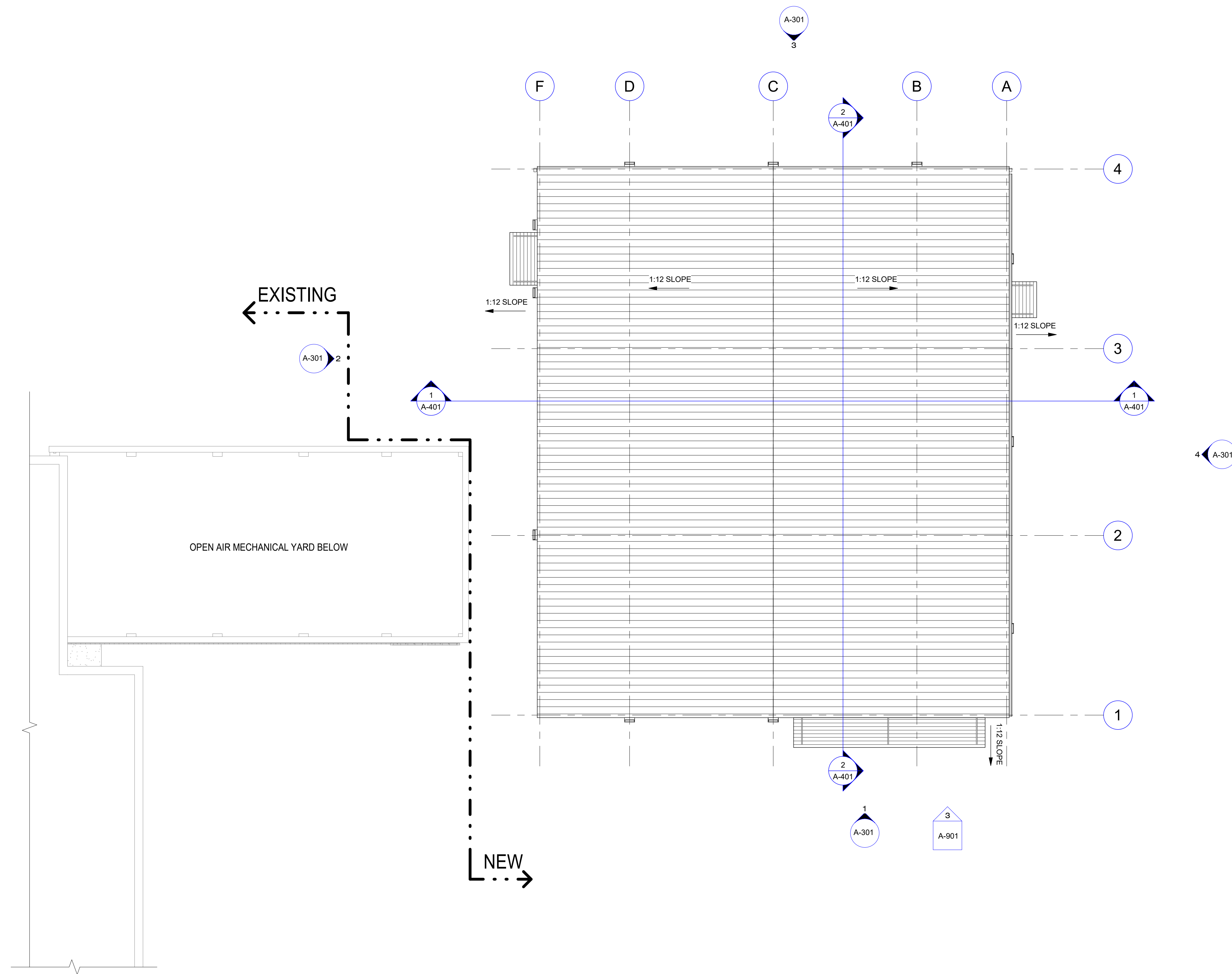
**KEY PLAN**



**1 1ST FLOOR RCP - ADDITION - BASE BID + ALTERNATES**  
SCALE: 1/8" = 1'-0"

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1 ROOF PLAN - ADDITION - BASE BID  
SCALE: 1/8" = 1'-0"



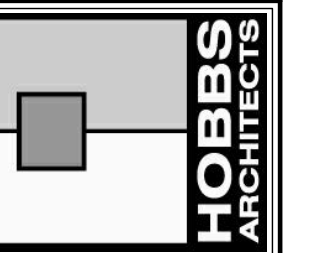
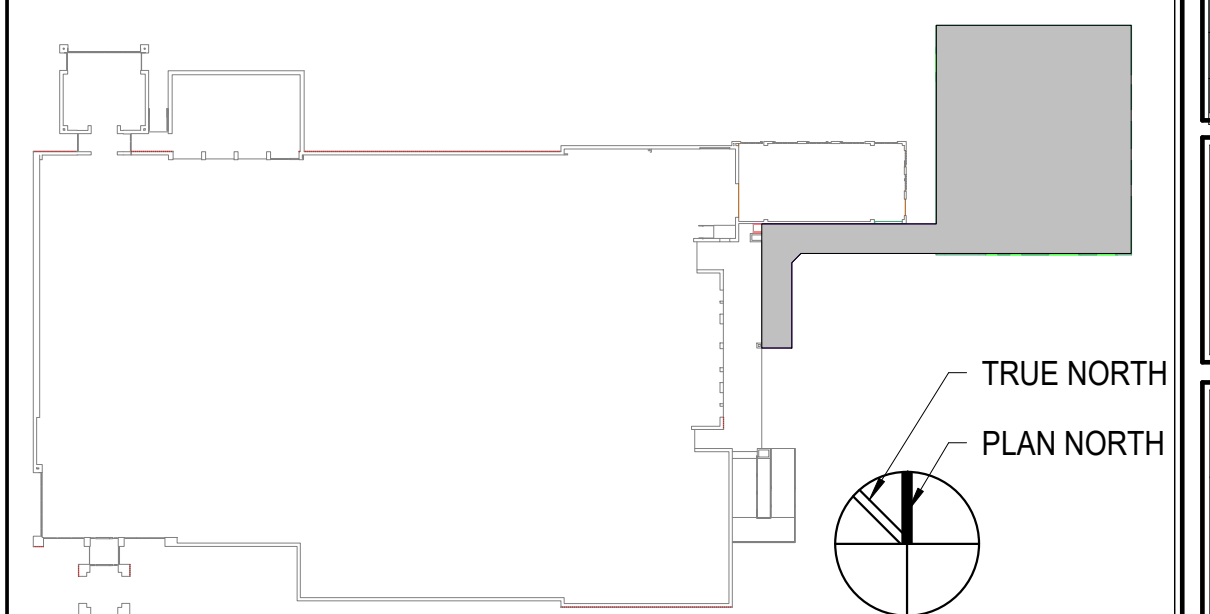
ROOF PLAN SYMBOLS

1:12 SLOPE ROOF SLOPE

GENERAL NOTES - ROOF

1. ALL ROOFING MATERIALS, FLASHING, TRIM, COPINGS, ETC. TO COMPLY WITH SPECIFIED UPLIFT REQUIREMENTS FOR INDICATED WIND ZONE. SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS.
2. INSULATED ROOF CURB TO BE PROVIDED BY ROOF MANUFACTURER AND INSTALLED BY ROOF CONTRACTOR. GENERAL CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION WITH ROOFING CONTRACTOR AND MECHANICAL CONTRACTOR.
3. ALL PENETRATIONS OF ANY TYPE MUST COMPLY WITH ROOFING MANUFACTURER'S PRINTED REQUIREMENTS AND COMPLY WITH ROOF WARRANTY.

KEY PLAN



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9.20.24

NEW PROJECT FOR  
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No.	Date

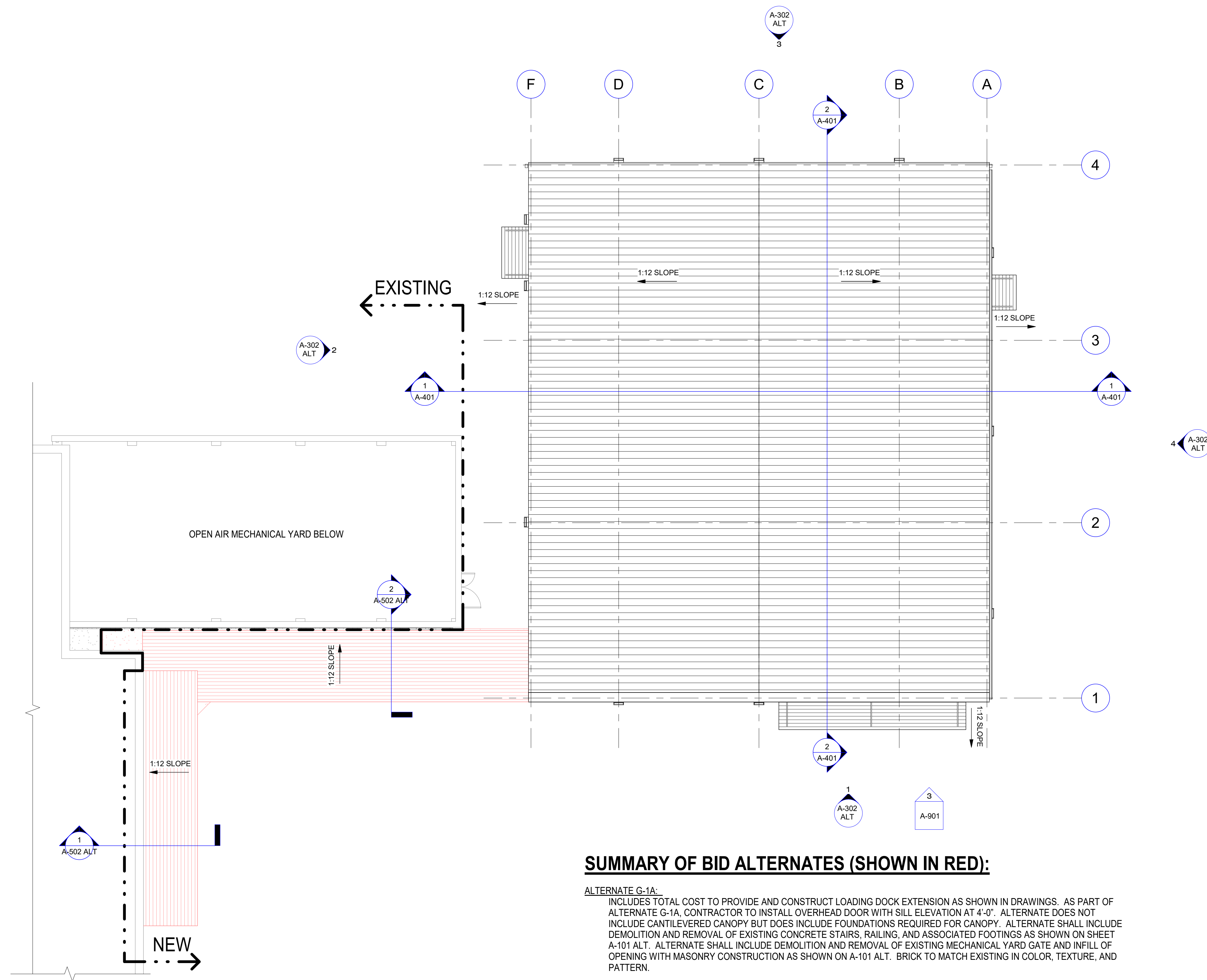
ROOF PLAN - BASE BID

DATE 9/6/24

A-201

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**1** ROOF PLAN - ADDITION - BASE BID + ALTERNATES  
SCALE: 1/8" = 1'-0"



**SUMMARY OF BID ALTERNATES (SHOWN IN RED):**

- ALTERNATE G-1A:**  
INCLUDES TOTAL COST TO PROVIDE AND CONSTRUCT LOADING DOCK EXTENSION AS SHOWN IN DRAWINGS. AS PART OF ALTERNATE G-1A, CONTRACTOR TO INSTALL OVERHEAD DOOR WITH SILL ELEVATION AT 4'-0". ALTERNATE DOES NOT INCLUDE CANTILEVERED CANOPY BUT DOES INCLUDE FOUNDATIONS REQUIRED FOR CANOPY. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING CONCRETE STAIRS, RAILING, AND ASSOCIATED FOOTINGS AS SHOWN ON SHEET A-101 ALT. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING MECHANICAL YARD GATE AND INFILL OF OPENING WITH MASONRY CONSTRUCTION AS SHOWN ON A-101 ALT. BRICK TO MATCH EXISTING IN COLOR, TEXTURE, AND PATTERN.
- ALTERNATE G-1B:**  
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- ALTERNATE G-2:**  
INCLUDES TOTAL COST TO PROVIDE AND INSTALL HYDRAULIC DOCK LIFT AND ASSOCIATED METAL STAIR AND LANDING AS SHOWN ON SHEET A-101 ALT.
- ALTERNATE G-3:**  
INCLUDES TOTAL COST TO PROVIDE AND INSTALL BRICK VENEER ON FRONT FAÇADE AS SHOWN ON SHEET A-301 ALT. ALTERNATE SHALL INCLUDE COST TO PROVIDE AND INSTALL ALL RELATED FRAMING, ANCHORS, FLASHINGS, AND ACCESSORIES AS SPECIFIED IN SECTION 04 22 00 UNIT MASONRY.

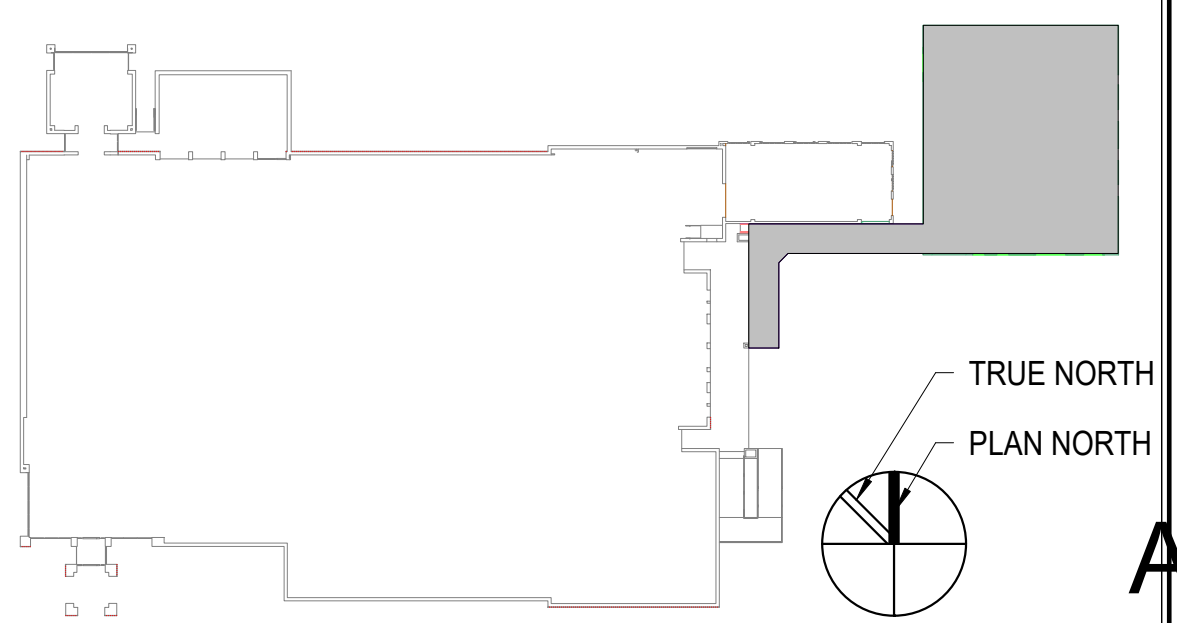
**ROOF PLAN SYMBOLS**

1:12 SLOPE → ROOF SLOPE

**GENERAL NOTES - ROOF**

- ALL ROOFING MATERIALS, FLASHING, TRIM, COPINGS, ETC. TO COMPLY WITH SPECIFIED UPLIFT REQUIREMENTS FOR INDICATED WIND ZONE. SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS.
- INSULATED ROOF CURB TO BE PROVIDED BY ROOF MANUFACTURER AND INSTALLED BY ROOF CONTRACTOR. GENERAL CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION WITH ROOFING CONTRACTOR AND MECHANICAL CONTRACTOR.
- ALL PENETRATIONS OF ANY TYPE MUST COMPLY WITH ROOFING MANUFACTURER'S PRINTED REQUIREMENTS AND COMPLY WITH ROOF WARRANTY.

**KEY PLAN**



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9.20.24

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No.	Date

ROOF PLAN - BASE BID + ALT.

DATE 9/6/24

**A-201 ALT**



**EXTERIOR MATERIALS**

- M-1 INSULATED METAL PANEL
- M-2 STANDING SEAM METAL ROOFING
- BR-1 BRICK VENEER (ONLY IN ALT G-4)

**ELEVATION GENERAL NOTES**

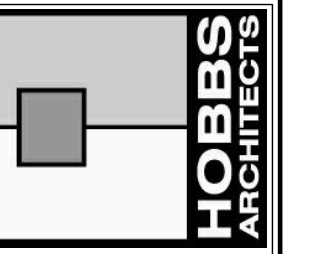
1. JOINTS ARE TO BE AS INDICATED IN ELEVATIONS.
2. REFER TO WALL SECTIONS FOR DETAILED ASSEMBLIES.
3. ALL EXTERIOR EXPOSED STEEL TO BE PAINTED. SEE SPECIFICATIONS IN PROJECT MANUAL.
4. A FULL SCALE WALL MOCK-UP WILL BE REQUIRED AT LOCATIONS INDICATED ON ELEVATIONS.
5. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF EXTERIOR WALL MOUNTED LIGHTS, OUTLETS, HOSE BIBBS, AND OTHERS.

**ELEVATION SHEET NOTES**

- 1 FUTURE SIGNAGE/ LIGHTING LOCATION - REFER ELEC DWGS
- 2 EXTERIOR LIGHTING - REFER ELEC DWGS
- 3 EXISTING MECH EQUIPMENT SCREEN
- 4 NOT USED
- 5 NEW SUSPENDED PRE-FABRICATED ALUMINIUM CANOPY

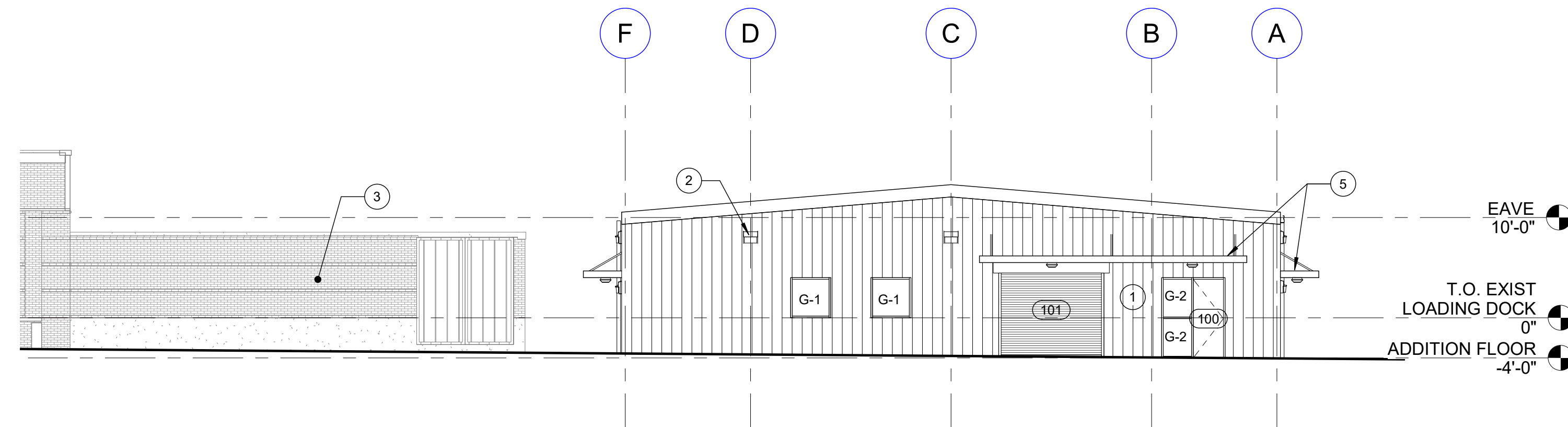
**GLAZING TYPES**

- G-1 1" INSULATED GLASS UNIT. REFER TO SPECIFICATIONS
- G-2 1" TEMPERED GLASS UNIT. REFER TO SPECIFICATIONS

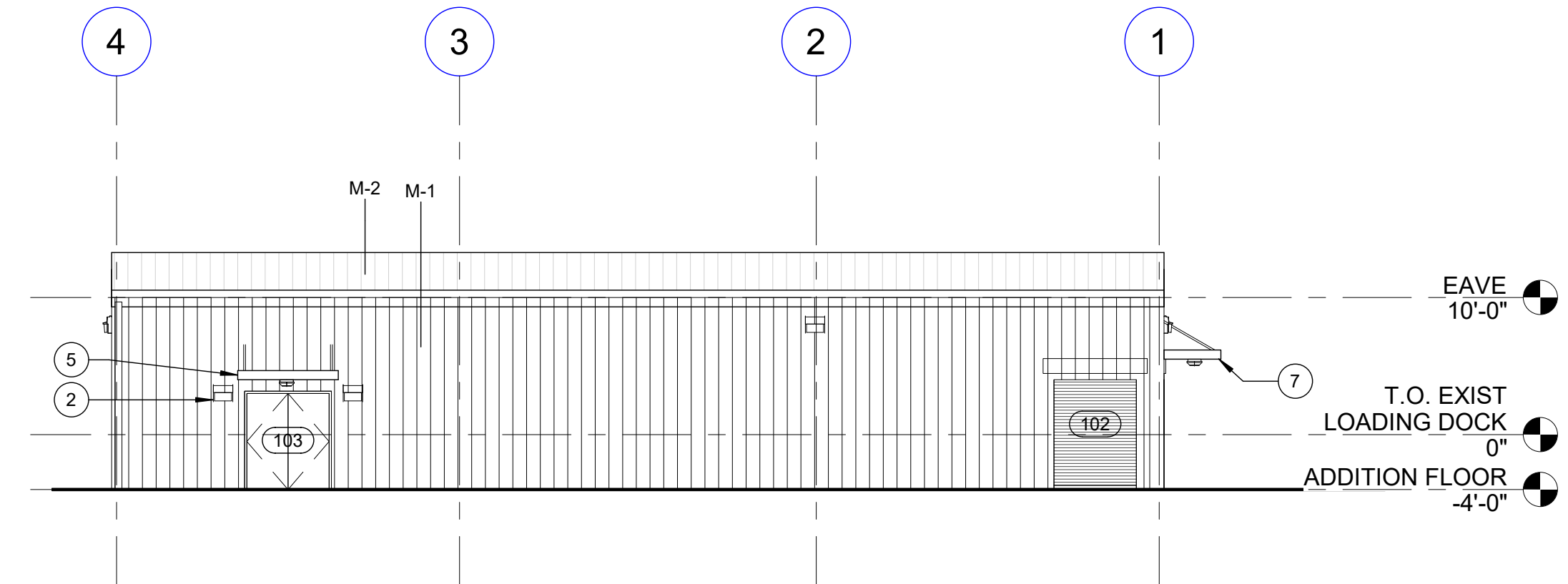


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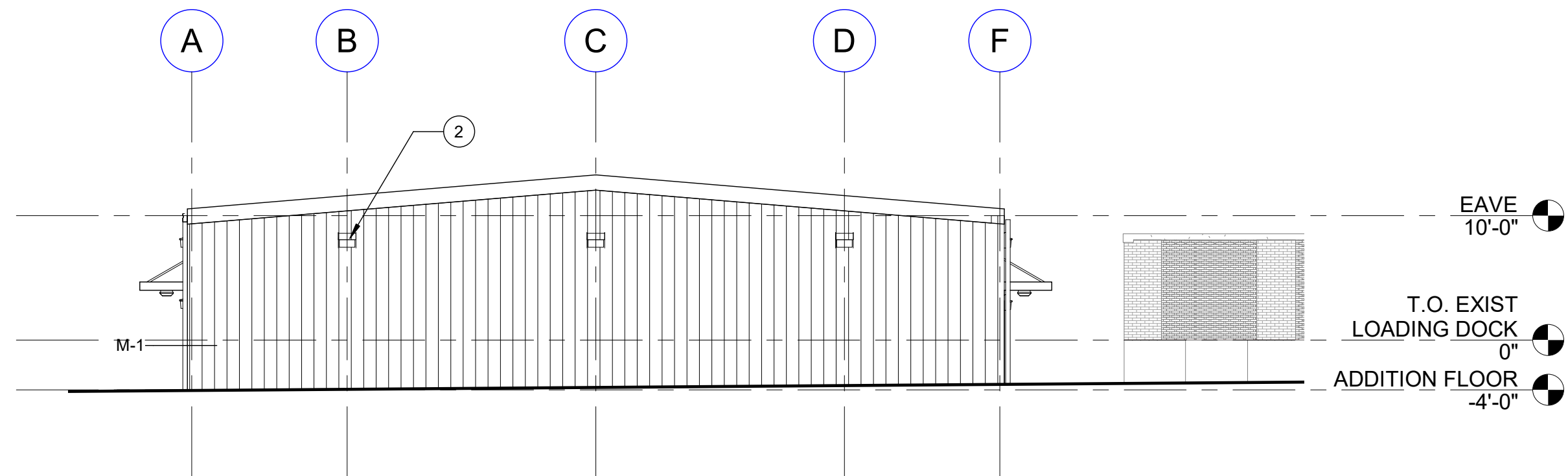
*M. Liu*  
 9.20.24



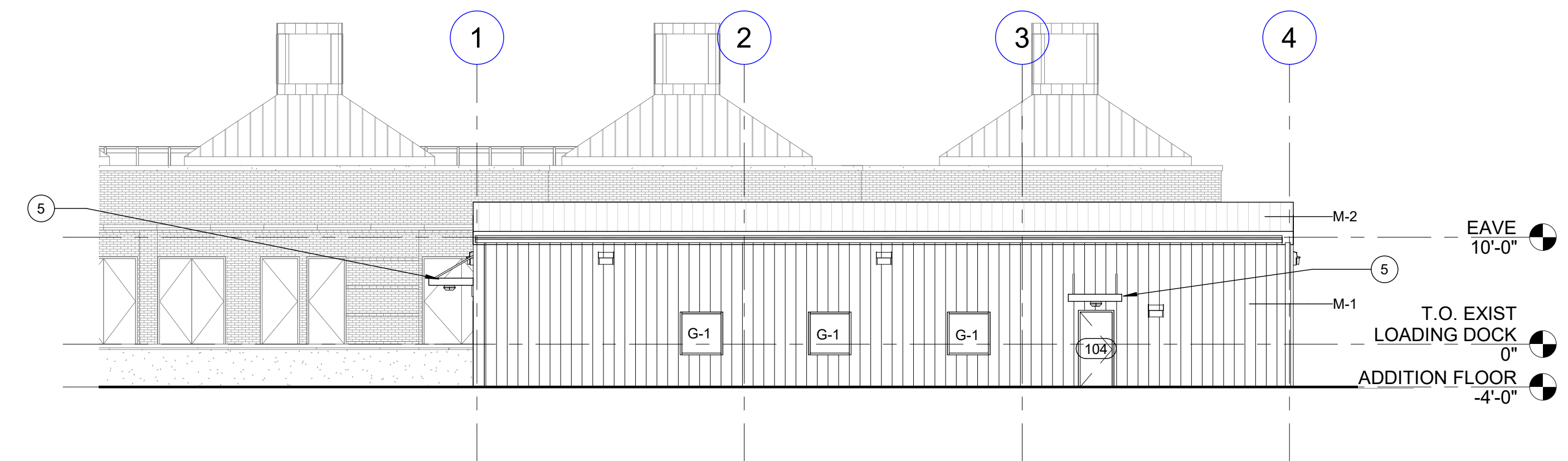
**1 SOUTH ELEVATION**  
 SCALE: 1" = 10'-0"



**2 WEST ELEVATION**  
 SCALE: 1" = 10'-0"



**3 NORTH ELEVATION**  
 SCALE: 1" = 10'-0"



**4 EAST ELEVATION**  
 SCALE: 1" = 10'-0"

NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SERVICES**

**EADDY BUILDING DETACHED ADDITION**  
 4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

EXTERIOR BUILDING ELEVATIONS - BASE BID

DATE  
 9/6/24

**A-301**

**EXTERIOR MATERIALS**

- M-1 INSULATED METAL PANEL
- M-2 STANDING SEAM METAL ROOFING
- BR-1 BRICK VENEER (ONLY IN ALT G-4)

**ELEVATION GENERAL NOTES**

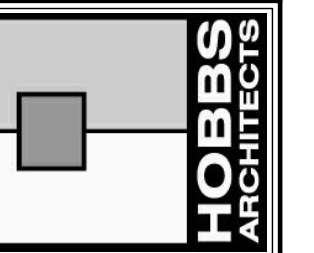
1. JOINTS ARE TO BE AS INDICATED IN ELEVATIONS.
2. REFER TO WALL SECTIONS FOR DETAILED ASSEMBLIES.
3. ALL EXTERIOR EXPOSED STEEL TO BE PAINTED. SEE SPECIFICATIONS IN PROJECT MANUAL.
4. A FULL SCALE WALL MOCK-UP WILL BE REQUIRED AT LOCATIONS INDICATED ON ELEVATIONS.
5. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF EXTERIOR WALL MOUNTED LIGHTS, OUTLETS, HOSE BIBBS, AND OTHERS.

**ELEVATION SHEET NOTES - BID ALT G-1**

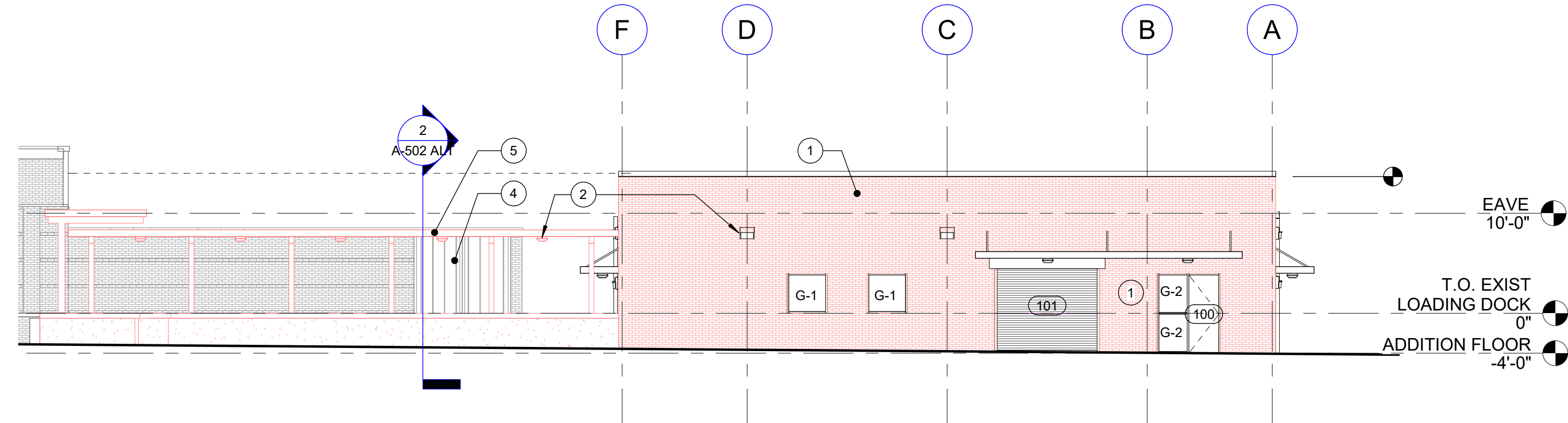
- 1 NEW BRICK VENEER ON 8-1/4" METAL STUDS
- 2 EXTERIOR LIGHTING - REFER ELEC DWGS
- 3 NOT USED
- 4 NEW BRICK INFILL
- 5 NEW PREFABRICATED ALUMINUM CANTILEVERED CANOPY. SEE WALL SECTIONS AND SPECIFICATIONS.

**GLAZING TYPES**

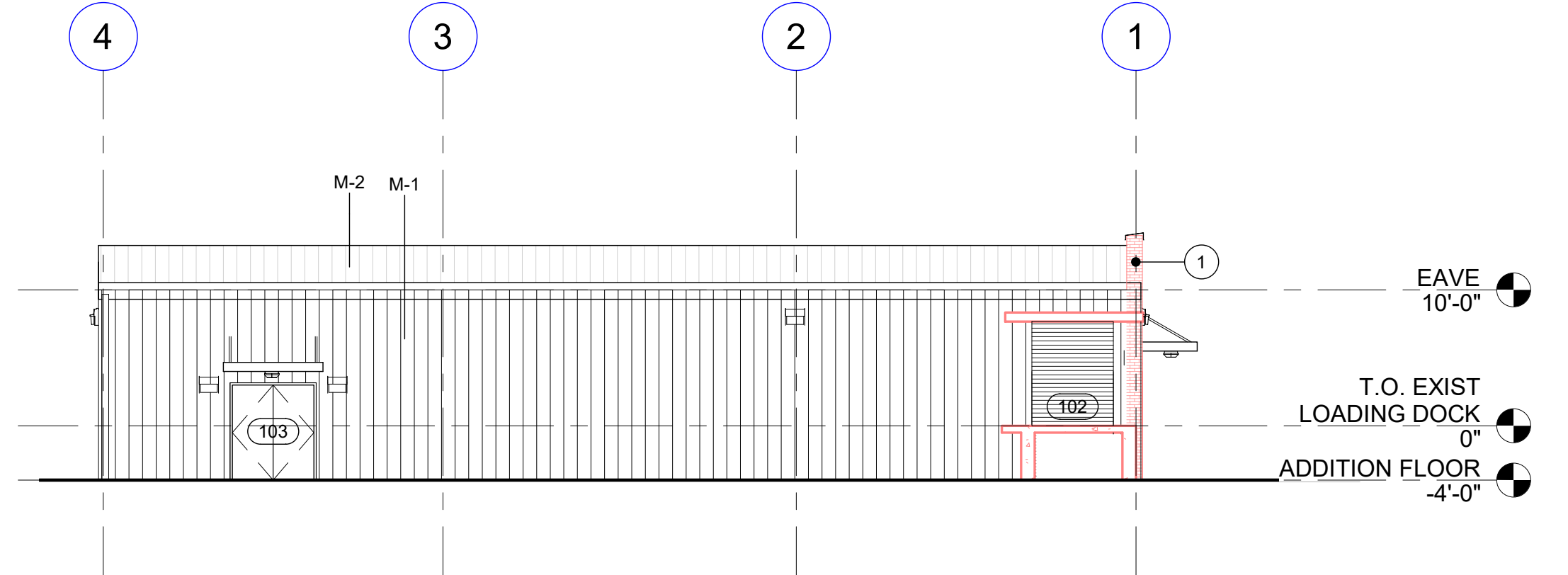
- G-1 1" INSULATED GLASS UNIT. REFER TO SPECIFICATIONS
- G-2 1" TEMPERED GLASS UNIT. REFER TO SPECIFICATIONS



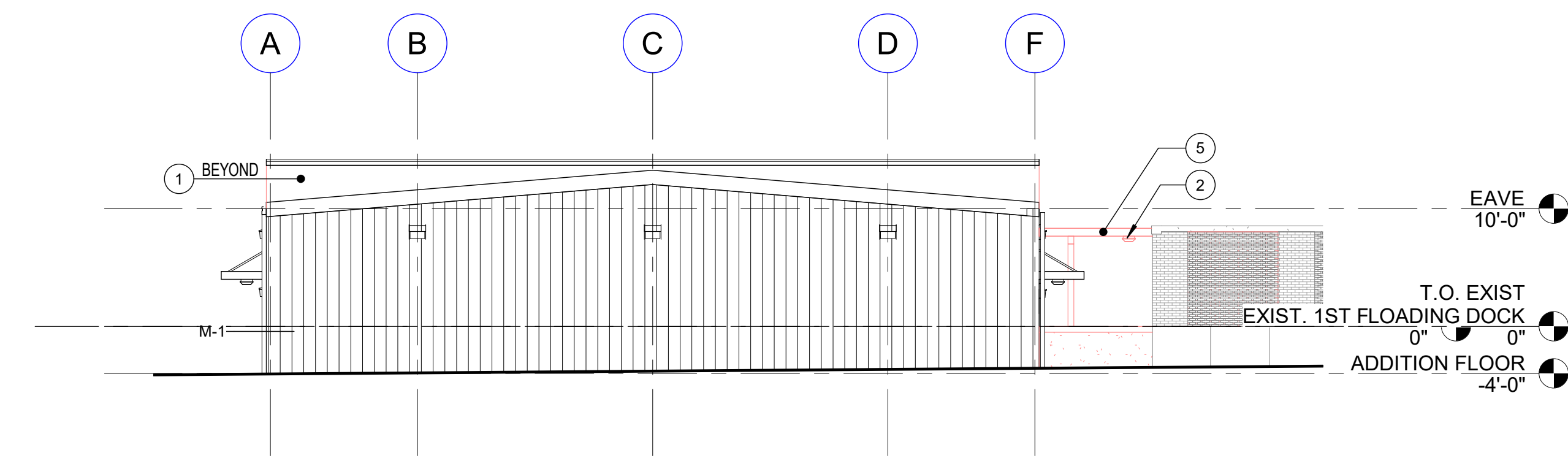
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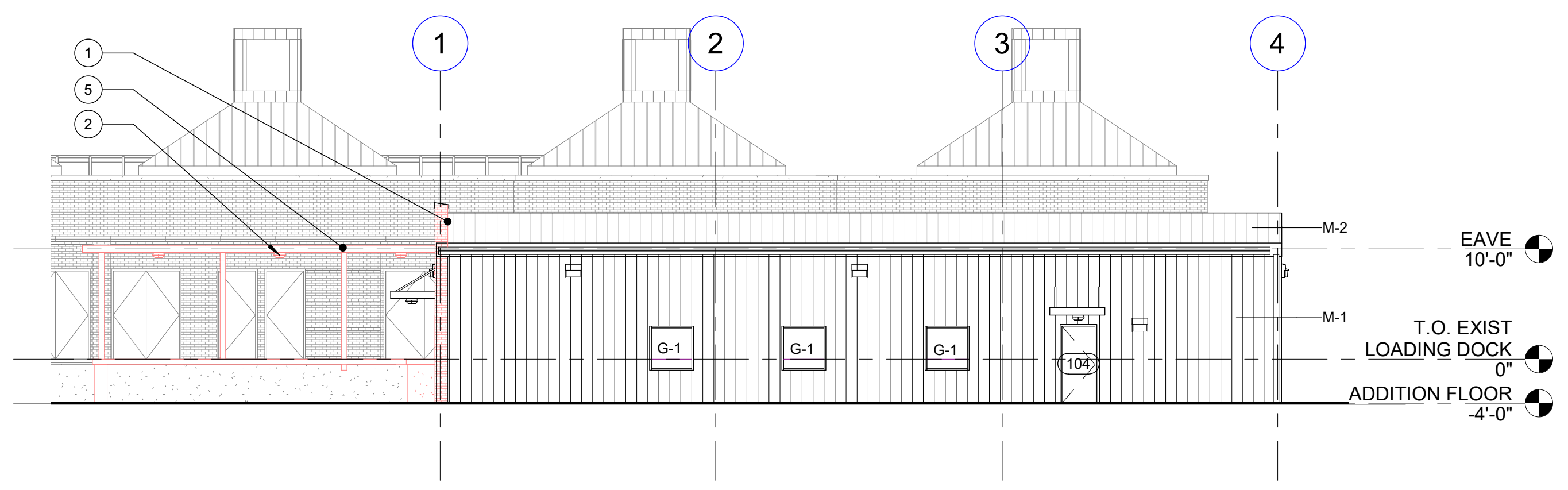
**1 SOUTH ELEVATION - ALTERNATES**  
 SCALE: 1" = 10'-0"



**2 WEST ELEVATION - ALTERNATES**  
 SCALE: 1" = 10'-0"



**3 NORTH ELEVATION - ALTERNATES**  
 SCALE: 1" = 10'-0"



**4 EAST ELEVATION - ALTERNATES**  
 SCALE: 1" = 10'-0"

**SUMMARY OF BID ALTERNATES (SHOWN IN RED):**

**ALTERNATE G-1A:**

INCLUDES TOTAL COST TO PROVIDE AND CONSTRUCT LOADING DOCK EXTENSION AS SHOWN IN DRAWINGS. AS PART OF ALTERNATE G-1A, CONTRACTOR TO INSTALL OVERHEAD DOOR WITH SILL ELEVATION AT 4'-0". ALTERNATE DOES NOT INCLUDE CANTILEVERED CANOPY BUT DOES INCLUDE FOUNDATIONS REQUIRED FOR CANOPY. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING CONCRETE STAIRS, RAILING, AND ASSOCIATED FOOTINGS AS SHOWN ON SHEET A-101 ALT. ALTERNATE SHALL INCLUDE DEMOLITION AND REMOVAL OF EXISTING MECHANICAL YARD GATE AND INFILL OF OPENING WITH MASONRY CONSTRUCTION AS SHOWN ON A-101 ALT. BRICK TO MATCH EXISTING IN COLOR, TEXTURE, AND PATTERN.

**ALTERNATE G-1B:**

INCLUDES TOTAL COST FOR DELEGATED DESIGN, PROCUREMENT, AND INSTALLATION OF THE PRE-FABRICATED ALUMINUM CANTILEVERED LOADING DOCK CANOPY AS SHOWN IN DRAWINGS AND IN SPECIFICATIONS. ALTERNATE IS TO INCLUDE ANCHOR RODS AND/OR FASTENERS AS DETERMINED BY DELEGATED DESIGN. CONCRETE FOUNDATIONS AND ASSOCIATED REBAR FOR ALTERNATE G-1B TO BE INCLUDED IN ALTERNATE G-1A.

**ALTERNATE G-2:**

INCLUDES TOTAL COST TO PROVIDE AND INSTALL HYDRAULIC DOCK LIFT AND ASSOCIATED METAL STAIR AND LANDING AS SHOWN ON SHEET A-101 ALT.

**ALTERNATE G-3:**

INCLUDES TOTAL COST TO PROVIDE AND INSTALL BRICK VENEER ON FRONT FAÇADE AS SHOWN ON SHEET A-301 ALT. ALTERNATE SHALL INCLUDE COST TO PROVIDE AND INSTALL ALL RELATED FRAMING, ANCHORS, FLASHINGS, AND ACCESSORIES AS SPECIFIED IN SECTION 04 22 00 UNIT MASONRY.

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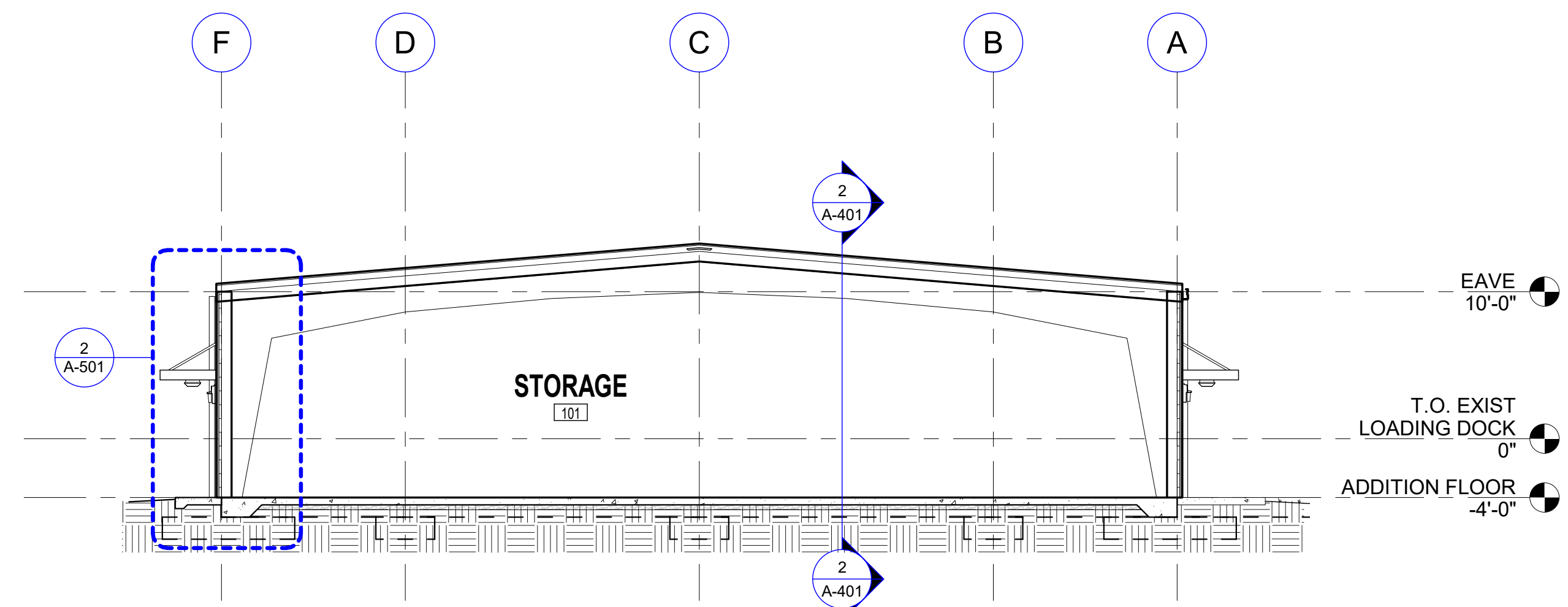
No.	Date

ALTERNATES  
 EXTERIOR  
 BUILDING  
 ELEVATIONS

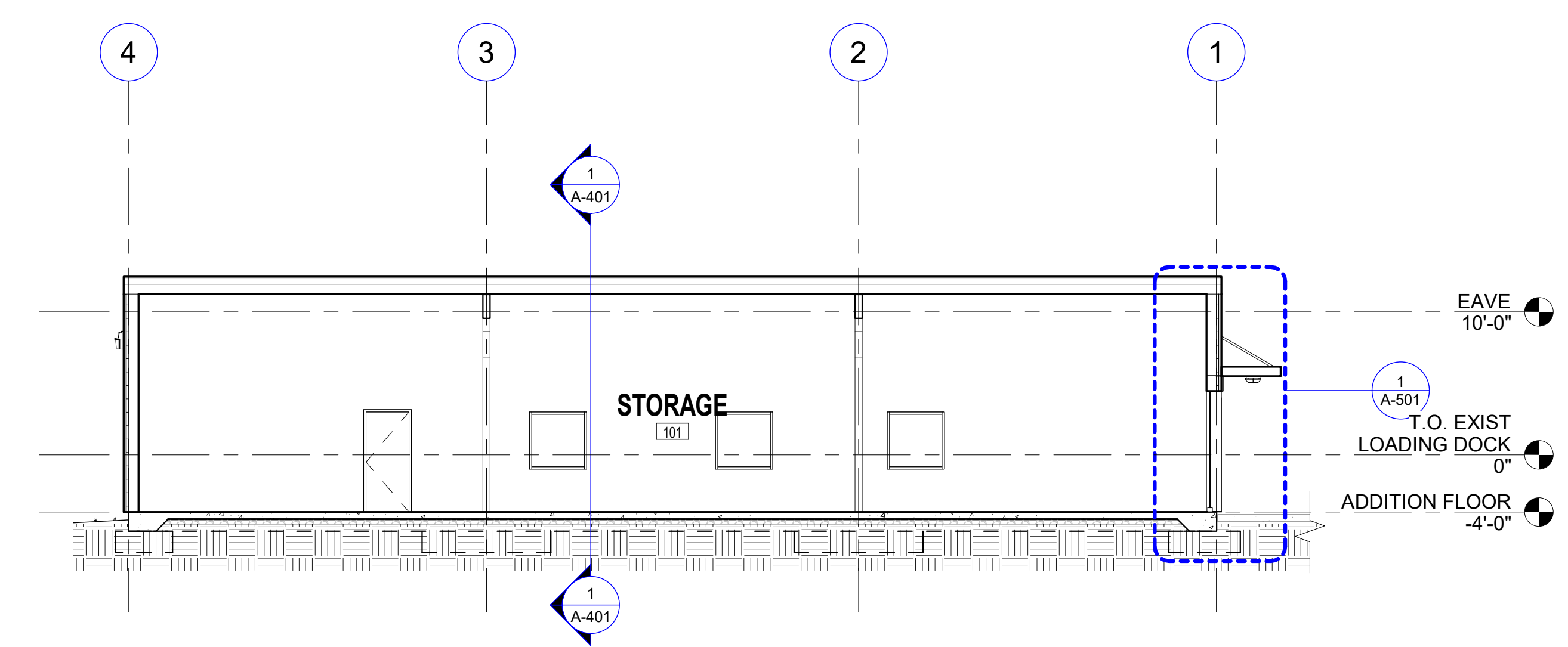
DATE  
 9/6/24

**A-302 ALT**

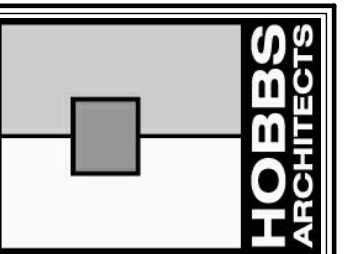
159



1 BUILDING SECTION 1 - BASE BID  
SCALE: 1/8" = 1'-0"

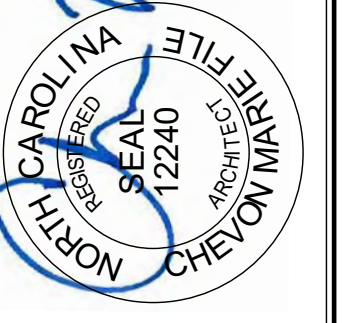


2 BUILDING SECTION 2 - BASE BID  
SCALE: 1/8" = 1'-0"



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No.	Date

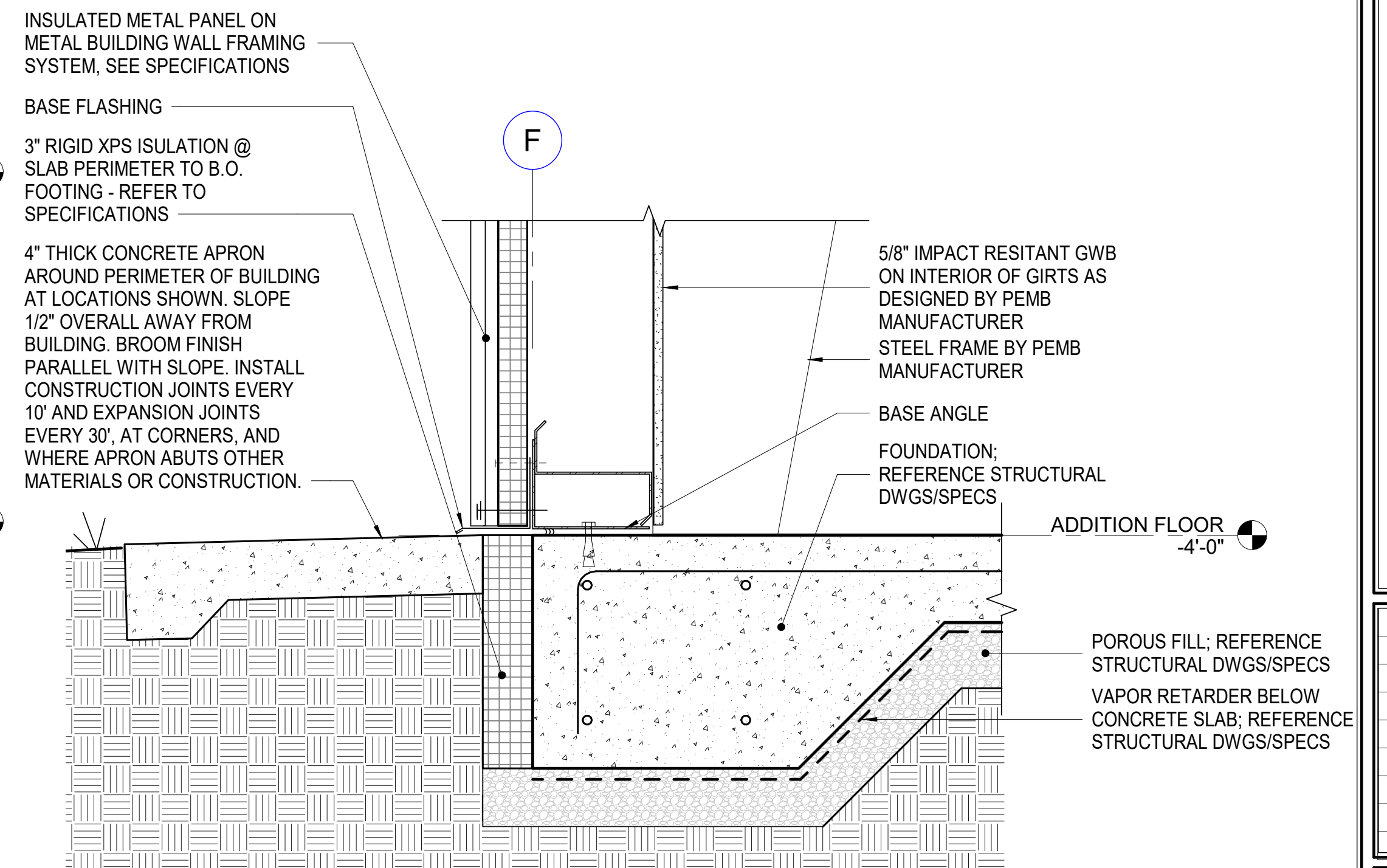
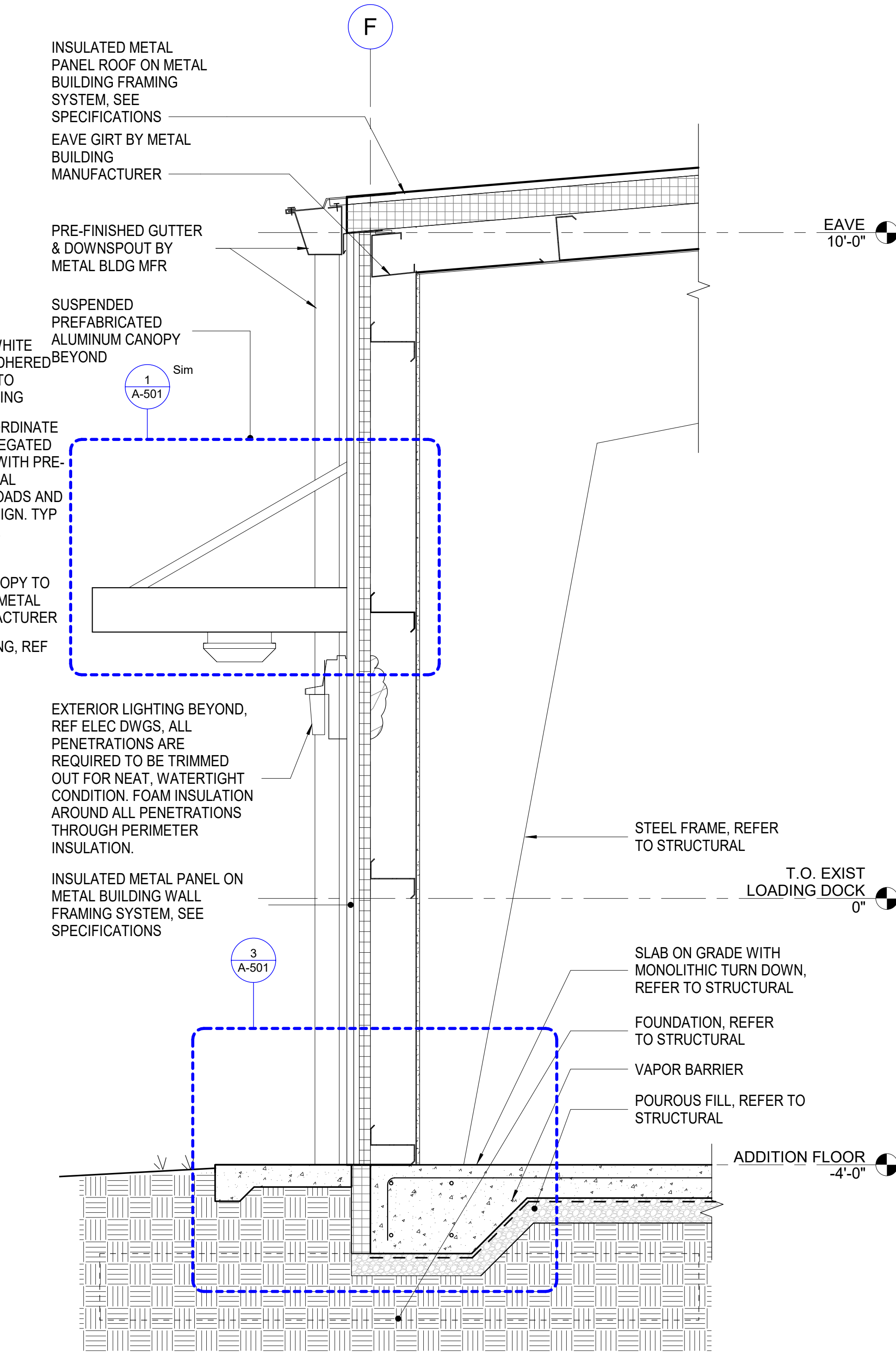
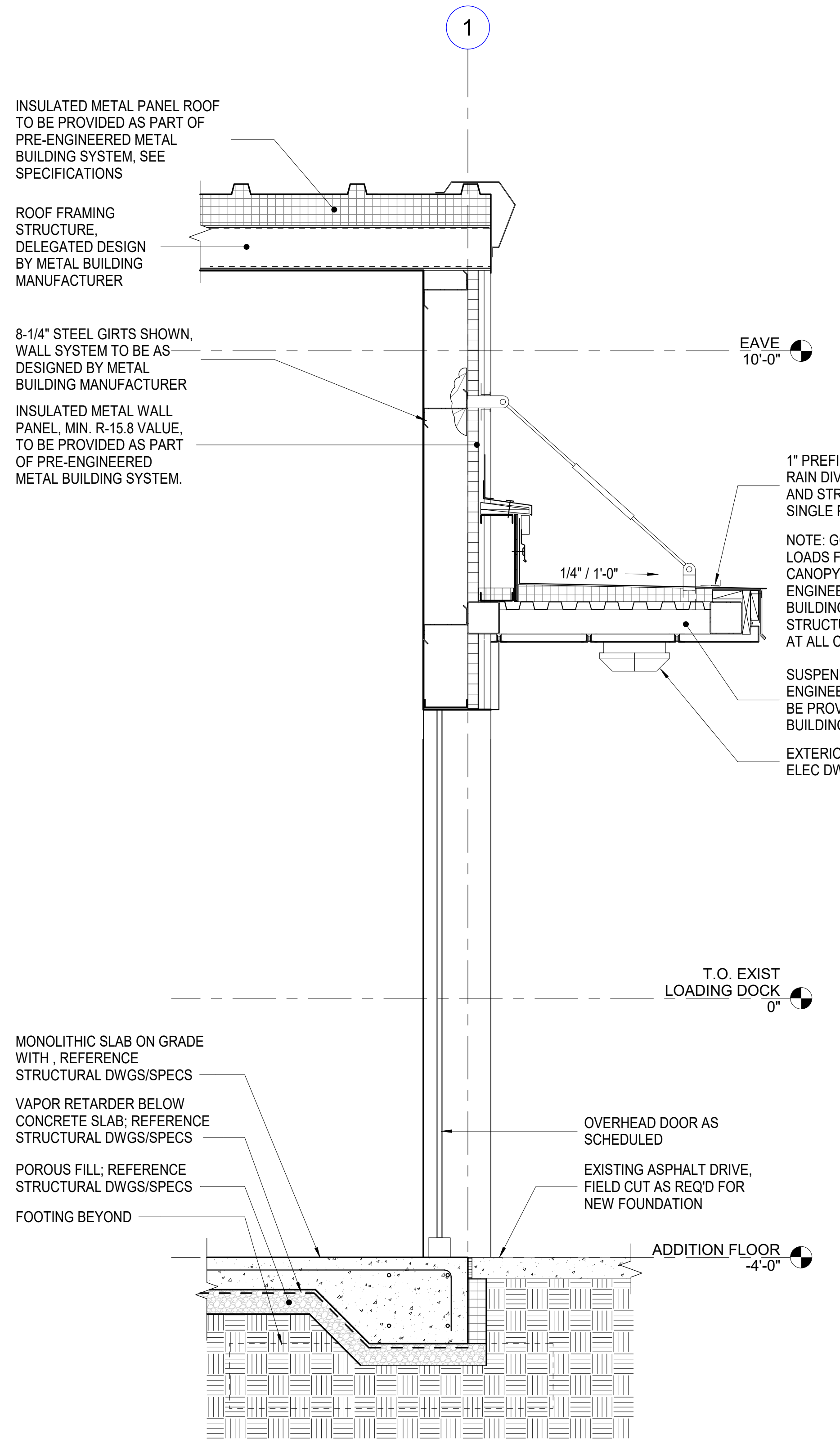
BUILDING SECTIONS

DATE  
9/6/24  
**A-401**

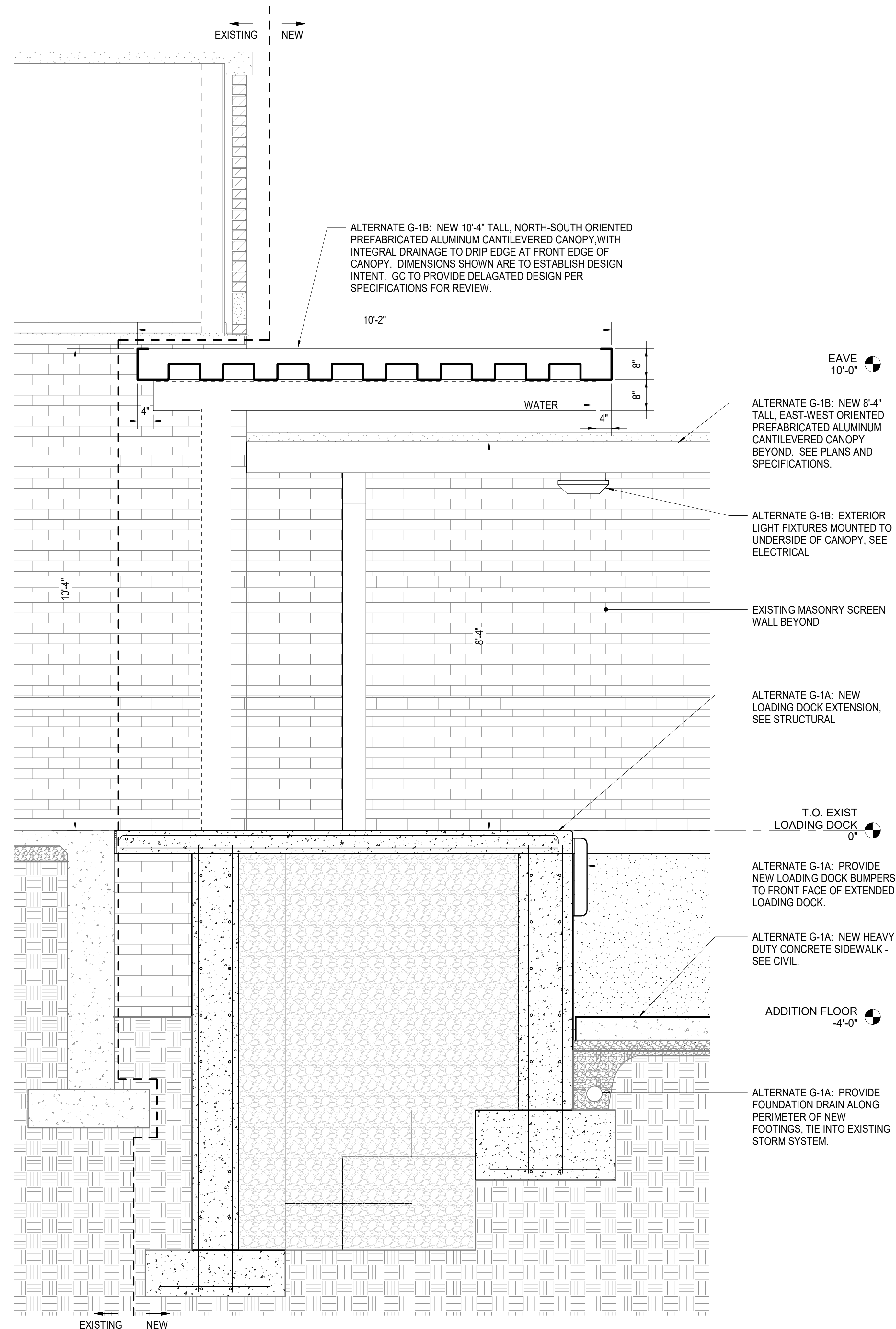
No.	Date

WALL SECTIONS

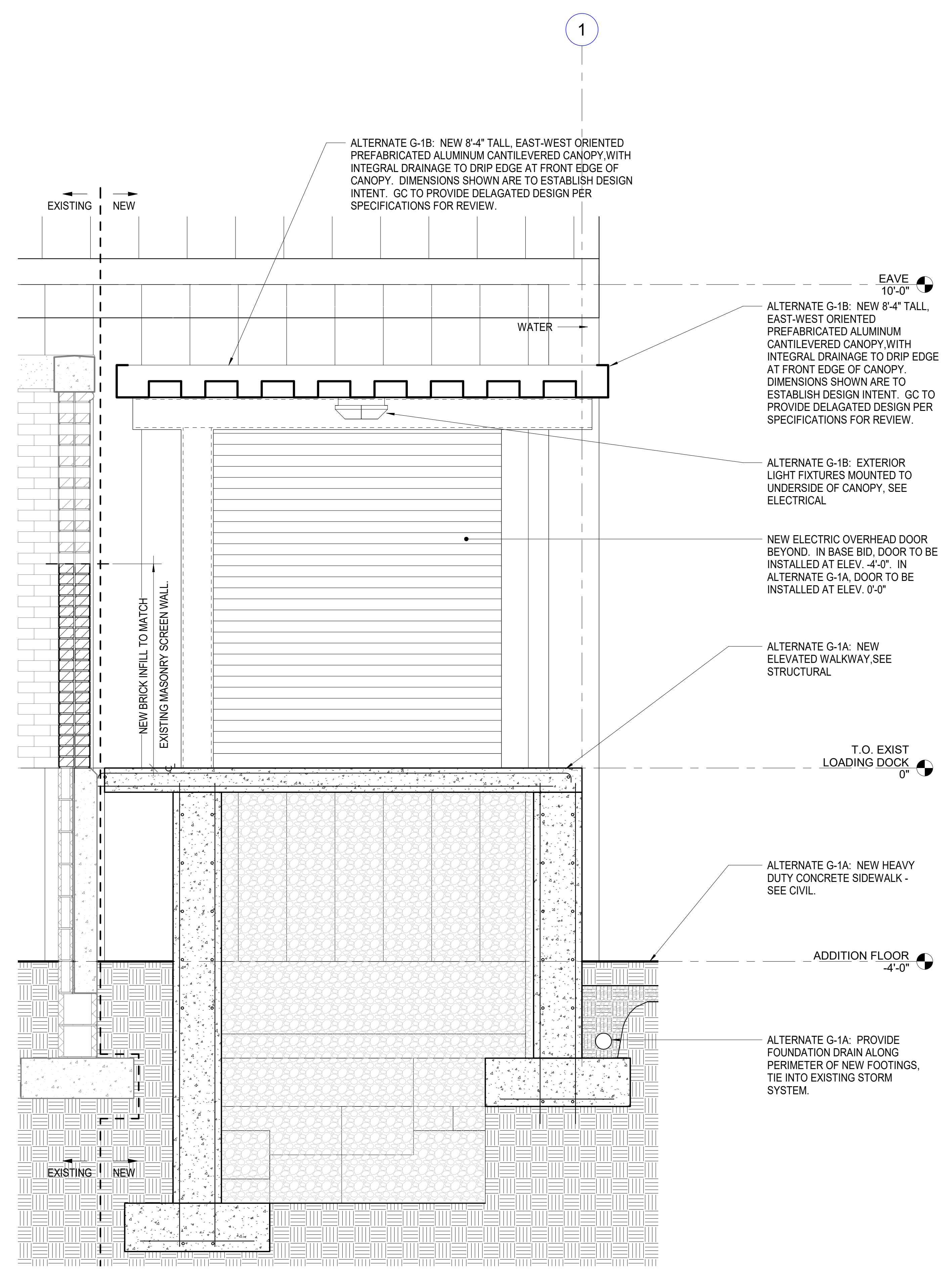
DATE  
 9/6/24  
**A-501**



9/23/2024 6:18:12 PM



**1** CANTILEVERED BENT CANOPY SECTION @ LOADING DOCK - ALTERNATES G-1A AND G-1B  
SCALE: 3/4" = 1'-0"



**2** CANTILEVERED BENT CANOPY SECTION AT MECH YARD - BASE BID + ALTERNATES  
SCALE: 3/4" = 1'-0"

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EADDY BUILDING DETACHED ADDITION  
4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

WALL SECTIONS - ALTERNATE

DATE  
9/6/24

**A-502 ALT**

**DOOR & HARDWARE GENERAL NOTES**

- GC TO COORDINATE FRAME DEPTHS WITH PEMB MANUFACTURER, WHERE APPLICABLE.

**GLAZING TYPES**

- G-1 1" INSULATED GLASS UNIT. REFER TO SPECIFICATIONS
- G-2 1" TEMPERED GLASS UNIT. REFER TO SPECIFICATIONS

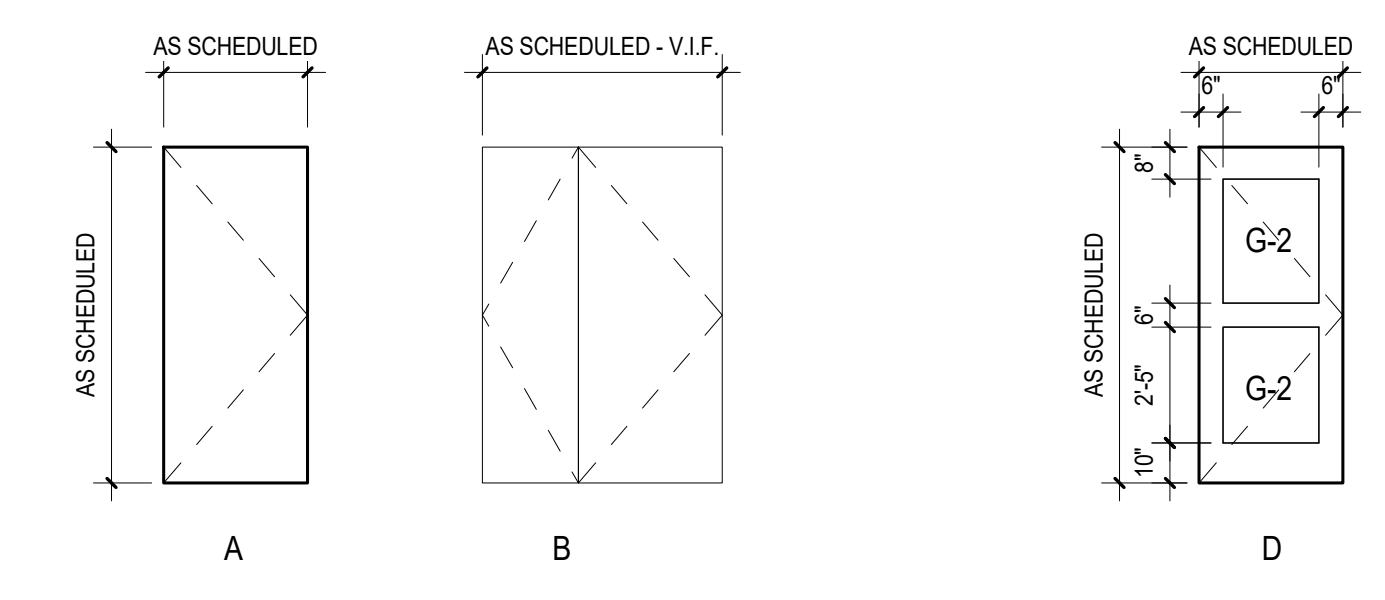
**DOOR SCHEDULE REMARKS**

- A. ELECTRICALLY OPERATED OVERHEAD DOOR

**DOOR SCHEDULE**

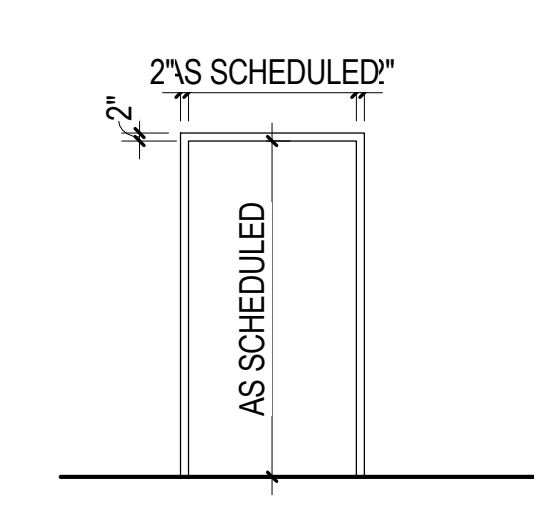
#	TO	DOOR					FRAME			RATING	HW SET	DOOR PANIC HARDWARE	REMARKS
		LEAF QTY.	TYPE	WIDTH	HEIGHT	MAT'L	TYPE	MAT'L	Finish				
100	STORAGE	1	D	3'-0"	7'-10"	ALUM	SEE SF-1	ALUM	ANOD	-	-	-	
101		1	--	10'-0"	8'-0"	HM	-	HM	PAINT	-	-	-	A
102	STORAGE	1	--	6'-0"	8'-0"	HM	-	HM	PAINT	-	-	-	A
103	STORAGE	2	A	6'-0"	7'-0"	HM	1	HM	PAINT	-	-	-	
104	STORAGE	1	A	3'-0"	7'-0"	HM	1	HM	PAINT	-	-	-	
109		2	A	5'-4"	7'-0"	HM	-	HM	PAINT	-	-	-	

**DOOR TYPES**

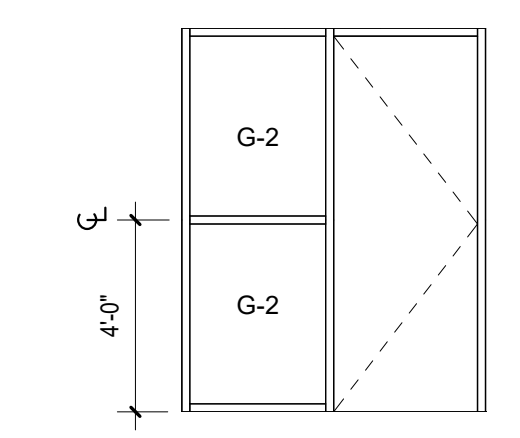


1 DOOR TYPES  
SCALE: 1/4" = 1'-0"

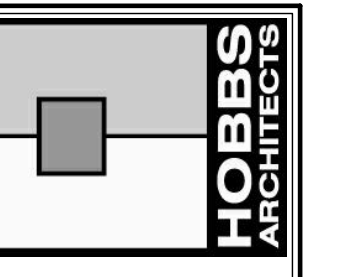
**FRAME TYPES**



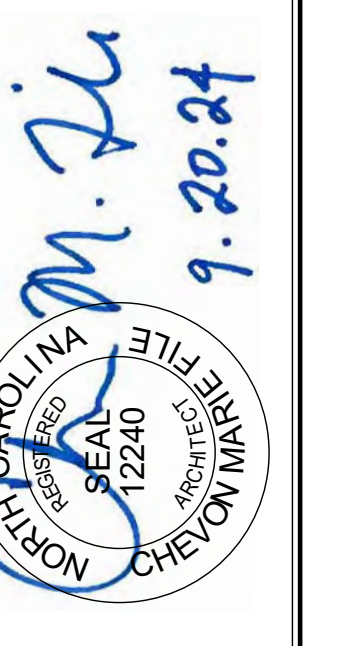
2 FRAME TYPES  
SCALE: 1/4" = 1'-0"



3 SF-1 ELEVATION  
SCALE: 1/4" = 1'-0"



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DOOR SCHEDULE AND WINDOW TYPES

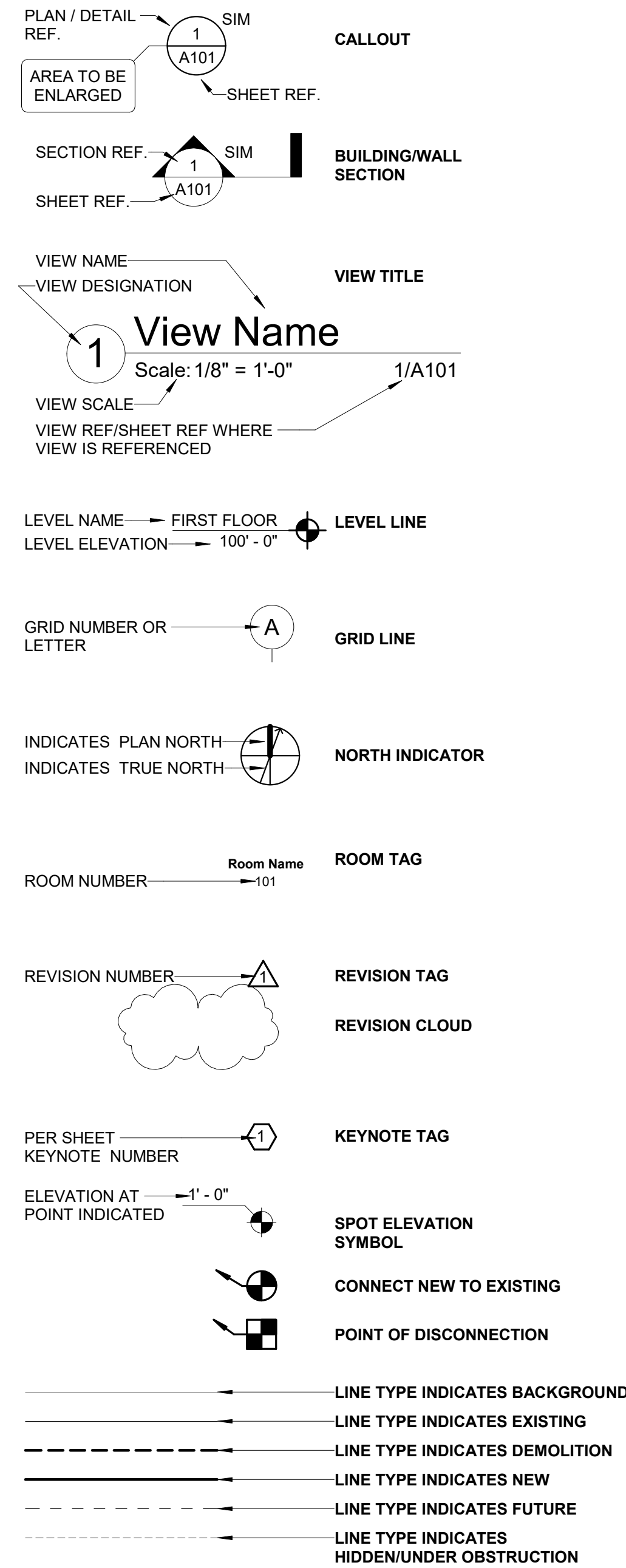
DATE  
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**A-901**

**DRAWING LIST - PLUMBING**

- P-001 PLUMBING SYMBOLS, ABBREVIATIONS & NOTES
- P-101 ADDITION FLOOR WASTE & VENT PLAN - BASE BID
- P-102 ADDITION FLOOR DOMESTIC WATER PLAN - BASE BID
- P-501 DETAILS AND SCHEDULES
- TOTAL SHEETS: 4

**STANDARD DETAILING SYMBOLS**



**GENERAL NOTES - PLUMBING**

1. PROVIDE ALL MATERIALS AND LABOR NECESSARY FOR A COMPLETE PLUMBING SYSTEM. WARRANTY ALL WORK AND MATERIAL FOR A PERIOD OF AT LEAST ONE YEAR AFTER ACCEPTANCE BY OWNER.
2. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF:
  - A. NORTH CAROLINA PLUMBING CODE.
  - B. ANSI.
  - C. UNDERWRITERS LABORATORIES (UL).
  - D. ALL STATE AND LOCAL CODES AND ORDINANCES.
3. DO NOT SCALE DRAWINGS. OBTAIN ROUGH-IN DIMENSIONS FROM ARCHITECTURAL DRAWINGS OR FROM MANUFACTURER'S PRINTED INSTRUCTIONS AND RECOMMENDATIONS ONLY.
4. COORDINATE PLUMBING SYSTEMS WITH ALL TRADES TO AVOID INTERFERENCE AND CONFLICTS PRIOR TO INSTALLATION OF PIPING, FIXTURES, AND EQUIPMENT.
5. COORDINATE WITH AND OBTAIN PERMITS AND INSPECTIONS FROM THE LOCAL AUTHORITY HAVING JURISDICTION.
6. PROVIDE OWNER WITH CERTIFICATES OF FINAL INSPECTION FROM THE LOCAL AUTHORITY HAVING JURISDICTION.
7. WHENEVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN FURNISH AND INSTALL COMPLETE AND READY FOR USE.
8. UNLESS OTHERWISE SHOWN OR NOTED, ALL PIPING SHALL BE ROUTED CONCEALED IN WALLS, CHASES AND/OR ABOVE CEILINGS.
9. ALL SUSPENDED PIPING SHALL BE SUPPORTED FROM FLOOR AND/ OR ROOF STRUCTURAL MEMBERS. IN NO CASE SHALL PIPING BE SUSPENDED FROM FLOOR OR ROOF DECKING.
10. PROVIDE CLEANOUT AT BASE OF ALL SANITARY WASTE STACKS, AFTER EVERY FOUR HORIZONTAL 45 BENDS IN SERIES, AND NO FURTHER APART THAN 100'-0" OF DEVELOPED LENGTH IN HORIZONTAL RUNS.
11. UNLESS OTHERWISE INDICATED, PLUMBING CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, CORE DRILLING, AND PATCHING REQUIRED TO INSTALL PLUMBING WORK.
12. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO SHOW EXACT LOCATIONS AND/OR SIZES OF EXISTING PLUMBING, MECHANICAL, ELECTRICAL, OR STRUCTURAL FEATURES, ETC. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE THE START OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO AVOID CONFLICTS DURING CONSTRUCTION. CONTRACTOR SHALL CONSULT SPECIFICATIONS FOR CONSTRUCTION MATERIALS AND STANDARDS.
13. THE CONTRACTOR SHALL RUN SANITARY VENT PIPING LOCATED ABOVE THE CEILING AS CLOSE AS POSSIBLE THE UNDERSIDE OF THE STRUCTURE.

**ABBREVIATIONS - PLUMBING**

- BFP BACKFLOW PREVENTER VALVE
- CO CLEANOUT
- CP CIRCULATING PUMP
- D DRAIN LINE
- DCW DOMESTIC COLD WATER
- DHW DOMESTIC HOT WATER
- DHWR DOMESTIC HOT WATER RETURN
- DN DOWN
- FCO FLOOR CLEANOUT
- FD FLOOR DRAIN
- FS FLOOR SINK
- G NATURAL GAS
- GCO GRADE CLEANOUT
- HB HOSE BIBB
- INV INVERT ELEVATION
- NC NORMALLY CLOSED
- NOT IN CONTRACT
- NIC NOT IN CONTRACT
- OFRD OVERFLOW ROOF DRAIN
- PD PUMP DISCHARGE
- PRV PRESSURE REDUCING VALVE
- RD ROOF DRAIN
- SP SUMP PUMP
- TD TRENCH DRAIN
- TMV THERMOSTATIC MIXING VALVE
- TYP TYPICAL
- V SANITARY VENT
- VTR VENT TERMINAL THROUGH ROOF
- W SANITARY WASTE
- WCO WALL CLEANOUT
- WH WALL HYDRANT

**PLUMBING PIPING SYMBOLS**

SYMBOL	DESCRIPTION
	ACID VENT
	DOMESTIC COLD WATER
	DOMESTIC HOT WATER
	120° DOMESTIC HOT WATER
	140° DOMESTIC HOT WATER
	DOMESTIC HOT WATER RETURN
	120° DOMESTIC HOT WATER RETURN
	140° DOMESTIC HOT WATER RETURN
	GREASE WASTE
	OIL WASTE
	OVERFLOW ROOF DRAIN LEADER
	ROOF DRAIN LEADER
	STORM WATER
	TEMPERED
	VENT
	WASTE
	BALL VALVE
	STOP VALVE (HANDLE OPTIONAL)
	3-WAY VALVE
	BALANCING VALVE
	BACKWATER VALVE
	BUTTERFLY VALVE
	CHECK VALVE
	CONTROL VALVE
	3-WAY CONTROL VALVE
	GATE VALVE
	GLOBE VALVE
	REDUCED PRESSURE ZONE
	OSY VALVE
	WATER HAMMER ARRESTER
	PRESSURE REGULATING VALVE
	PIPE TURN UP
	PIPE TURN DOWN
	PIPE BOTTOM TAKE OFF
	PIPE TOP TAKE OFF
	PIPE CAP OR PLUG
	PIPE UNION
	WYE STRAINER
	WYE WITH COMBINATION 8TH BEND
	SANITARY TEE
	WYE 45°

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09/05/2024

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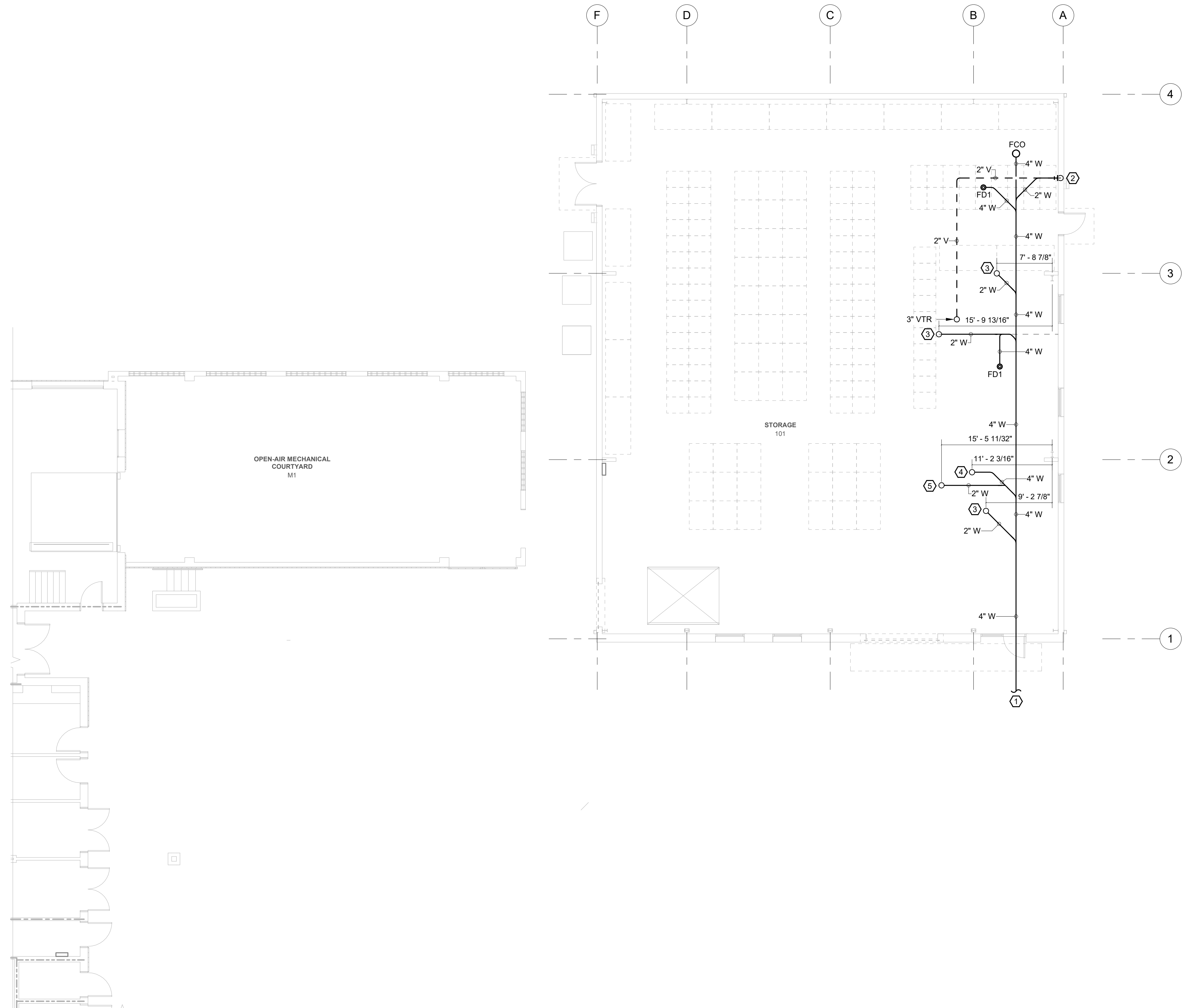
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No.	Date

PLUMBING SYMBOLS, ABBREVIATIONS & NOTES

DATE  
9/6/2024

**P-001**



**1 ADDITION WASTE & VENT PLAN - BASE BID**  
 Scale: 1/8" = 1'-0"



**GENERAL NOTES:**

- REFER TO P-001 FOR ADDITIONAL PLUMBING GENERAL NOTES.
- COORDINATE LOCATION OF SANITARY ROUGH-INS WITH DIMENSION PLAN, TO BE PROVIDED BY ARCHITECT. COORDINATE WITH STRUCTURAL FOR BOX OUT OF CAST IN PLACE CONCRETE FOR SANITARY ROUGH-INS.

**KEYNOTES:**

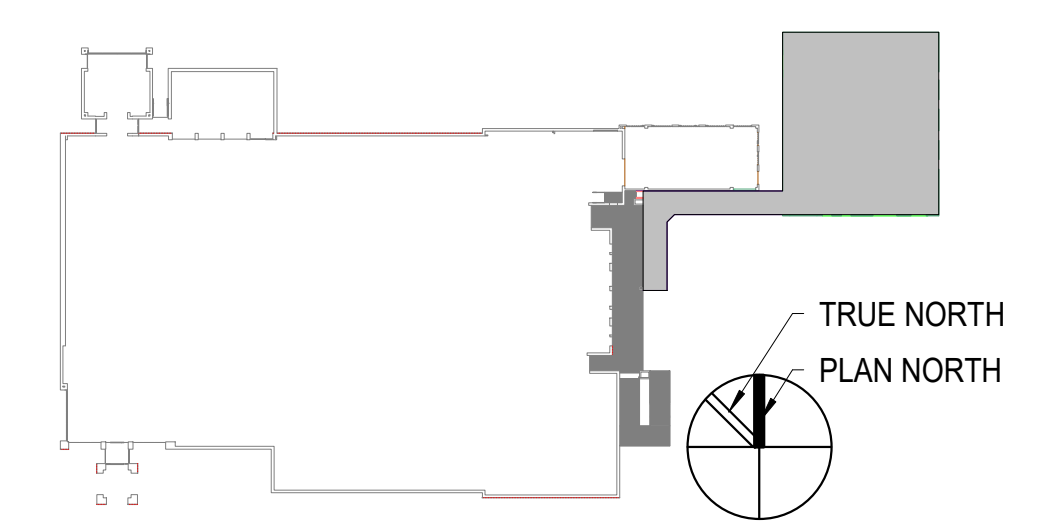
- 4" SANITARY WASTE CONNECTION CONTINUED ON SITE UTILITIES PLAN. MINIMUM INVERT ELEVATION = 30" BELOW FINISHED FLOOR
- PROVIDE WASTE AND VENT ROUGH IN FOR FUTURE SINK. PROVIDE WALL CLEANOUT AT 12" ABOVE FINISH FLOOR
- PROVIDE STUB UP FOR FUTURE SINK WITH 2" WASTE.
- PROVIDE STUB UP FOR FUTURE TOILET WITH 4" WASTE.
- PROVIDE STUB UP FOR EYE WASH WITH 2" WASTE.

**WALL RATING LEGEND:**

NO FIRE RATED ASSEMBLIES IN ADDITION.  
 LEGEND FOR ASSEMBLIES IN EXISTING BUILDING ONLY.

----- 1 HOUR PARTITION  
 ----- 2 HOUR FIRE BARRIER

**KEYPLAN:**



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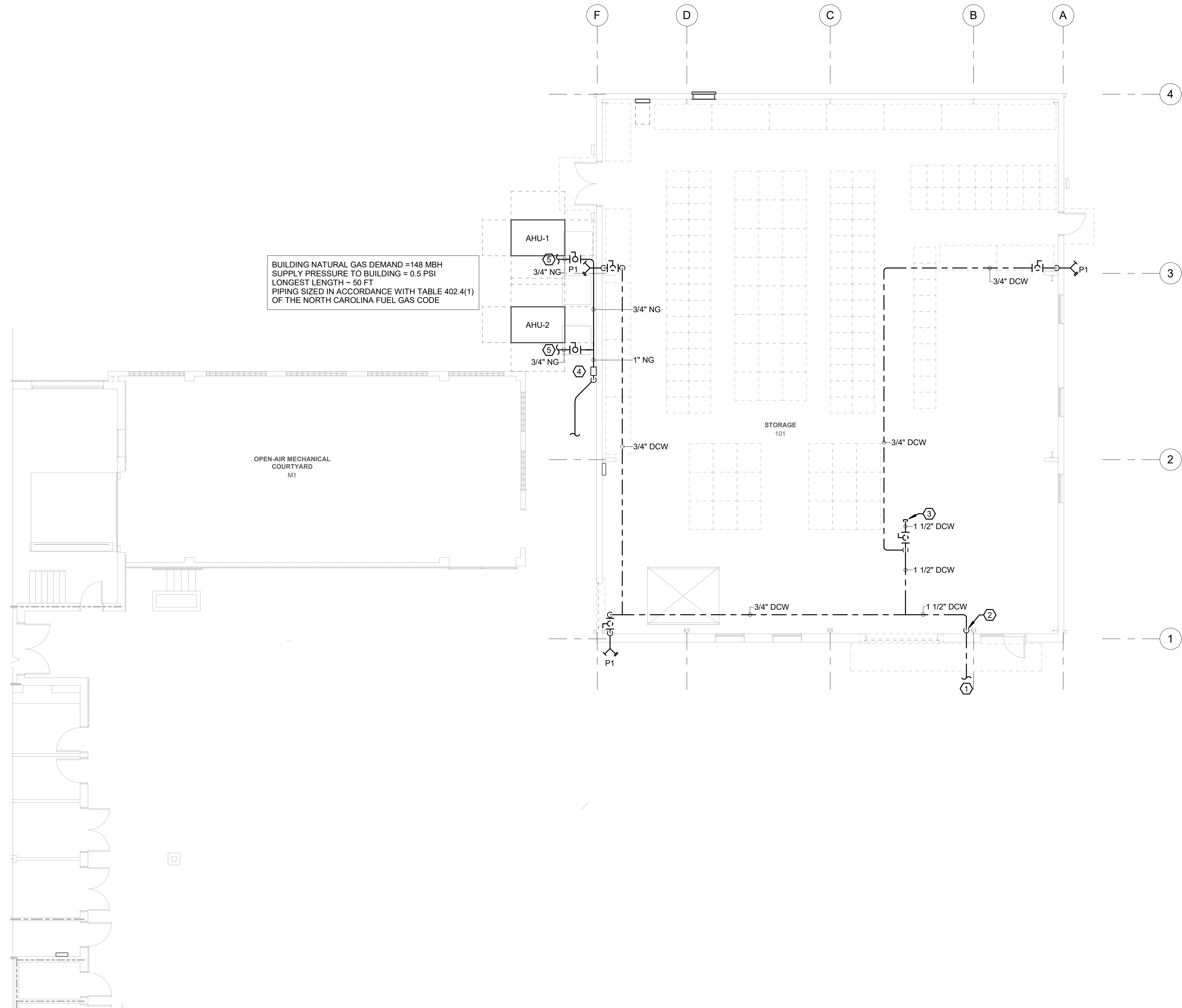
No.	Date

ADDITION FLOOR WASTE & VENT PLAN - BASE BID

DATE  
 9/6/2024

**P-101**





BUILDING NATURAL GAS DEMAND = 148 MBH  
 SUPPLY PRESSURE TO BUILDING = 0.5 PSI  
 LONGEST LENGTH = 50 FT  
 PIPING SIZED IN ACCORDANCE WITH TABLE 402.4(1)  
 OF THE NORTH CAROLINA FUEL GAS CODE

**1** ADDITION DOMESTIC WATER PLAN - BASE BID  
 Scale: 1/8" = 1'-0"



**GENERAL NOTES:**

- REFER TO P-001 FOR ADDITIONAL PLUMBING NOTES.

**KEYNOTES:**

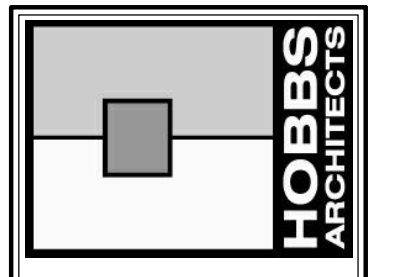
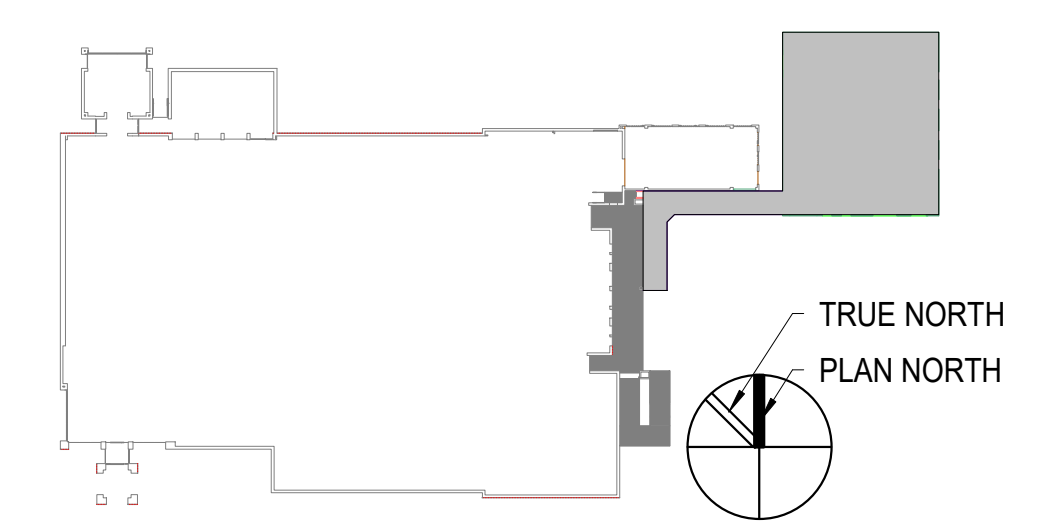
- 1-1/2" DOMESTIC WATER SUPPLY CONTINUED ON SITE UTILITIES PLAN.
- PROVIDE FULL SIZE SHUTOFF VALVE IN RISE AT 4'-0" ABOVE FINISHED FLOOR.
- PROVIDE VALVED AND CAPPED PIPE FOR FUTURE CONNECTION.
- NATURAL GAS METER AND UTILITY SUPPLY BY UTILITY PROVIDER. OUTLET SUPPLY PRESSURE TO BUILDING TO BE 0.5 PSI.
- FINAL CONNECTION TO EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR.

**WALL RATING LEGEND:**

NO FIRE RATED ASSEMBLIES IN ADDITION.  
 LEGEND FOR ASSEMBLIES IN EXISTING BUILDING ONLY.

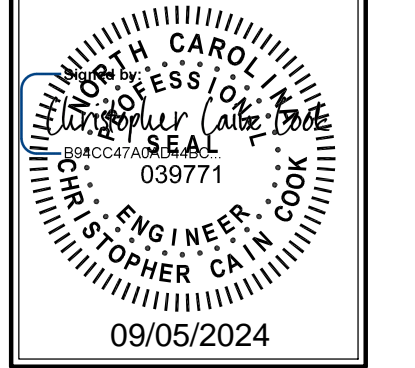
----- 1 HOUR PARTITION  
 ----- 2 HOUR FIRE BARRIER

**KEYPLAN:**



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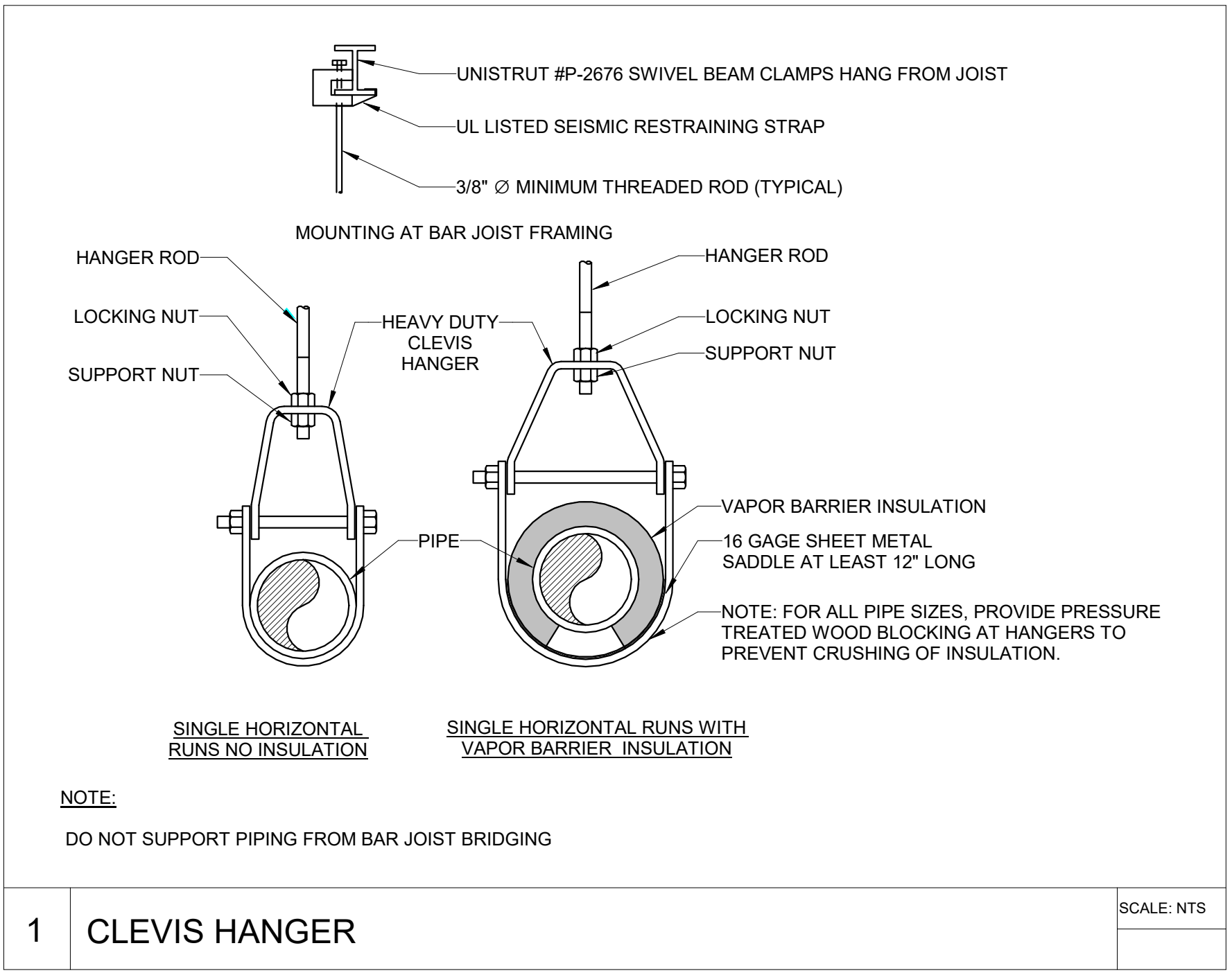
NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
 EADDY BUILDING ADDITION  
 4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

ADDITION FLOOR DOMESTIC WATER PLAN - BASE BID

DATE  
 9/6/2024

**P-102**

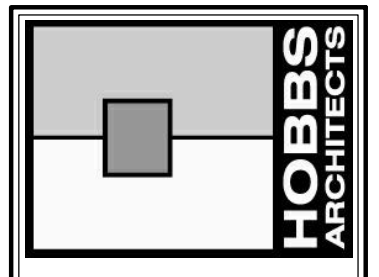


PLUMBING FIXTURE SCHEDULE						
MARK	DESCRIPTION	HW	CW	WASTE	VENT	REMARKS
FD1	FLOOR DRAIN			4"	2"	FIXTURE: ZURN MODEL ZN-415-VP-Y WITH DEEP SEAL P-TRAP, TYPE "B" ROUND STRAINER, AND SEDIMENT BUCKET. PROVIDE WITH PROSET TG-33 TRAPGUARD INSERT TO PREVENT SEWER GASES FROM ESCAPING DRAIN.
P1	EXTERIOR WALL HYDRANT		3/4"			FIXTURE: WOODFORD MODEL B65C AUTOMATIC DRAINING, FREEZELESS HYDRANT IN RECESSED WALL BOX. PROVIDE WITH LOOSE TEE KEY AND CHROME FINISH ON BRASS CASTING.

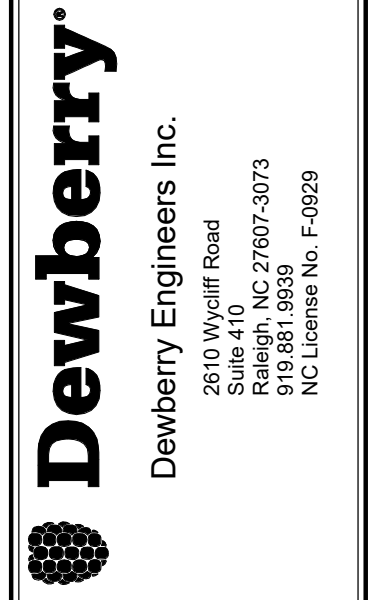
APPROVED EQUIVALENT MANUFACTURERS FOR FLOOR DRAINS INCLUDE: JAY R. SMITH, JOSAM, MIFAB, AND WADE.  
 APPROVED EQUIVALENT MANUFACTURERS FOR WALL HYDRANTS INCLUDE: JAY R. SMITH, WADE, WATTS, AND ZURN.

CLEANOUT SCHEDULE		
WCO	DESCRIPTION	REMARKS
WCO	WALL CLEANOUT	FIXTURE: ZURN MODEL ZS-1468-BP, GAS AND WATERTIGHT TAPERED THREADED BRONZE PLUG, SMOOTH STAINLESS STEEL ACCESS COVER WITH SECURING SCREW; INSTALL AT 12" ABOVE FINISH FLOOR; PROVIDE WITH CLEANOUT TEE WHEN INSTALLED IN VERTICAL PIPING. CLEANOUT SIZE SHALL MATCH PIPE SIZE UP TO 4".
FCO	FLOOR CLEANOUT EXTRA HEAVY DUTY	FIXTURE: ZURN MODEL ZS1400-BP, EPOXY-COATED CAST IRON BODY, GAS AND WATERTIGHT TAPERED THREADED BRONZE PLUG, ROUND SCORIATED STAINLESS STEEL EXTRA HEAVY DUTY ADJUSTABLE SECURED TOP. CLEANOUT SIZE SHALL MATCH PIPE SIZE UP TO 4".
GCO	GRADE CLEANOUT EXTRA HEAVY DUTY	FIXTURE: ZURN MODEL Z1400-BP, EPOXY-COATED CAST IRON BODY, GAS AND WATERTIGHT TAPERED THREADED BRONZE PLUG, ROUND SCORIATED CAST IRON EXTRA HEAVY DUTY ADJUSTABLE SECURED TOP. CLEANOUT SIZE SHALL MATCH PIPE SIZE UP TO 4".

APPROVED EQUIVALENT MANUFACTURERS FOR CLEANOUTS INCLUDE: JAY R. SMITH, JOSAM, MIFAB, AND WADE.



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NEW PROJECT FOR  
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No.	Date

DETAILS AND SCHEDULES

DATE  
 9/6/2024  
**P-501**

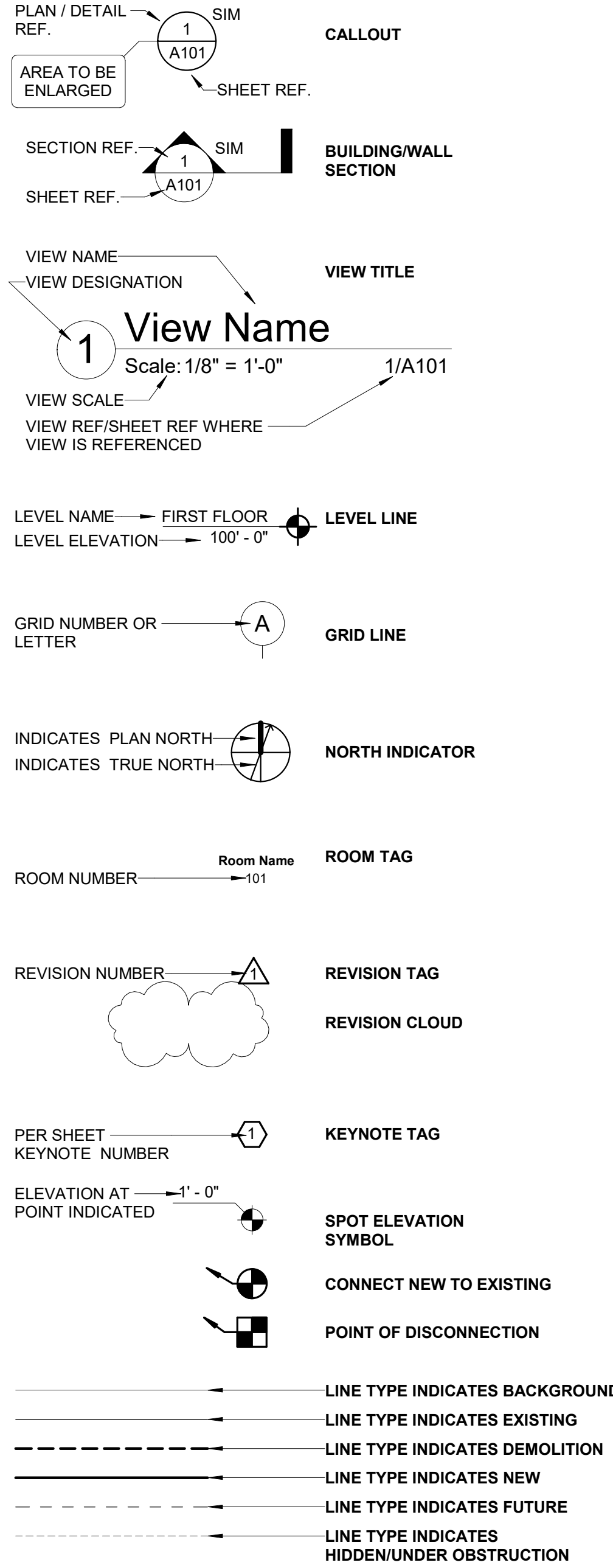
ABBREVIATIONS

Table of abbreviations for mechanical systems, including symbols for damper, meter, mixed air, temperature, and various units.

ABBREVIATIONS

Table of abbreviations for mechanical systems, including symbols for damper, meter, mixed air, temperature, and various units.

STANDARD DETAILING SYMBOLS



HVAC SYMBOLS

Table of HVAC symbols including grilles, supply/return/exhaust air devices, ductwork, and transitions.

HVAC SYMBOLS CONTINUED

Table of HVAC symbols continued, including dampers, controls, and sensors.

MECHANICAL GENERAL NEW WORK NOTES

- List of 19 mechanical general new work notes detailing installation and coordination requirements for HVAC equipment.

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

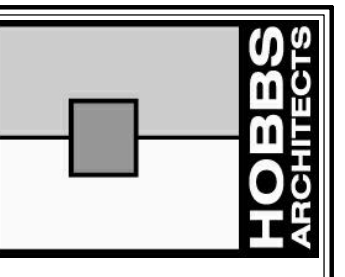
MECHANICAL DESIGN SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Table of mechanical design summary data including thermal zone, interior design conditions, building heating/cooling loads, and mechanical space conditioning system details.

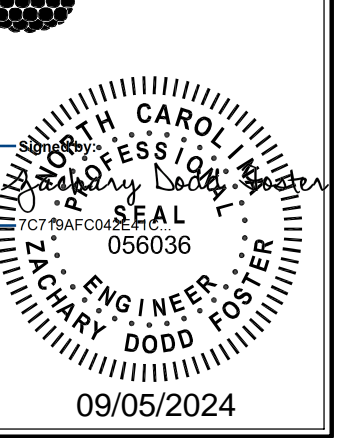
DRAWING LIST - MECHANICAL

Table listing drawing sheets M-001 through M-701, including descriptions and a total count of 6 sheets.



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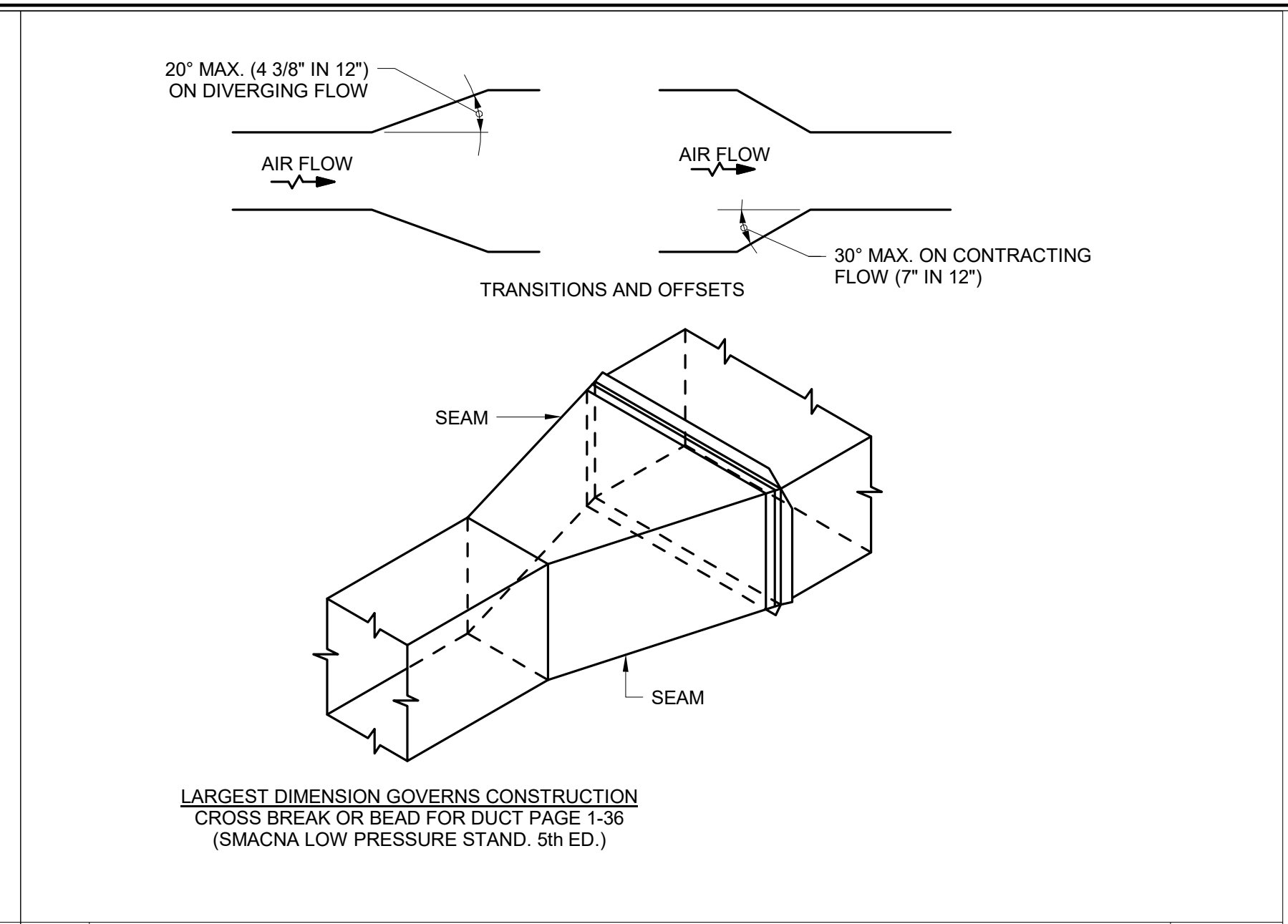
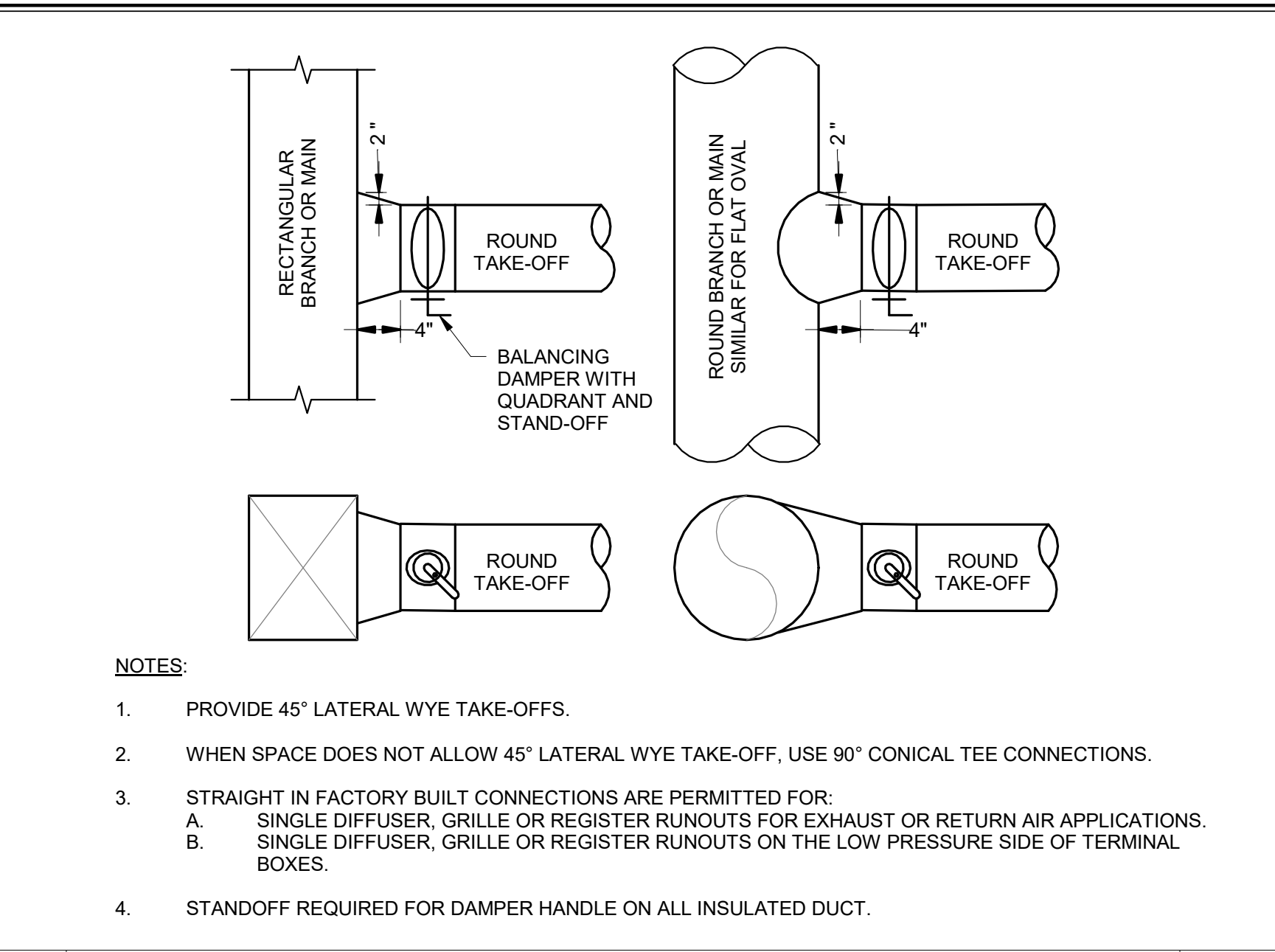
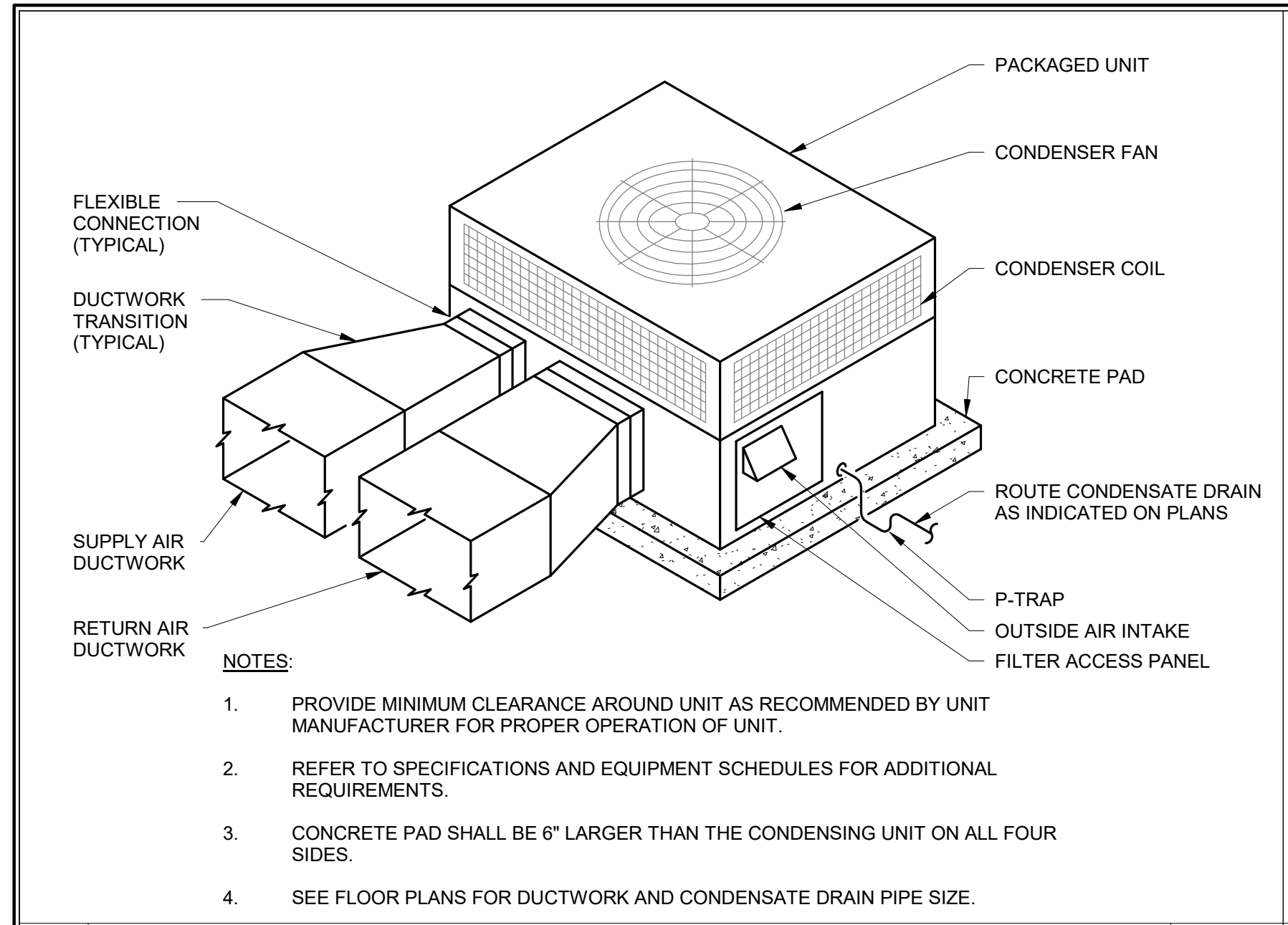
Table with columns for No. and Date, currently empty.

MECHANICAL SYMBOLS, ABBREVIATIONS & NOTES

DATE 9/6/2024

M-001

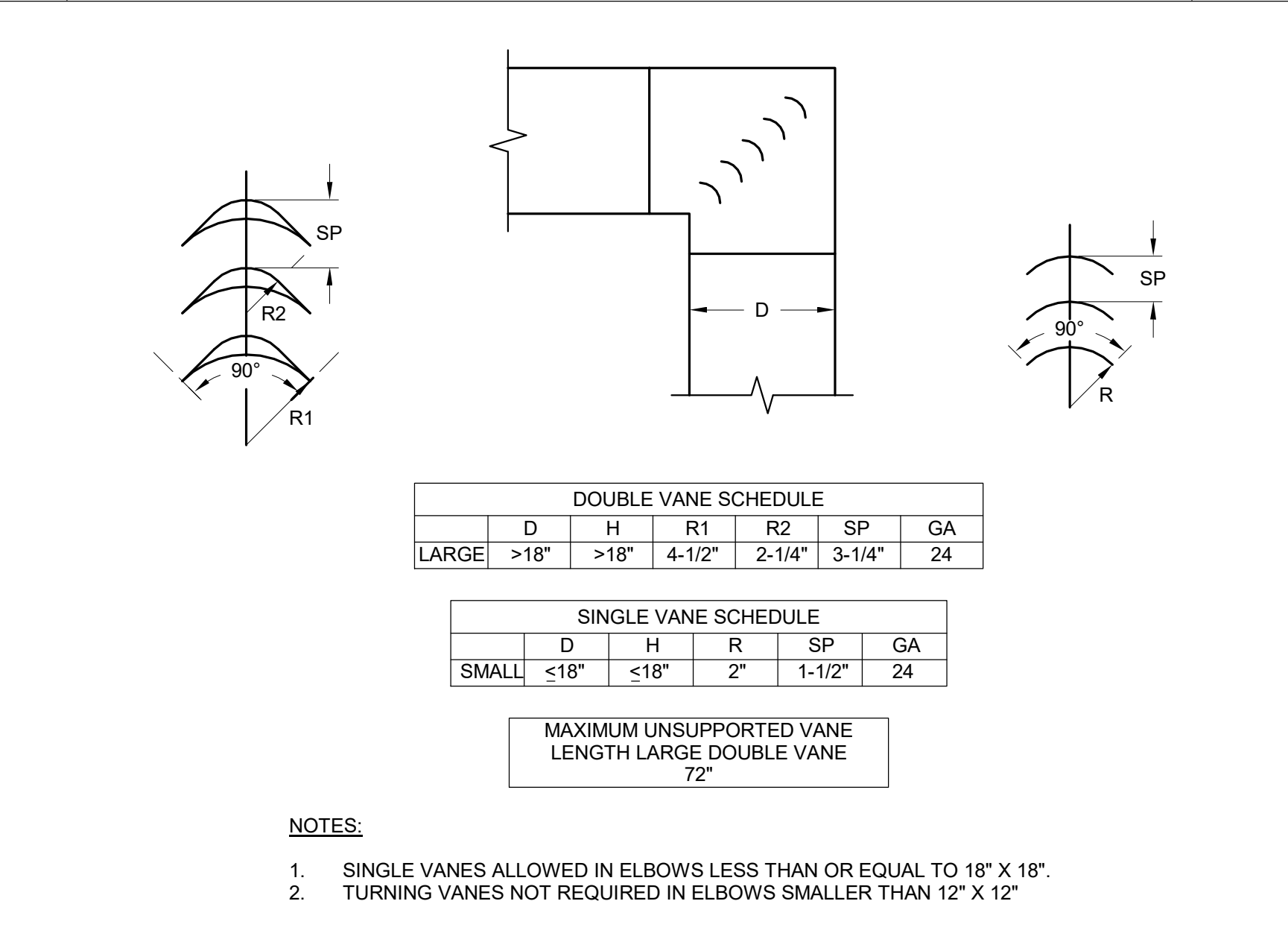
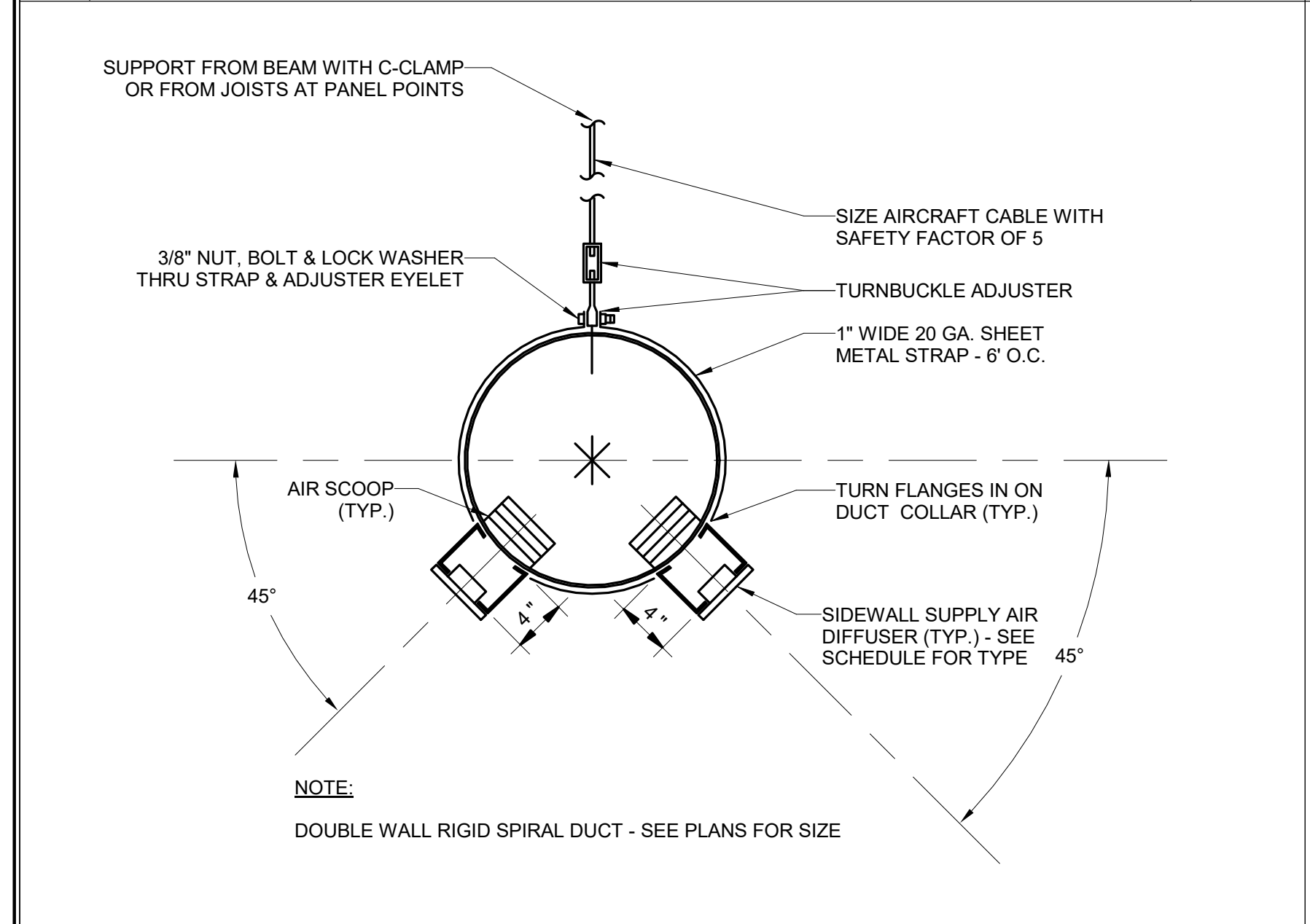




1 PACKAGED UNIT SCALE: NTS 237313-001

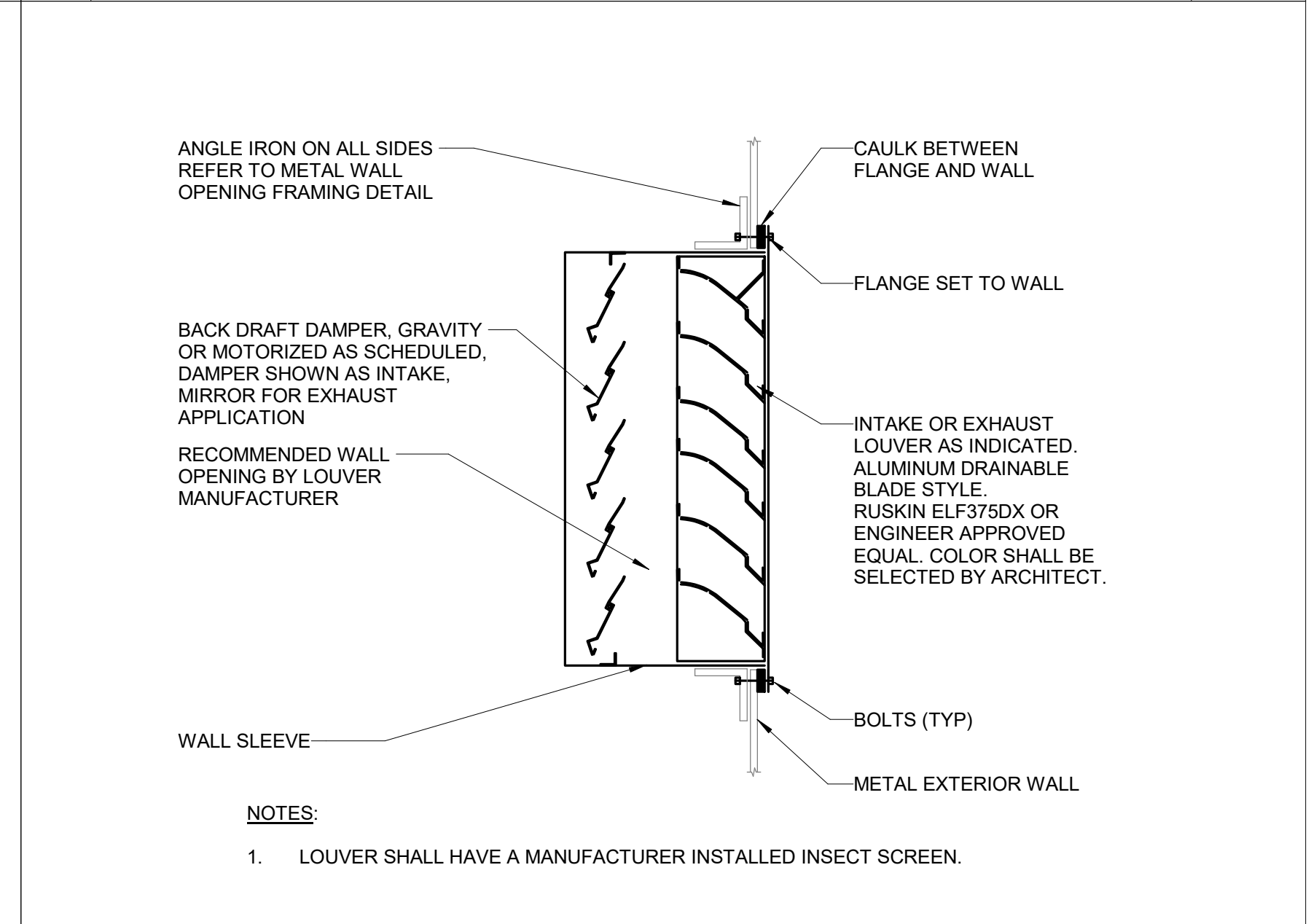
2 DUCT CONICAL TAKE-OFF SCALE: NTS 233113-006

3 DUCT TRANSITION SCALE: NTS



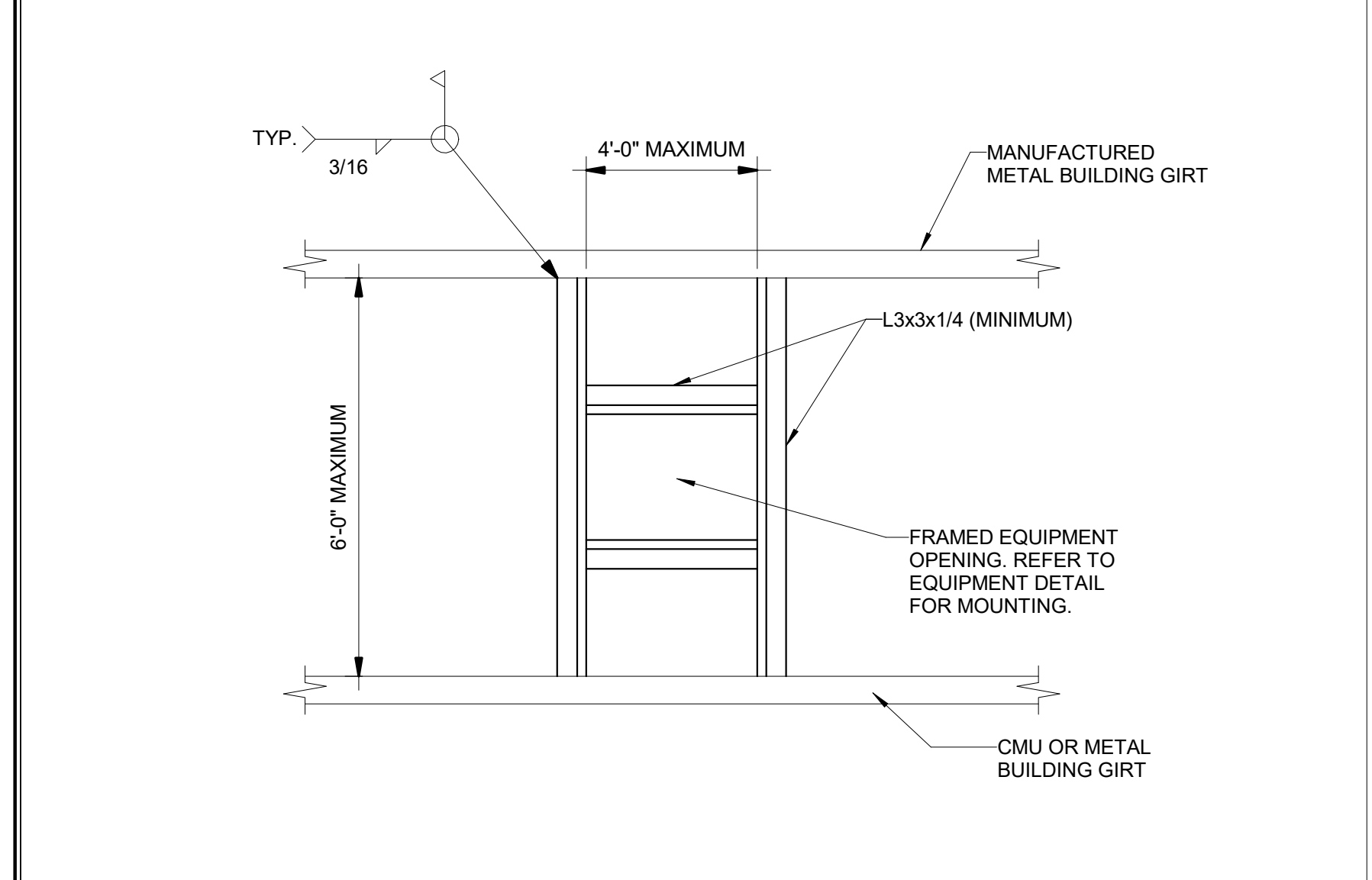
4 EXPOSED ROUND DUCT SCALE: NTS

5 DUCT MITERED 90 ELBOW SCALE: NTS



7 METAL WALL OPENING FRAMING SCALE: NTS

6 METAL WALL MOUNTED LOUVER SCALE: NTS



7 METAL WALL OPENING FRAMING SCALE: NTS

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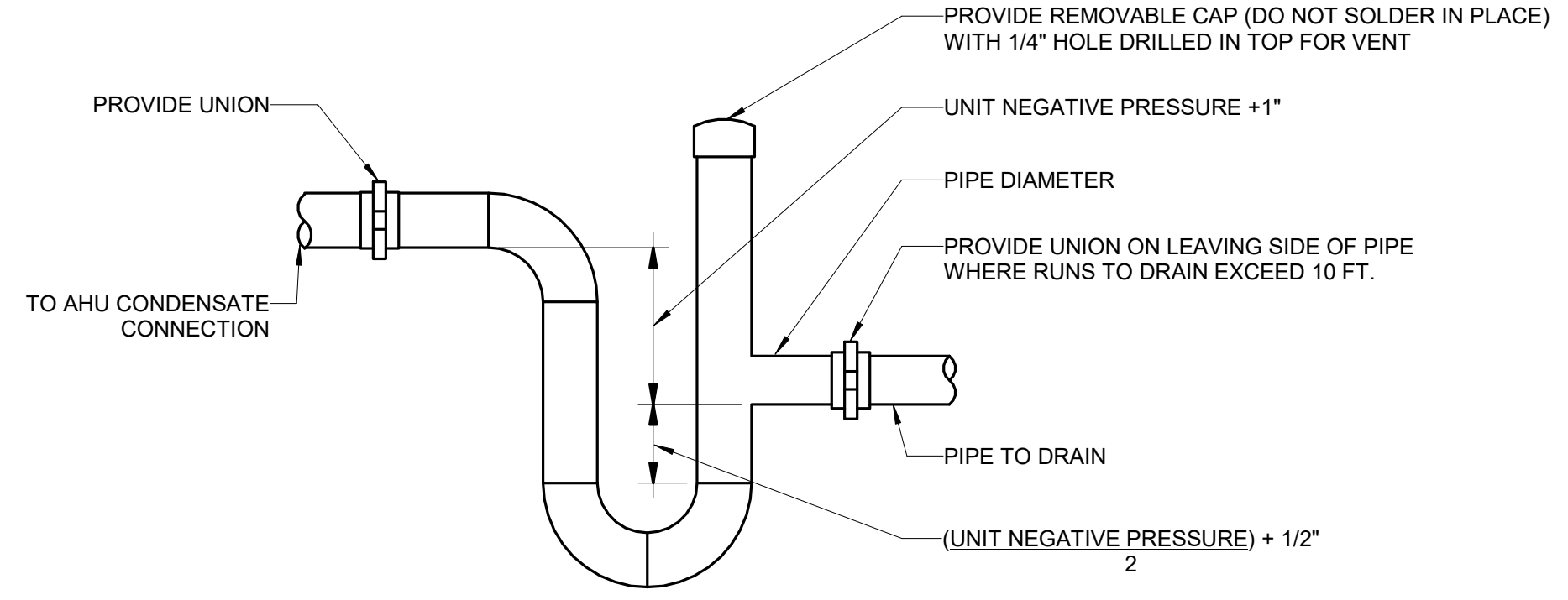
Professional Engineer Seal  
 State of North Carolina  
 License No. 056036  
 Date: 09/05/2024

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**M-501**



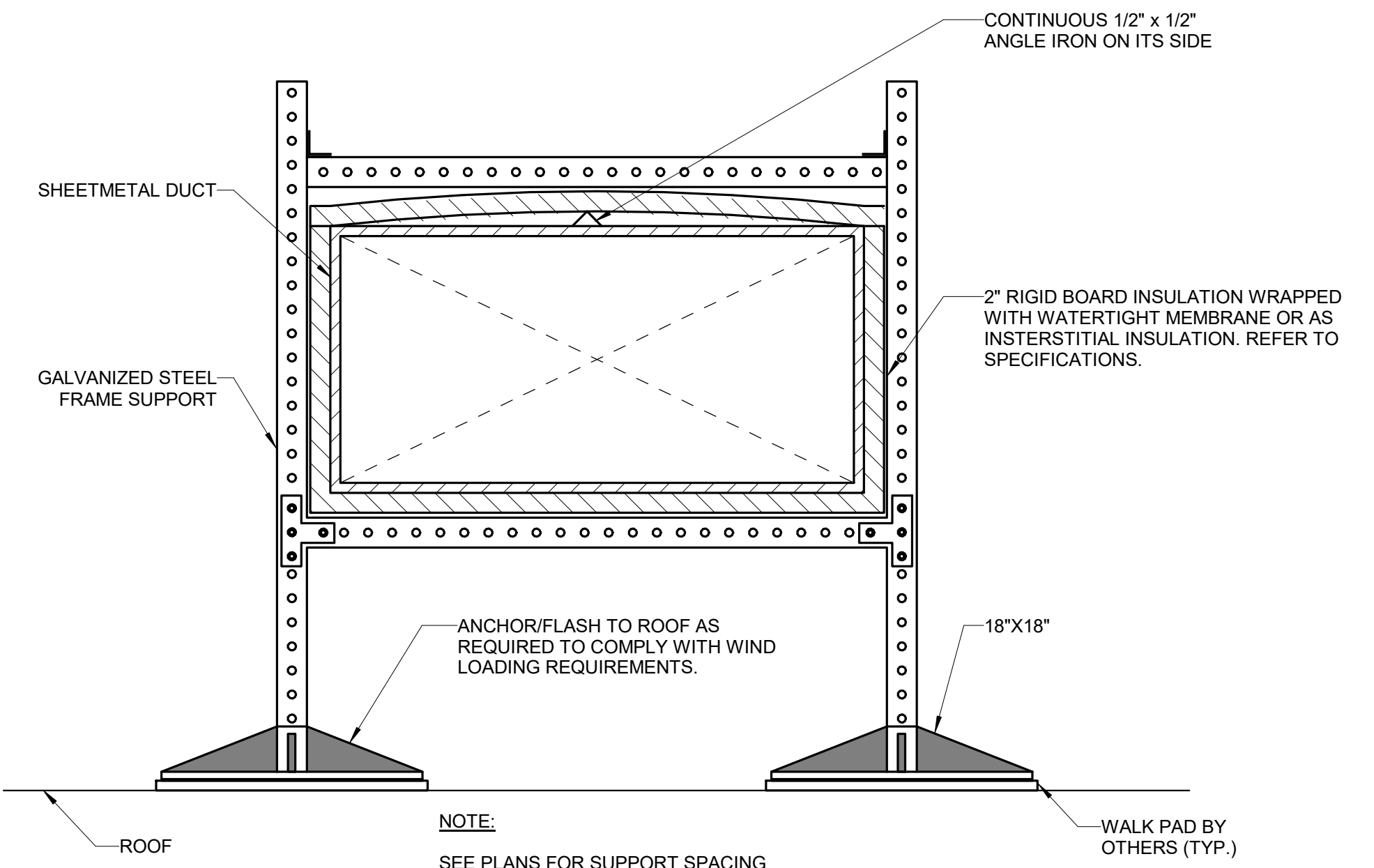
EQUIPMENT CAPACITY	MIN. PIPE DIAMETER
UP TO 20 TONS OF REFRIGERATION	0'-0 3/4"
OVER 20 TONS TO 40 TONS OF REFRIGERATION	0'-1"
OVER 40 TONS TO 90 TONS OF REFRIGERATION	0'-1 1/4"
OVER 90 TONS TO 125 TONS OF REFRIGERATION	0'-1 1/2"
OVER 125 TONS TO 250 TONS OF REFRIGERATION	0'-2"

- NOTES:**
- ALL CONDENSATE PIPING SHALL BE TYPE L HARD COPPER, SIZED TO MATCH AHU OUTLET. RUN FULL SIZE TO DRAIN.
  - INSULATE DRAIN PIPING WITH CLOSED CELL INSULATION. SEE SPECIFICATIONS

- GENERAL NOTES:**
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE BETWEEN THE ELECTRICAL AND OTHER TRADES.
  - ELECTRICAL CONTRACTOR PROVIDES DISCONNECT SWITCH IF NEEDED FOR ELEVATORS, KITCHEN EQUIPMENT, OR OWNER FURNISHED EQUIPMENT.
  - IN ALL CASES THE EQUIPMENT CONTRACTOR SHALL MAKE FINAL CONNECTIONS, START UP, AND TEST EQUIPMENT.
- KEYNOTES:**
- EQUIPMENT OF TRADES OTHER THAN ELECTRICAL.
  - CONDUIT & WIRING BY MECHANICAL OR PLUMBING CONTRACTOR.
  - IF AN ADDITIONAL DISCONNECT SHOWN IS REQUIRED BY NEC IT SHALL BE FURNISHED AND INSTALLED BY MECHANICAL OR PLUMBING CONTRACTOR.
  - A COMBINATION STARTER OR VFD MAY BE USED IN LIEU OF A SEPARATE DISCONNECT SWITCH AND STARTER. DISCONNECT PROVIDED BY ELECTRICAL CONTRACTOR, STARTER/VFD BY MECHANICAL OR PLUMBING CONTRACTOR. LOCATE ADJACENT TO VFD.
  - FEEDER CIRCUIT WIRING AND CONDUIT IN ELECTRICAL WORK. SEE PANELBOARD SCHEDULE FOR WIRE AND BREAKER SIZES.
  - JUNCTION BOX MAY BE SHOWN ON ELECTRICAL FOR SOME EQUIPMENT. IF NO STARTER OR DISCONNECT IS SUPPLIED, A JUNCTION BOX SHALL BE INSTALLED ADJACENT TO EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL PROVIDE LINE SIDE WIRING TO THE JUNCTION BOX. LOAD SIDE WIRING WILL BE PROVIDED BY MECHANICAL OR PLUMBING CONTRACTOR.
  - IF THE ROOF TOP EQUIPMENT IS NOTED "PROVIDED WITH BUILT IN SWITCH", THE ELECTRICAL CONTRACTOR SHALL PROVIDE A DISCONNECT SWITCH.

**1 DRAIN TRAP - DRAW THRU**

SCALE: NTS

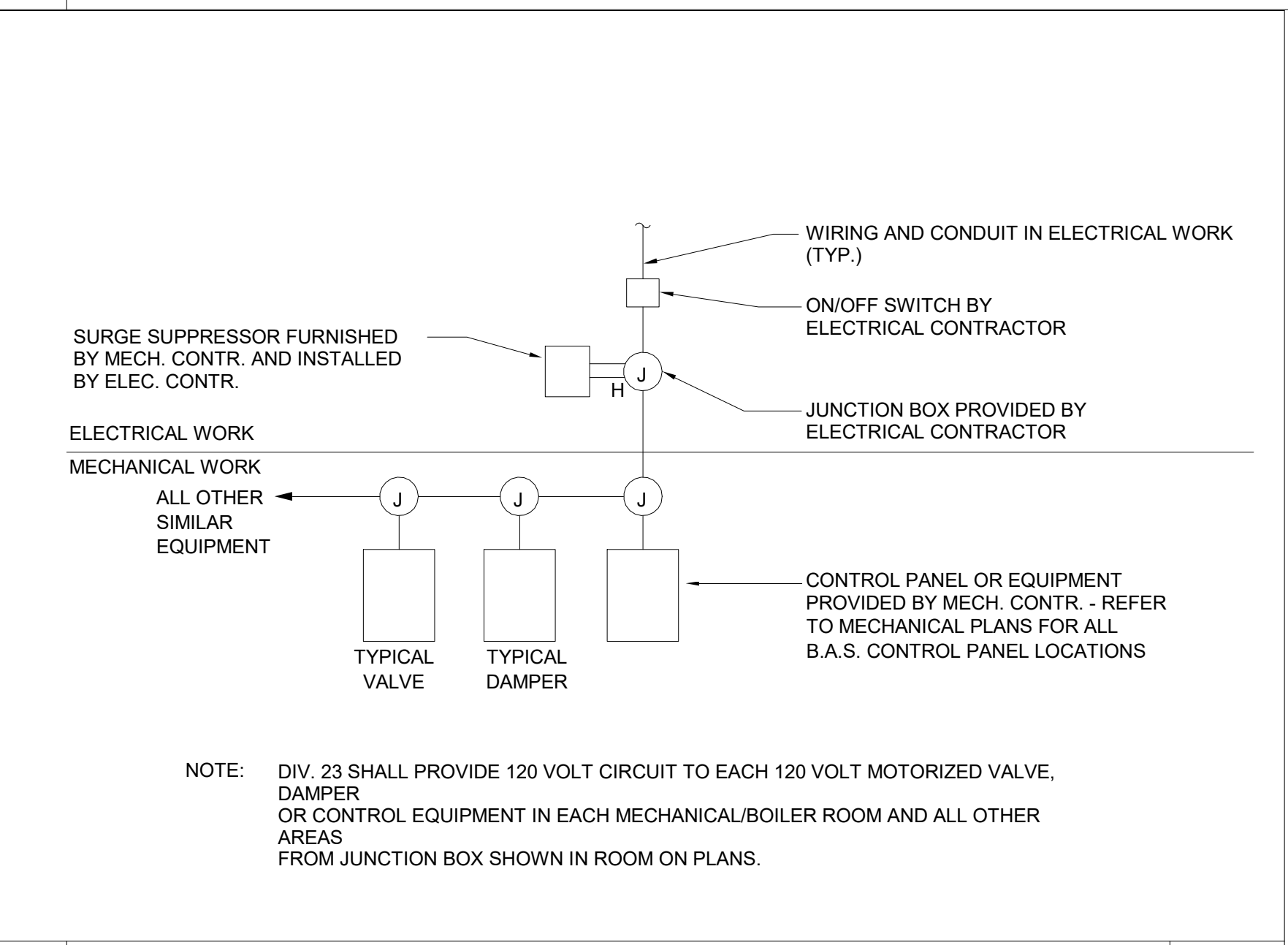
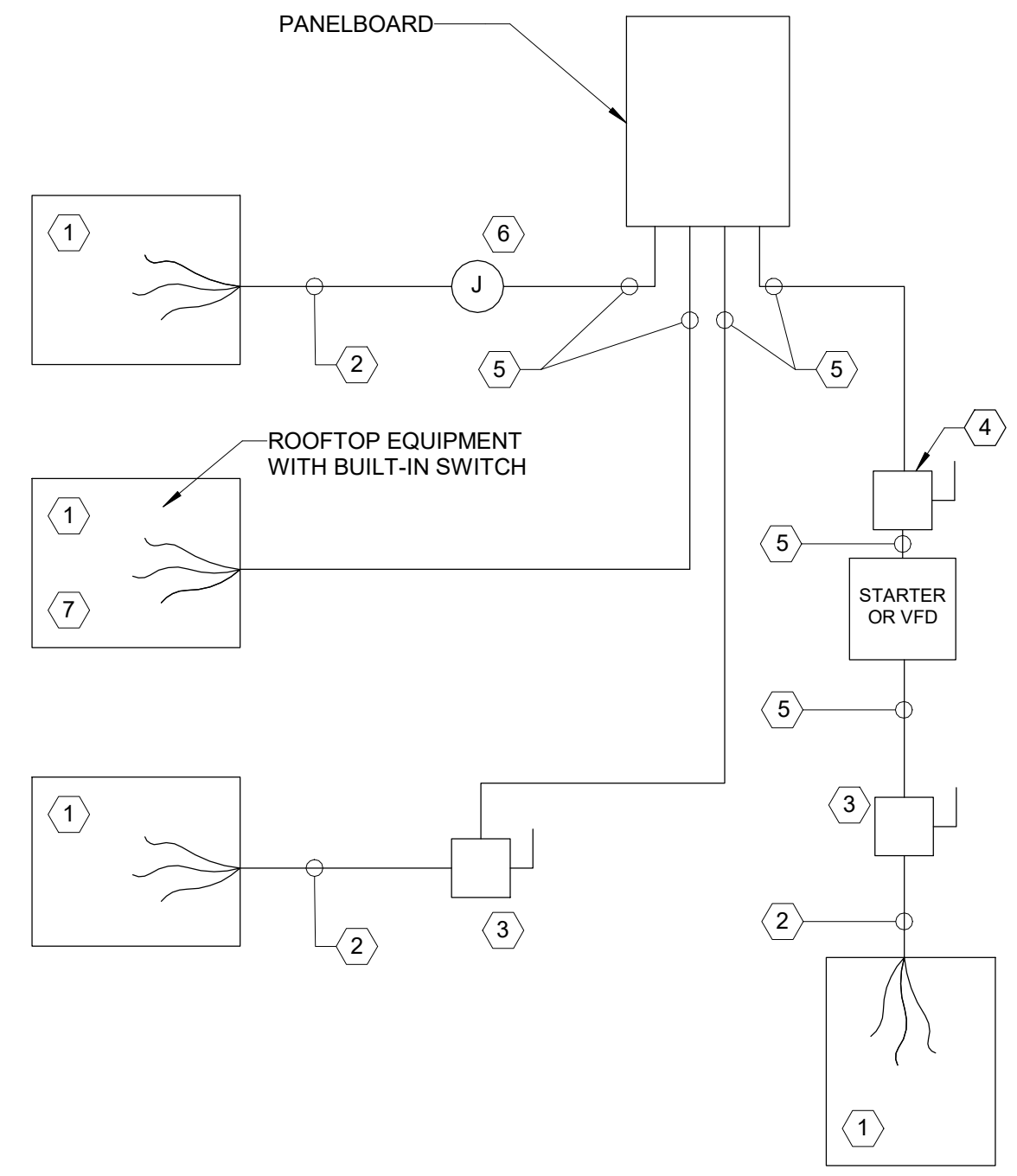


**3 EXTERIOR DUCT AND SUPPORT**

SCALE: NTS

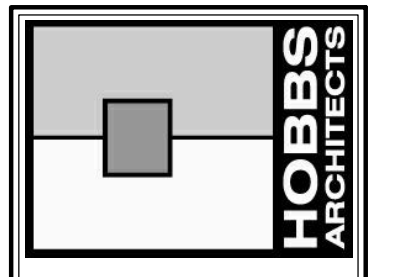
**2 ELECTRICAL TO MECHANICAL EQUIPMENT**

SCALE: NTS



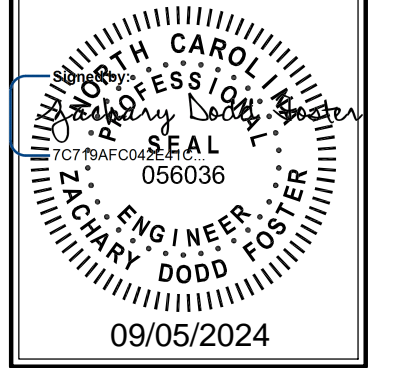
**4 POWER SUPPLY TO HVAC CONTROL PANELS/EQUIPMENT**

SCALE: NTS



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No.	Date

DETAILS

DATE  
9/6/2024

**M-502**

**PACKAGED ROOFTOP UNIT SCHEDULE**

MARK	SERVICE	TYPE	MANUFACTURER / MODEL	SUPPLY AIR FAN			OUTSIDE AIR		COOLING SECTION				HOT GAS REHEAT				HEATING SECTION			FILTRATION			ELECTRICAL			MAX. SOUND LEVEL (dBA)	NOTES			
				TYPE	AIR FLOW (CFM)	ESP (IN WG)	VENTILATION AIR FLOW (CFM)	ECONOMIZER AIR FLOW (CFM)	EAT (Fdb/Fwb)	LAT (Fdb/Fwb)	TOTAL CAPACITY (MBH)	SENSIBLE CAPACITY (MBH)	EER/IEER (BTUH/W)	AMB. (F)	EAT (F)	LAT (F)	CAPACITY (MBH)	EAT (F)	LAT (F)	MIN CAPACITY (MBH)	GAS		TYPE & THICKNESS	EFF. (MERV)	MCA (A)			MOCP (A)	VOLTAGE/ PHASE	
AHU-1	STORAGE	DX COOLING WITH HGRH AND GAS-FIRED HEATING	CARRIER 48LC	PLENUM	1,700	0.60	450	1,700	80 / 67	53.0 / 52.9	70.0	50.0	13/20.5	95	53.0	70.0	31.2	55.0	85.0	55.1	74	60	82%	1" PLEATED PANEL	13	50	60	208/3	90	1,2,3,4,5,6,7,8,9,10,11,12
AHU-2	STORAGE	DX COOLING WITH HGRH AND GAS-FIRED HEATING	CARRIER 48LC	PLENUM	1,700	0.60	450	1,700	80 / 67	53.0 / 52.9	70.0	50.0	13/20.5	95	53.0	70.0	31.2	55.0	85.0	55.1	74	60	82%	1" PLEATED PANEL	13	50	60	208/3	90	1,2,3,4,5,6,7,8,9,10,11,12

NOTES:

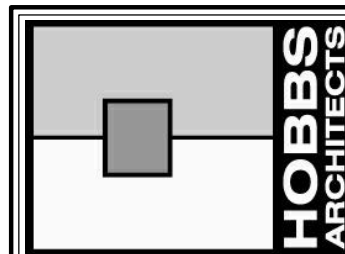
- REFER TO SECTION 236213 FOR ADDITIONAL REQUIREMENTS. REFER TO UNIT DETAILS AND DIAGRAMS FOR COMPLETE CONFIGURATION AND DIMENSIONAL DETAILS.
- MAX. COOLING COIL FACE VELOCITY = 500 FPM.
- SCHEDULED CAPACITIES ARE NET VALVES. PROVIDE GROSS CAPACITY REQUIRED TO ACHIEVE NET CAPACITIES.
- PROVIDE SINGLE-POINT ELECTRICAL CONNECTION AND FUSED-DISCONNECT SWITCH.
- PROVIDE CONCRETE PAD THAT IS 6-INCHES LONGER AND WIDER THAN UNIT FOOTPRINT AND 6-INCHES DEEP WITH 4-INCHES DEEP CRUSHED STONE BASE.
- PROVIDE HINGED ACCESS DOORS.
- PROVIDE HAIL GUARDS FOR OUTDOOR COILS.
- PROVIDE FACTORY PACKAGED CONTROLS CAPABLE OF CONTROLLING UNIT IN STAND-ALONE OPERATION.
- PROVIDE BACNET COMMUNICATIONS CARD TO ENABLE BAS SCHEDULING, MONITORING, AND SETPOINT ADJUSTMENT.
- PROVIDE VARIABLE SPEED FAN MOTORS. VARIABLE SPEED CONTROLLER SHALL BE PROVIDED WITH UNIT AND OPERATED BY PACKAGE UNIT CONTROLLER. CONSTANT VOLUME FAN SPEED SHALL BE ESTABLISHED BY TAB CONTRACTOR.
- PROVIDE MODULATING HOT GAS REHEAT COIL.
- PROVIDE UNIT WITH HORIZONTAL SUPPLY AND RETURN DISCHARGE.

**AIR DISTRIBUTION SCHEDULE**

MARK	SERVICE	TYPE	MANUFACTURER / SERIES	MATERIAL	COLOR	PATTERN	MAX. AIR FLOW (CFM)	FACE SIZE (IN x IN)	NECK SIZE (IN x IN)	APD (IN WG)	MAX. SOUND (NC)	NOTES
S1	SUPPLY	SQUARE LOUVER FACE	TITUS TMSA	ALUMINUM	WHITE	360-DEG.	100	24 x 24	6	0.08	20	1,2,3,4,5
							200					
							325					
							500					
							675					
S2	SUPPLY	DRUM LOUVER	TITUS S-DL	ALUMINUM	WHITE	N/A	375	20 x 8	18 x 6	0.10	20	1,2,3,4,6
R1 / E1	RETURN/EXHAUST	STANDARD BLADE GRILLE	TITUS 350	ALUMINUM	WHITE	N/A	1,650	24 x 24	22 x 22	0.10	20	1,2,3,4,5
							2,000					
R2 / E2	RETURN/EXHAUST	SQUARE PERFORATED FACE	TITUS PAR	ALUMINUM	WHITE	N/A	200	24 x 24	8	0.10	20	1,2,3,4,5
							325					
							450					
							600					
							800					
1,300	24 x 24	22 x 10	0.10									

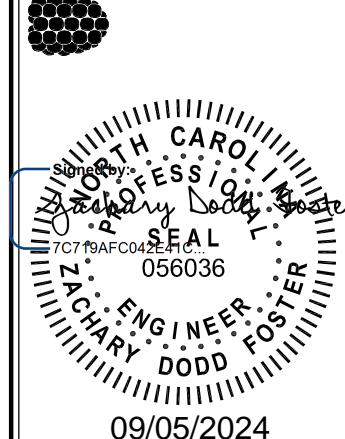
NOTES:

- REFER TO SECTION 233713 FOR ADDITIONAL REQUIREMENTS.
- SOUND LEVELS SHALL BE BASED ON ASHRAE 70. SOUND PERFORMANCE SHALL INCLUDE THE EFFECT OF ANY INTEGRAL BALANCING DEVICES.
- VERIFY MOUNTING FRAME STYLE WITH ARCHITECTURAL REFLECTED CEILING PLANS, FINISH SCHEDULES AND EXISTING CEILINGS.
- DUCT BRANCH FROM MAIN TAKEOFF TO AIR INLET / OUTLET SHALL MATCH SCHEDULED NECK SIZE UNLESS OTHERWISE NOTED.
- PROVIDE INTEGRAL DAMPERS ADJUSTABLE AT THE DEVICE FACE ONLY AT LOCATIONS NOTED ON PLANS.
- PROVIDE INTEGRAL DAMPERS.



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SCHEDULES

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**M-601**

### CONTROL SYSTEMS LEGEND

#### ABBREVIATIONS

AFMS	AIRFLOW MEASURING STATION
AI	ANALOG INPUT
AO	ANALOG OUTPUT
BAS	BUILDING AUTOMATION SYSTEM
BDD	BACKDRAFT DAMPER
DI	DIGITAL INPUT
DO	DIGITAL OUTPUT
FA	FIRE ALARM
FC	FAIL CLOSE
FO	FAIL OPEN
FRZ	FREEZESTAT

#### SYMBOLS

(AC)	ACTUATOR CONTROL
(AS)	AIR FLOW SWITCH
(CO)	CARBON MONOXIDE SENSOR
(CO2)	CARBON DIOXIDE SENSOR
(CS)	CURRENT SENSING RELAY
(DP)	DIFFERENTIAL PRESSURE SENSOR
(DPS)	DIFFERENTIAL PRESSURE SWITCH
(DPT)	DIFFERENTIAL PRESSURE TRANSMITTER
(ECM)	ELECTRICALLY COMMUTATED MOTOR
(EM)	ENERGY METER
(ES)	END SWITCH
(FM)	FLOW METER
(FS)	FLOW SWITCH
(FV)	FLOW CONTROL VALVE (OR DAMPER)
(FZ)	FREEZESTAT
(HS)	HUMIDITY SENSOR
(I)	INTERLOCK
(M)	MOTOR
(MS)	MOTOR STARTER
(OS)	OCCUPANCY SENSOR
(PI)	PRESSURE INDICATOR
(PM)	PULSE METER INTERFACE
(R)	RELAY
(S)	SENSOR
(SD)	SMOKE DETECTOR
(TI)	TEMPERATURE INDICATOR
(TOS)	TIMED OVERRIDE SWITCH
(TS)	TEMPERATURE SENSOR
(VFD)	VARIABLE FREQUENCY DRIVE
(VSD)	VARIABLE SPEED DRIVE
(VS)	VELOCITY SENSOR
(WS)	WATER FLOW SWITCH
(S)	OVERRIDE SWITCH

#### GENERAL

**DESCRIPTION:** BAS SHALL VIEW, MONITOR AND CONTROL BACNET PROTOCOL DEVICES OVER ETHERNET OR IP. PROVIDE PACKAGED UNIT CONTROLLERS WITH BACNET INTERFACE COMPATIBLE WITH OWNER'S EXISTING SIEMENS SYSTEM. PACKAGED UNIT CONTROLLERS SHALL BE INTEGRATED INTO THE OWNER'S EXISTING SIEMENS SUPERVISOR AT THE CENTRAL OFFICE.

**SET POINTS:** ALL SETPOINTS AND NUMERIC VALUES SHALL BE ADJUSTABLE (ADJ).

**TIME DELAYS:** TIME DELAYS NOTED IN THE SEQUENCES OF OPERATION ARE INTENDED TO ALLOW FOR OTHER DEVICES TO ACT IN ADVANCE. FOR EXAMPLE, A FAN NOTED TO START ON A TIME DELAY IS WAITING FOR AN ASSOCIATED DAMPER TO OPEN. TIME DELAY DURATIONS SHALL BE BASED ON THE FINAL SELECTED ACTUATORS.

**VARIABLE SPEED CONTROLLER OPERATION:** WHEN A FAN IS STARTED, THE CONTROLLER SPEED DRIVE SHALL START AT MINIMUM SPEED AND SLOWLY INCREASE UNTIL REACHING THE REQUIRED SPEED TO SATISFY THE REFERENCE SIGNAL.

**EQUIPMENT WITH PACKAGED CONTROLS:** HVAC EQUIPMENT THAT COMES EQUIPPED WITH FACTORY-INSTALLED PACKAGED CONTROLS SHALL COME WITH A BAS INTERFACE CARD(S) FOR THE APPLICABLE COMMUNICATION PROTOCOL THAT ALLOWS FULL VISIBILITY OF INTERNAL CONTROL AND MONITORING POINTS.

#### SCHEDULES

**OCCUPIED/UNOCCUPIED SCHEDULE:** EACH CONTROL ZONE SHALL REFERENCE A USER-DEFINED AND USER-ADJUSTABLE SCHEDULE. MINIMUM OF (10) SCHEDULES SHALL BE AVAILABLE FOR CURRENT AND FUTURE USE.

**DEFAULT:** UNLESS OTHERWISE DIRECTED BY THE OWNER/ENGINEER, USE THE FOLLOWING PRELIMINARY OCCUPIED SCHEDULE:  
 MON - FRI, 7:00 AM - 6:00 PM  
 SAT. & SUN 8:00 AM - 12:00 PM  
 ALL OTHER HOURS SHALL BE CONSIDERED UNOCCUPIED.

#### BUILDING MONITORING AND CONTROL

**REGAIN POWER CONTROL:** AFTER RESUMPTION OF POWER FROM AN OUTAGE, AUTOMATICALLY RESTART ALL EQUIPMENT BASED ON THE OCCUPANCY SCHEDULE.

**AMBIENT CONDITIONS:** OUTSIDE AIR CONDITIONS SHALL BE USED IN ALL EQUIPMENT SEQUENCES SUCH THAT THEY ALL ACT ON THE SAME AMBIENT VALUES.

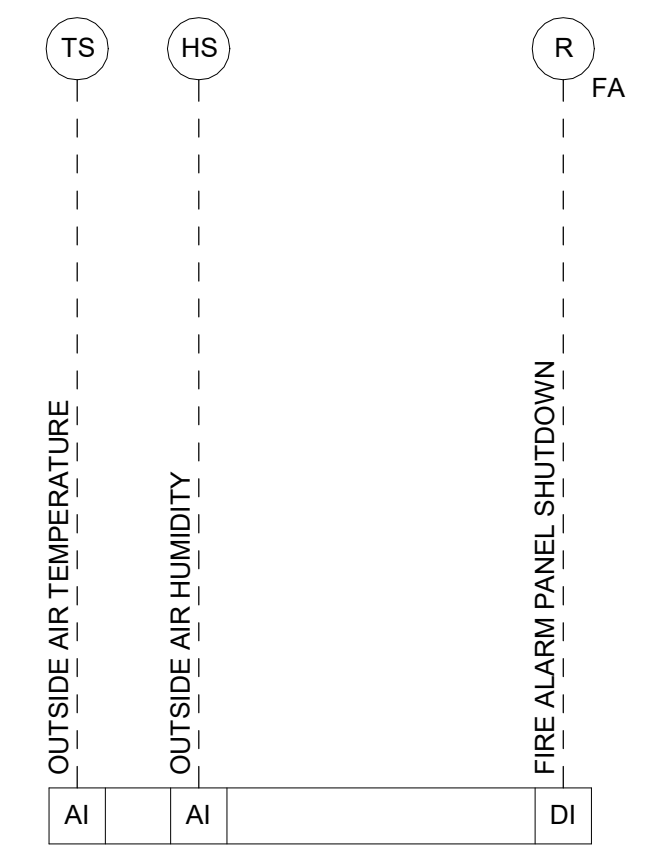
**MONITOR AND TREND:** OA TEMPERATURES (15 MINUTE INTERVALS)  
 OA HUMIDITY (15 MINUTE INTERVALS)  
 FIRE ALARM SYSTEM PANEL STATUS

**CALCULATE AND TREND:** OA DEW POINT TEMPERATURE (15 MINUTE INTERVALS)  
 OA ENTHALPY (15 MINUTE INTERVALS)

VALUES SHALL BE CALCULATED IN THE CONTROLLER WITH A MANUFACTURER BLOCK. IF A MANUFACTURER BLOCK IS NOT AVAILABLE AND A MANUAL CALCULATION IS REQUIRED, CONTRACTOR SHALL PROVIDE FORMULA TO ENGINEER FOR APPROVAL.

**GENERAL ALARMS CONTROL:** ALARM BAS OF THE FOLLOWING CONDITIONS:  
 FIRE ALARM SYSTEM PANEL GENERAL ALARM SIGNAL

**GRAPHICAL DISPLAY:** MINIMUM REQUIREMENTS INCLUDE:  
 OA TEMPERATURE, DEW POINT, HUMIDITY  
 ALL ALARMS



GLOBAL BUILDING POINTS CONTROL DIAGRAM

#### PACKAGED RTU CONTROL

THE PACKAGED RTU SHALL BE SCHEDULED BY THE BAS UNDER A TIME-OF-DAY (TOD) SCHEDULE. THIS SCHEDULE SHALL BE EDITABLE FROM THE BAS GRAPHICS.

**OCCUPIED MODE:** THE SUPPLY FAN SHALL RUN CONTINUOUSLY IN THE OCCUPIED MODE. THE PACKAGED CONTROLS SHALL OPERATE UNIT AS REQUIRED TO MEET SET COOLING, HEATING, AND DEHUMIDIFICATION DEMAND. THE OUTSIDE AIR DAMPERS SHALL BE OPEN TO BALANCED MINIMUM POSITION, UNLESS OVERRIDDEN BY ECONOMIZER MODE.

**UNOCCUPIED MODE:** THE PACKAGE CONTROLS SHALL CYCLE SUPPLY FAN AND OPERATE COMPRESSORS, HOT GAS COIL, AND ELECTRIC HEAT AS REQUIRED TO MEET SET BACK COOLING, HEATING, AND DEHUMIDIFICATION DEMAND. THE OUTSIDE AIR DAMPERS SHALL BE CLOSED, UNLESS OVERRIDDEN BY ECONOMIZER MODE.

**SHUTDOWN MODE:** THE GAS VALVE SHALL CLOSE. THE SUPPLY FAN, COMPRESSORS, CONDENSER FAN, AND BURNER SHALL DE-ENERGIZE. THE OUTSIDE AND RETURN AIR DAMPERS SHALL CLOSE (TIME DELAY).

**MANUAL OVERRIDE MODE:** SWITCH TO OCCUPIED MODE BASED ON MANUAL ACTIVATION OF THE OCCUPANT OVERRIDE SWITCH ON THE SPACE TEMPERATURE SENSOR. SWITCH BACK TO OCCUPIED, UNOCCUPIED OR WARM-UP / COOL-DOWN MODE BASED ON OCCUPANCY SCHEDULE WHEN OVERRIDE PERIOD OF 120 MINUTES (ADJ) EXPIRES.

**OCCUPIED SETTINGS:**  
 COOLING: 74°F (ADJ) +/- 2°F OCCUPANT ADJUSTMENT  
 HEATING: 70°F (ADJ) +/- 2°F OCCUPANT ADJUSTMENT  
 HUMIDITY: 50% RH

**UNOCCUPIED SETTINGS:**  
 COOLING: 80°F (ADJ)  
 HEATING: 65°F (ADJ)  
 HUMIDITY: 50% RH

**OPTIMUM START MODE:** AN OPTIMUM START ALGORITHM SHALL INITIATE MORNING WARM-UP OR MORNING COOL DOWN AT THE MOST ECONOMICAL START TIME TO ENSURE SPACE CONDITIONS REACH OCCUPIED SPACE SET POINTS AT TIME OF OCCUPANCY. THE START TIME SHALL BE DYNAMICALLY ADJUSTED BASED ON OUTDOOR CONDITIONS AND SPACE CONDITIONS. DURING MORNING WARM-UP AND MORNING COOL-DOWN MODES, THE UNIT SHALL OPERATE WITH THE SAME SEQUENCE AS UNOCCUPIED HEATING OR UNOCCUPIED COOLING.

**DAMPER POSITION:** IN OCCUPIED MODES, THE RETURN AIR DAMPER SHALL BE 100% OPEN AND THE OUTSIDE AIR DAMPER SHALL BE AT BALANCED MINIMUM POSITION. IN UNOCCUPIED MODE, RETURN AIR DAMPER SHALL BE OPEN AND THE OUTSIDE AIR DAMPER SHALL BE CLOSED.

**COOLING MODE:** THE PACKAGED CONTROLS SHALL OPERATE UNIT TO MAINTAIN THE SPACE TEMPERATURE SET POINT BY MAINTAINING A 55°F (ADJ) SUPPLY AIR. IF SPACE TEMPERATURE IS SATISFIED, THE SUPPLY AIR TEMPERATURE SHALL RESET UPWARDS TO 65°F, UNLESS OVERRIDDEN BY A HIGH HUMIDITY CONDITION.

**DEHUMIDIFICATION MODE:** THE PACKAGED CONTROLS SHALL OPERATE THE UNIT TO DEHUMIDIFY THE AIR AND THE HOT GAS REHEAT SHALL MODULATE TO MAINTAIN SPACE TEMPERATURE SET POINT. THE UNIT SHALL ENTER DEHUMIDIFICATION MODE WHEN THE SPACE HUMIDITY INCREASES 5%RH (ADJ) ABOVE SETPOINT AND EXIT DEHUMIDIFICATION MODE WHEN THE SPACE HUMIDITY FALLS 5%RH (ADJ) BELOW SETPOINT. DEHUMIDIFICATION SHALL BE AVAILABLE IN ALL OCCUPIED AND UNOCCUPIED MODES.

**DRY BULB ECONOMIZER MODE:** WHEN OUTSIDE AIR TEMPERATURE IS BETWEEN 40°F AND 63°F, ENABLE "FREE COOLING". OUTSIDE AIR DAMPER SHALL MODULATE UP TO 100% TO MAINTAIN 55°F (ADJ) MIXED AIR TEMPERATURE. IF OUTSIDE AIR DAMPER DAMPER IS 100% OPEN AND MIXED AIR TEMPERATURE IS NOT SATISFIED, RETURN AIR DAMPER SHALL MODULATE DOWN TO 0% OPEN TO MAINTAIN 55°F (ADJ) MIXED AIR TEMPERATURE. SUPPLEMENTAL COOLING SHALL BE ENABLED ONCE OUTSIDE AIR DAMPER IS FULLY OPEN AND RETURN AIR DAMPER IS FULLY CLOSED.

**ECONOMIZER / COOLING CHANGEOVER:** SWITCH FROM COOLING MODE TO ECONOMIZER MODE WHEN OA TEMPERATURE DROPS 3°F BELOW ECONOMIZER COOLING SET POINT. SWITCH FROM ECONOMIZER MODE TO COOLING MODE WHEN OA TEMPERATURE RISES ABOVE ECONOMIZER COOLING SET POINT.

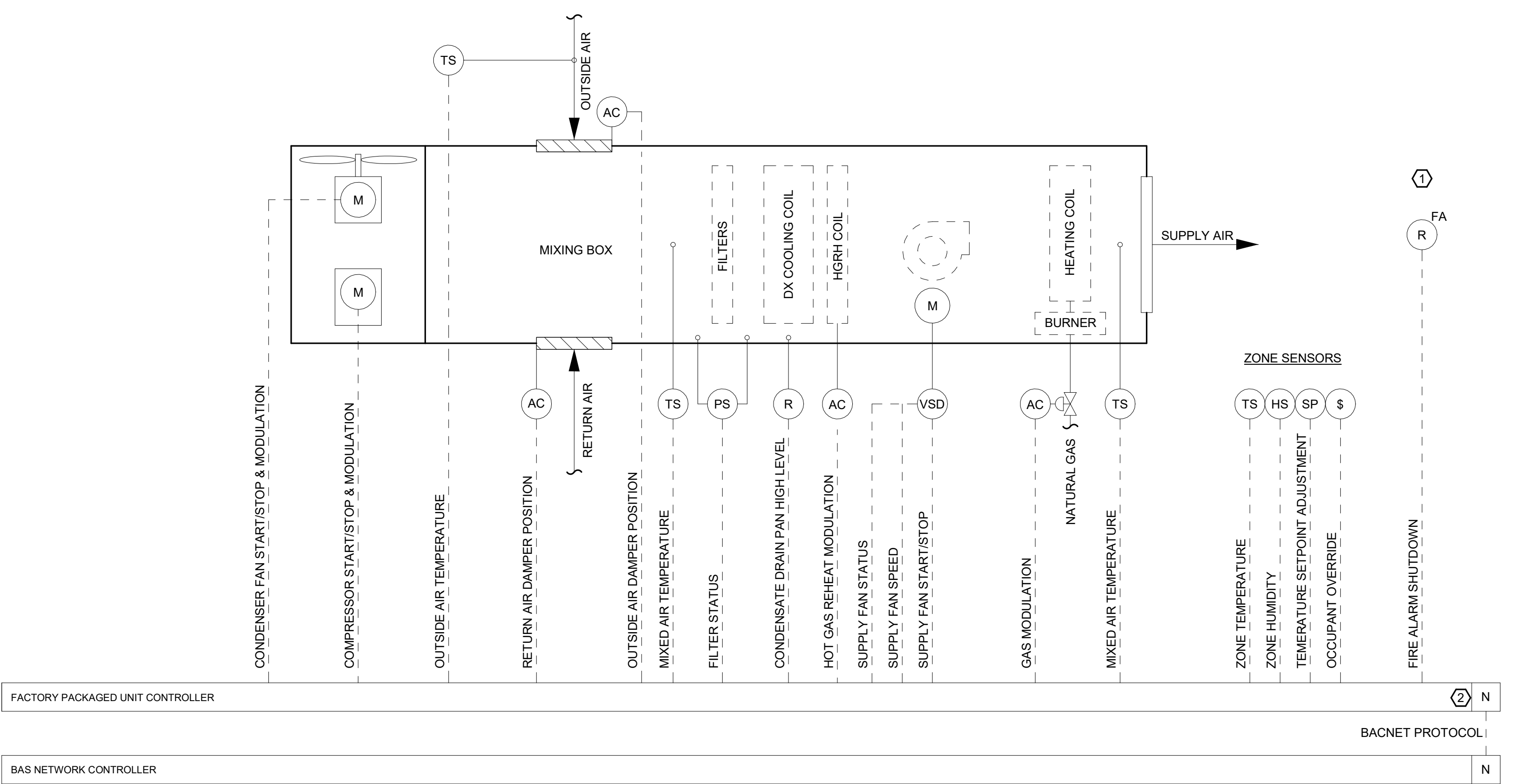
ECONOMIZER COOLING SET POINT = 63°F

**HEATING MODE:** THE PACKAGED CONTROLS SHALL MODULATE THE GAS-FIRED BURNER TO MAINTAIN THE SPACE TEMPERATURE SET POINT.

**ALARMS:** PROVIDE VISUAL ALARM INDICATOR FOR THE FOLLOWING ALARM CONDITIONS.

**CONDENSATE LEVEL SHUTDOWN CONTROL:** DISABLE UNIT COOLING WHEN CONDENSATE DRAIN PAN HIGH-LEVEL SWITCH INDICATES HIGH-LEVEL. SEND ALARM.

**FIRE ALARM CONTROL:** SHUT-DOWN AHU VIA HARD-WIRED INTERLOCK WHEN FIRE ALARM SYSTEM SENDS SHUT-DOWN SIGNAL. SEND ALARM.



#### NOTES:

- FIRE ALARM RELAY SIGNAL FROM FACP. FIRE ALARM COMMAND SHALL TAKE PRIORITY OVER ALL BAS AND/OR PACKAGE CONTROLLER COMMANDS. REFER TO FIRE ALARM SEQUENCE.
- PROVIDE PACKAGED UNIT CONTROLLERS WITH BACNET INTERFACE COMPATIBLE WITH OWNER'S EXISTING SIEMENS SYSTEM. PACKAGED UNIT CONTROLLERS SHALL BE INTEGRATED INTO THE OWNER'S EXISTING SIEMENS SUPERVISOR AT THE CENTRAL OFFICE.

PACKAGED RTU CONTROL DIAGRAM (AHU-1.2)

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 State of North Carolina  
 License No. 056036  
 Date: 09/05/2024

NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
 EADDY BUILDING ADDITION  
 4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

MECHANICAL CONTROLS

DATE  
 9/6/2024  
**M-701**



ABBREVIATIONS - ELECTRICAL

THIS IS A MASTER ABBREVIATIONS LIST. SOME ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT.

Table of electrical abbreviations including AMP, AC, ADA, AF, AFCI, AFF, AFG, AHJ, AIC, AL, ALUM, ANSI, AT, ATS, AUX, AWG, AWS, BAS, BLDG, BMS, BRKR, BKR, C, C/B, CB, CCTV, CTV, cd, CKT, CL, CLF, CLG, COL, COMM, CONV, CP, CPT, CRI, CT, CU, DB, dB, DC, DIA, DN, DP, DPST, DWG, E, EX, EA, EC, ECB, EGB, EGC, ELEC, ELEV, EM, EMERG, EMT, EOL, EPO, EQ, EQP, ERMS, FA, FC, FLA, FLEX, FLR, FO, FSS, FTL, FU, FURN, FVNR, G, GND, GALV, GEN, GF, GF, GF, GF, GRC, GRMC, HCF, MC, HID, HL, HOA, HORIZ, HP, HT, HV, HVAC, HWP, Hz, IDF, IG, IMC, INCAN, INT, IPC, IS, ISO, JB, JBOX, K, KCMIL, KV, KVA, KVAR, KW, KWH, LCP.

ABBREVIATIONS - ELECTRICAL

THIS IS A MASTER ABBREVIATIONS LIST. SOME ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT.

Table of electrical abbreviations including LED, LFMC, LP, LRA, LS, LSIG, LTG, LTS, LV, MC, MCA, MCB, MCC, MCCB, MCP, MDF, MDP, MECH, MFR, MI, MLO, MOC, MTG, MTR, MTS, MV, MW, N, N.C., N/A, NEC, NEMA, NF, NFPA, NFSS, NIC, NL, NPT, NTS, O.L, OCPD, P, PB, PH, Ø, PLC, PNL, POE, PP, PT, PVC, PWR, QTY, R, RCP, REC, RECP, REQ, REQD, RMC, RNC, RP, RTS, SBD, SWBD, SDP, SGR, SWGR, SP, SPD, SPDT, SPST, SS, ST, STD, STR, SW, SYM, TEL, TELE, TEMP, TGB, TTB, TYP, UG, UNO, UPS, USB, V, VA, VAR, VERT, VFD, VOIP, W, W, WG, XFR, XFMR.

FIRE ALARM SYMBOLS

Table of fire alarm symbols including SMOKE DETECTOR, HEAT DETECTOR, MULTI CRITERIA DETECTOR, VISIBLE, COMBINATION AUDIBLE/VISIBLE, DUCT MOUNTED DETECTOR, PULL STATION, FIRE ALARM PANEL SURFACE MOUNTED.

AV, DATA & TELECOMMUNICATIONS SYMBOLS

Table of AV, data, and telecommunication symbols including DUPLEX OUTLETS, JUNCTION BOX, EQUIPMENT CONNECTION, MANUAL MOTOR STARTER, NON-FUSIBLE SAFETY SWITCH, FUSIBLE SAFETY SWITCH, GROUND BAR.

BONDING GROUNDING & LIGHTNING PROTECTION SYMBOLS

Table of bonding, grounding, and lightning protection symbols including GROUND BAR, GROUND ROD.

LIGHTING SYMBOLS

Table of lighting symbols including STRIP LUMINAIRE, SURFACE/RECESSED CAN LUMINAIRE, WALL SCONCE LUMINAIRE, WALL MOUNTED EXIT SIGNS, SWITCH.

POWER SYMBOLS

Table of power symbols including DUPLEX OUTLETS, JUNCTION BOX, EQUIPMENT CONNECTION, MANUAL MOTOR STARTER, NON-FUSIBLE SAFETY SWITCH, FUSIBLE SAFETY SWITCH, GROUND BAR, WALL MOUNTED PANEL, RECESSED PANEL.

CIRCUIT SYMBOLS

Table of circuit symbols including HOME RUN, UNCONTROLLED/UNSWITCHED CIRCUIT, INDICATES CIRCUIT CONTINUATION, STUB INTO ACCESSIBLE CORRIDOR CEILING SPACE UNO, CAP END OF CONDUIT, INDICATES CONDUIT RISER UP, INDICATES CONDUIT RISER DOWN, CONDUIT SLEEVE.

ELECTRICAL SYSTEMS AND EQUIPMENT METHOD OF COMPLIANCE

2018 NCECC: Prescriptive: [X] Performance: [ ] ASHRAE 90.1: Prescriptive: [ ] Performance: [ ]

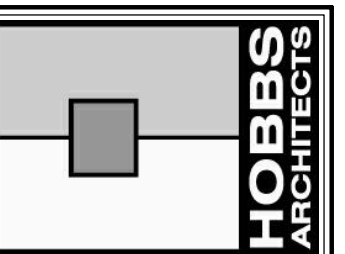
Lighting Schedule Lamp type required in fixture - see lighting fixture schedule Number of lamps in fixture - see lighting fixture schedule Ballast type used in fixture - see lighting fixture schedule Number of ballasts in fixture - see lighting fixture schedule Total wattage per fixture - see lighting fixture schedule

Storage Room 101: (4,749.20 sq. ft.) total interior wattage specified vs. allowed Allowed per Section C405.4.2(2): 4.51 KW Specified: 2.04 KW

Storage Room 101 Exterior: total exterior wattage specified vs. allowed Allowed per Section C405.5.1(2): .73 KW Specified: .17 KW

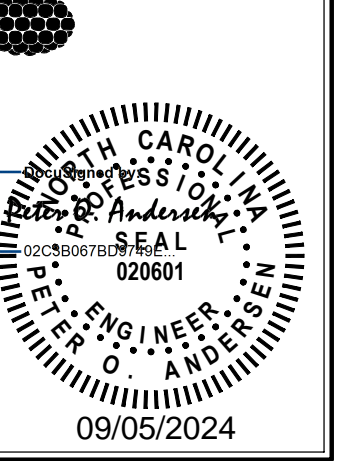
Additional Prescriptive Compliance [ ] C406.2 More Efficient HVAC Equipment Performance [X] C406.3 Reduced Lighting Power Density [ ] C406.4 Enhanced Digital Lighting Controls [ ] C406.5 On-site Renewable Energy [ ] C406.6 Dedicated Outdoor Air System [ ] C406.7 Reduced Energy Use in Service Water Heating

Designer Statement To the best of my knowledge and belief, the design of this building complies with the electrical system and equipment requirements of the North Carolina State Building Code: Energy Conservation Code, Chapter 4.



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NEW PROJECT FOR NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES EADDY BUILDING ADDITION 4300 REEDY CREEK RD., RALEIGH, NC 27607

Table with 2 columns: No., Date

ELECTRICAL SYMBOLS & ABBREVIATIONS

DATE 9/6/2024 E-001

DRAWING LIST - ELECTRICAL

Table of drawing list including E-001 ELECTRICAL SYMBOLS & ABBREVIATIONS, E-002 ELECTRICAL NOTES, E-100 ELECTRICAL OVERALL PLAN - BASE BID, E-101 ELECTRICAL SITE, E-101 ADDITION LIGHTING PLAN - BASE BID, E-102 ADDITION POWER PLAN - BASE BID, E-103 ADDITION FIRE ALARM PLAN - BASE BID, E-104 ADDITION EQUIPMENT PLAN - BASE BID, E-501 DETAILS & SCHEDULES, E-502 DETAILS & SCHEDULES, E-901 ELECTRICAL RISER DIAGRAM & SCHEDULES, E-902 FIRE ALARM RISER DIAGRAM, Grand total: 12

GENERAL NOTES - ELECTRICAL

GENERAL:

- 1. ELECTRICAL PLANS ARE GENERALLY DIAGRAMMATIC IN NATURE AND DO NOT CONVEY ALL DETAILS REQUIRED FOR A COMPLETE INSTALLATION. HOWEVER, THESE PLANS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE FOR GENERAL ARRANGEMENT AND LOCATION OF EQUIPMENT. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, DIMENSIONS AND MOUNTING METHODS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL VERIFY STRUCTURAL AND FINISH CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ARRANGE WORK TO MEET THESE CONDITIONS AND PROVIDE SUCH EQUIPMENT AND ACCESSORIES AS MAY BE REQUIRED. IN THE EVENT OF A CONFLICT, DEVIATION OR DISCREPENCY FOUND WITHIN THE PLANS OR SPECIFICATIONS, CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION TO ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO COMMENCING WORK.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, MANUFACTURERS' RECOMMENDED INSTALLATION PROCEDURES, THE AMERICANS WITH DISABILITIES ACT, ANSI A117.1, THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE ALARM AND SIGNALING CODE AND ALL OTHER APPLICABLE LOCAL AND STATE CODES AS ADOPTED AND MODIFIED BY THE AUTHORITIES HAVING JURISDICTION.
3. AN ELECTRICAL FOREMAN SHALL BE ON-SITE, SUPERVISING ALL WORK PERFORMED.
4. CONTRACTOR SHALL COORDINATE WITH OWNER FOR ACCESS TO AREA OF WORK AND FOLLOW ALL OWNER ENVIRONMENTAL, HEALTH, SAFETY AND SECURITY PROTOCOLS.
5. ALL WORK SHALL BE PHASED IN ACCORDANCE WITH CONTRACT PLANS, SPECIFICATIONS AND OWNER'S REQUIREMENTS.
6. ALL MATERIALS AND EQUIPMENT FURNISHED FOR THIS PROJECT SHALL BE NEW AND SHALL BE LISTED AND LABELED BY A THIRD PARTY NATIONALLY RECOGNIZED TESTING LABORATORY AS REQUIRED AND PERMITTED BY AUTHORITIES HAVING JURISDICTION. WHERE MULTIPLE PIECES OF EQUIPMENT AND/OR COMPONENTS ARE INSTALLED IN A COMMON ENCLOSURE, THE ENTIRE ASSEMBLY SHALL BE LISTED AND LABELED AS AN ASSEMBLY. MODIFICATIONS OR ADDITIONS TO EXISTING EQUIPMENT SHALL MATCH EXISTING TO MAINTAIN ANY ASSEMBLY LISTING.
7. CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL FIRE AND/OR SMOKE RATED WALLS, BARRIERS, CEILINGS, FLOORS, PARTITIONS, AND ROOFS PRIOR TO AND DURING CONSTRUCTION.
8. CONTRACTOR SHALL PROVIDE NATIONALLY RECOGNIZED TESTING LABORATORY LISTED THROUGH-PENETRATION DRAFT, FIRE AND SMOKE STOP SYSTEMS FOR ALL NEW FIRE AND/OR SMOKE-RATED WALL, BARRIER, CEILING, FLOOR AND ROOF PENETRATIONS WITHIN THE AREA OF WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, NATIONALLY RECOGNIZED TESTING LABORATORY LISTED REQUIREMENTS AND APPLICABLE BUILDING CODES. PROVIDE PENETRATION ASSEMBLIES SUITABLE FOR PARTICULAR CONSTRUCTION.
9. CONTRACTOR SHALL MAINTAIN INTEGRITY OF VAPOR BARRIER AND INSULATION FOR ALL ELECTRICAL WORK AND DEVICES ON EXTERIOR AND PERIMETER WALLS.
10. CONTRACTOR SHALL COORDINATE ELECTRICAL WORK WITH ALL OTHER TRADES PRIOR TO COMMENCING WORK TO ENSURE ELECTRICAL WORK DOES NOT INTERFERE WITH OTHER TRADES. LINES AND SYSTEMS THAT REQUIRE SLOPE SHALL TAKE PRECEDENCE OVER ELECTRICAL WORK.
11. CONTRACTOR SHALL REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR LOCATIONS OF MECHANICAL AND PLUMBING EQUIPMENT. CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES FOR LOCATIONS OF THEIR EQUIPMENT. CONTRACTOR SHALL COORDINATE AND VERIFY ELECTRICAL REQUIREMENTS WITH OTHER TRADES PRIOR TO COMMENCING WORK.
12. PRIOR TO EQUIPMENT INSTALLATION, CONTRACTOR SHALL CONDUCT FIELD MEASUREMENTS TO ENSURE ALL ELECTRICAL EQUIPMENT AND ACCESSORIES WILL FIT INTO LOCATION(S) AS INDICATED ON PLANS. IN THE EVENT OF A CONFLICT, DEVIATION OR DISCREPENCY, CONTRACTOR SHALL PROVIDE A PROPOSED SKETCH OF REVISED ARRANGEMENT TO ENGINEER OF RECORD FOR ACCEPTANCE PRIOR TO COMMENCING WORK.
13. PROPERLY SUPPORT ALL WORK AND EQUIPMENT INSTALLED UNDER THIS CONTRACT PLUMB AND PARALLEL WITH BUILDING LINES. STUDY ALL GENERAL, STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL DRAWINGS, SHOP DRAWINGS, AND CATALOG DATA TO DETERMINE HOW EQUIPMENT, ACCESSORIES, PIPING, FIXTURES, AND RELATED ITEMS ARE TO BE SUPPORTED, MOUNTED, OR SUSPENDED. PROVIDE ALL BOLTS, INSERTS, PIPE STANDS, BRACKETS, STRUCTURAL SUPPORTS, AND ACCESSORIES FOR PROPER SUPPORT OF EQUIPMENT FURNISHED UNDER THIS CONTRACT.
14. CONTRACTOR SHALL PROVIDE ADDITIONAL SUPPORT FOR DEVICE BACK BOXES, EQUIPMENT, LUMINAIRES AND RACEWAY WHERE BUILDING CONSTRUCTION IS NOT SUITABLE FOR DIRECT MOUNTING.
15. CONTRACTOR SHALL VERIFY CEILING SYSTEMS AND PROVIDE MOUNTING ACCESSORIES, TRIMS AND ALL REQUIRED MOUNTING HARDWARE TO SUIT THE PARTICULAR INSTALLATION.
16. CONTRACTOR SHALL NOT BACKFILL EXCAVATIONS, INSTALL COVERPLATES AND ENCLOSURES OR GENERALLY SEAL OR OBSCURE ELECTRICAL INSTALLATIONS PRIOR TO INSPECTION AND ACCEPTANCE BY AUTHORITIES HAVING JURISDICTION, INCLUDING, WHERE APPLICABLE, THE NORTH CAROLINA STATE CONSTRUCTION OFFICE ELECTRICAL INSPECTOR.
17. CONTRACTOR SHALL REMOVE ALL DIRT AND DEBRIS FROM ALL ELECTRICAL ENCLOSURES AND DEVICE, JUNCTION AND PULL BOXES PRIOR TO INSTALLATION OF DEVICES, COVERPLATES AND LIDS.
18. CONTRACTOR SHALL LABEL ALL COVERPLATES, EQUIPMENT, JUNCTION BOXES, AND PULL BOXES WITH CIRCUIT AND PANEL DESIGNATIONS. REFER TO DETAILS AND SPECIFICATIONS FOR SPECIFIC LABEL AND IDENTIFICATION REQUIREMENTS.

GENERAL NOTES - ELECTRICAL

GENERAL CONTINUED:

- 19. CONTRACTOR SHALL PROVIDE NEW, TWO COLUMN, TYPED, COMPLETED AND REMOVABLE DIRECTORIES INDICATING CIRCUIT DESCRIPTIONS AND ROOM NUMBERS (AS INDICATED BY FINAL ROOM SIGNAGE), FOR ALL AFFECTED CIRCUITS WITHIN ELECTRICAL DISTRIBUTION EQUIPMENT. ALL SPACES SHALL BE INDICATED AS SUCH. ALL SPARES SHALL BE INDICATED AS SUCH AND PLACED IN THE "OFF" POSITION.
20. MINIMUM RACEWAY SIZE OF 3/4", UNLESS NOTED OTHERWISE.
21. ALL RACEWAYS SHALL BE INSTALLED CONCEALED ABOVE CEILINGS, WITHIN WALLS OR BELOW FLOORS EXCEPT WITHIN UNFINISHED SPACES AND ON CEILINGS OF AREAS WITH EXPOSED STRUCTURE. WITHIN PUBLIC SPACES, EXPOSED CONDUIT SHALL BE FACTORY OR FIELD PAINTED TO MATCH ADJACENT STRUCTURE. ALL CONDUITS SHALL BE ROUTED PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURE. ALL CONDUITS ROUTED IN PARALLEL SHALL UTILIZE CONCENTRIC BEND RADI FOR ALL TURNS.
22. ALL EMPTY RACEWAYS SHALL BE PROVIDED WITH PULL STRINGS INSTALLED PER SPECIFICATIONS.
23. ALL EXPOSED RACEWAY ENDS SHALL BE PROVIDED WITH PLASTIC BUSHINGS.
24. ALL ELECTRICAL CONDUCTORS, EQUIPMENT AND TERMINALS SHALL BE 75°C RATED UNLESS NOTED OTHERWISE.
25. MINIMUM CONDUCTOR SIZE OF #12AWG, COPPER, THHN/THWN, FOR BRANCH CIRCUITS, UNLESS NOTED OTHERWISE.
26. ALL BRANCH AND FEEDER CIRCUITS SHALL ORIGINATE FROM PANELS AND SERVE DEVICES AND EQUIPMENT AS INDICATED ON PLANS AND SCHEDULES. IN THE EVENT OF A CONFLICT, DEVIATION OR DISCREPENCY, CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION TO ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO COMMENCING WORK.
27. ALL BRANCH CIRCUITS SHALL HAVE A DEDICATED NEUTRAL CONDUCTOR, UNLESS NOTED OTHERWISE. THE USE OF A COMMON NEUTRAL FOR MULTIPLE BRANCH CIRCUITS IS STRICTLY PROHIBITED.
28. ALL RACEWAYS CONTAINING A FEEDER OR BRANCH CIRCUIT SHALL BE PROVIDED WITH AN INSULATED EQUIPMENT GROUNDING CONDUCTOR. FOR RACEWAYS CONTAINING MORE THAN ONE BRANCH CIRCUIT, SIZE OF EQUIPMENT GROUNDING CONDUCTOR SHALL BE BASED ON THE LARGEST CIRCUIT'S OVERCURRENT PROTECTIVE DEVICE.
29. ALL DEVICE BACK BOXES SHALL BE RECESSED WITHIN WALLS, FURRING, OR CASEWORK, UNLESS NOTED OTHERWISE. USE OF EXPOSED SURFACE MOUNTED DEVICE BACK BOXES IS PROHIBITED EXCEPT WITHIN UNFINISHED SPACES AND ON CEILINGS OF AREAS WITH EXPOSED STRUCTURE. WITHIN PUBLIC SPACES, EXPOSED DEVICE BACK BOXES SHALL BE FACTORY OR FIELD PAINTED TO MATCH ADJACENT STRUCTURE.
30. DEVICE BACK BOXES INDICATED ON PLANS AS ADJACENT TO ONE ANOTHER SHALL BE MOUNTED 8" APART, CENTER-TO-CENTER, UNLESS NOTED OTHERWISE.
31. DEVICE BACK BOXES LOCATED ON OPPOSITE SIDES OF FIRE OR SMOKE RATED PARTITIONS SHALL NOT BE MOUNTED WITHIN THE SAME WALL CAVITY. WALL PENETRATIONS SHALL BE SEPARATED BY MOUNTING BOXES ON OPPOSITE SIDES OF WALL STUDS OR OTHER VERTICAL STRUCTURAL MEMBER INSIDE THE WALL.
32. CONTRACTOR SHALL COORDINATE EXACT HEIGHT AND LOCATION OF ALL WALL MOUNTED DEVICE BACK BOXES WITH ARCHITECTURAL INTERIOR ELEVATIONS AND CASEWORK SHOP DRAWINGS PRIOR TO INSTALLATION. IN THE EVENT OF A CONFLICT, DEVIATION OR DISCREPENCY, CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION TO ARCHITECT AND ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO COMMENCING WORK. MINOR ADJUSTMENTS IN ANY DIRECTION FOR DEVICE LOCATION, I.E. 5'-0" OR LESS, SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
33. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL DEVICE BACK BOX AND EQUIPMENT LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. IN THE EVENT OF A CONFLICT, DEVIATION OR DISCREPENCY, CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION TO ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO COMMENCING WORK. MINOR ADJUSTMENTS IN ANY DIRECTION FOR DEVICE LOCATION, I.E. 5'-0" OR LESS, SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
34. CONTRACTOR SHALL PROVIDE MINIMUM 4" HOUSEKEEPING PAD WITH CHAMFERED EDGES FOR ALL FLOOR MOUNTED EQUIPMENT, UNLESS NOTED OTHERWISE. REFER TO DETAILS, IF APPLICABLE.
35. REFER TO THE ARCHITECTURAL REFLECTED CEILING PLANS FOR THE EXACT LOCATION OF ALL CEILING MOUNTED LUMINAIRES AND DEVICES.
36. EXACT HEIGHTS AND LOCATIONS OF LUMINAIRES WITHIN UNFINISHED SPACES SHALL BE COORDINATED AND DETERMINED IN THE FIELD. LUMINAIRES SHALL NOT BE SUPPORTED FROM DUCTWORK OR PIPING. CHAIN OR TRAPEZE-TYPE HANGERS SHALL BE PROVIDED WHERE LUMINAIRES CAN NOT BE MOUNTED DIRECTLY TO STRUCTURE OR CEILING. LUMINAIRES SHALL BE LOCATED TO MAXIMIZE ACCESSIBILITY AND ILLUMINATION.
37. ORIENT VERTICALLY MOUNTED RECEPTACLES WITH GROUND PIN UP. ORIENT HORIZONTALLY MOUNTED RECEPTACLES WITH GROUND PIN TO LEFT (NEUTRAL UP).
38. ALL TELECOMMUNICATIONS CABLING SHALL BE INSTALLED CONCEALED FROM VIEW ABOVE CEILINGS, IN WALLS OR BELOW FLOORS EXCEPT WITHIN UNFINISHED SPACES AND ON CEILINGS OF AREAS WITH EXPOSED STRUCTURE. ALL CABLING SHALL BE ROUTED PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURE.
39. SMOKE DETECTORS SHALL BE LOCATED MINIMUM 3'-0" FROM HVAC SUPPLY AND RETURN OPENINGS.
40. WHERE MULTIPLE VISUAL NOTIFICATION DEVICES CAN BE SEEN FROM A SINGLE LOCATION DURING NORMAL FACILITY OPERATION, ALL STROBES SHALL BE SYNCHRONIZED TO ALLOW FOR SIMULTANEOUS OPERATION.

NCSCO ADDENDUM - ELECTRICAL

- 1. ALL THIRD PARTY NATIONALLY RECOGNIZED TESTING LABORATORIES AND AGENCIES SHALL BE AMONGST THOSE ACCREDITED BY THE NORTH CAROLINA BUILDING CODE COUNCIL (NCBCO).
2. CONTRACTOR SHALL NOT BACKFILL EXCAVATIONS, INSTALL COVERPLATES AND ENCLOSURES OR GENERALLY SEAL OR OBSCURE ELECTRICAL INSTALLATIONS PRIOR TO INSPECTION AND ACCEPTANCE BY, WHERE APPLICABLE, THE NORTH CAROLINA STATE CONSTRUCTION OFFICE ELECTRICAL INSPECTOR.
3. ELECTRICAL WIRING INSPECTIONS ARE REQUIRED AND SHALL BE PERFORMED BY THE STATE CONSTRUCTION OFFICE (SCO). ALL SCHEDULING OF ELECTRICAL INSPECTIONS WITH THE SCO ELECTRICAL INSPECTOR SHALL BE MONDAY THROUGH FRIDAY UNLESS SPECIFICALLY EXEMPTED AND APPROVED BY SCO.

STANDARD WALL MOUNTING HEIGHTS

Table with 4 columns: DEVICE OR EQUIPMENT TYPE, MOUNTING HEIGHT (AFF/AFG), MEASURED TO, NOTES. Rows include AV, COAX, DATA & TELECOM, EMERGENCY LIGHTS, EXIT SIGNS, FA NOTIFICATION DEVICES, FA PULL STATIONS, LIGHT SWITCHES, MOTOR STARTERS, PANELBOARDS, RECEPTACLES - NORMAL AREAS, RECEPTACLES - EXTERIOR AREAS, SAFETY SWITCHES, SENSORS - WALL MOUNTED.

NOTES:

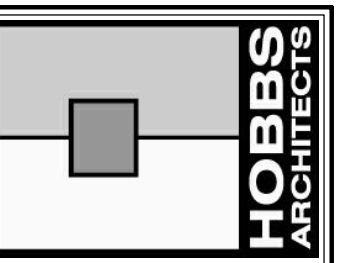
- 1. UNLESS NOTED OTHERWISE, WALL MOUNTING HEIGHTS INDICATED ON DRAWINGS OR DETAILS SHALL SUPERSEDE STANDARD WALL MOUNTING HEIGHTS LISTED HERE. COORDINATE ALL DEVICE LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. COORDINATE EXACT HEIGHT AND LOCATION WITH ARCHITECTURAL INTERIOR ELEVATIONS AND CASEWORK SHOP DRAWINGS PRIOR TO INSTALLATION. ADJUST TO MATCH MASONRY COURSES, IF APPLICABLE. MOUNT ALL BOXES TRUE AND PLUMB.
2. CEILING HEIGHT PERMITTING, OTHERWISE MOUNT 12" BELOW CEILING TO TOP OF BOX.
3. MOUNTING HEIGHT AS MEASURED TO TOP OF ENCLOSURE OR CENTER OF OPERATING HANDLE AT HIGHEST POSITION, WHICHEVER IS HIGHER. STACKING OF SAFETY SWITCHES, ENCLOSED CIRCUIT BREAKERS AND MOTOR STARTERS IS PERMITTED.
4. CEILING HEIGHT PERMITTING, MOUNT EXIT SIGN 18" ABOVE TOP OF DOOR FRAME AS MEASURED FROM TOP OF SIGN. FOR ALL OTHER AREAS AND CEILING HEIGHT PERMITTING, MOUNT 96" AFF TO TOP OF BOX. OTHERWISE, MOUNT 12" BELOW CEILING TO TOP OF BOX.
5. MOUNT 6" ABOVE COUNTERTOP OR BACKSPLASH (IF APPLICABLE) TO TOP OF BOX. COORDINATE EXACT HEIGHT AND LOCATION WITH ARCHITECTURAL INTERIOR ELEVATIONS AND CASEWORK SHOP DRAWINGS PRIOR TO INSTALLATION.

LIFE-SAFETY PENETRATION SCHEDULE

Table with 4 columns: ASSEMBLY AND PENETRATION TYPE, F RATING (HR), U. L. DETAIL SYSTEM NUMBER. Rows are categorized by material: CONCRETE FLOORS, CONCRETE / MASONRY WALLS, GYPSUM WALLBOARD.

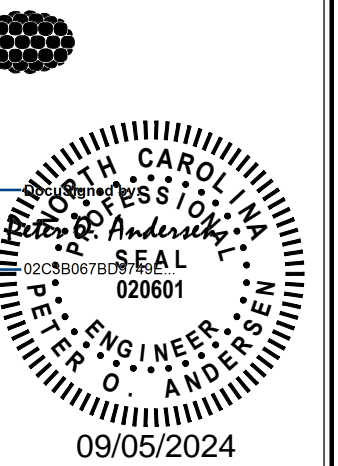
NOTES:

- 1. REFER TO SECTION 230500 FOR MORE INFORMATION.
2. HILTI PRODUCTS ARE REQUIRED FOR ALL PENETRATIONS.
3. SELECT UL LISTED PENETRATION DETAIL MATCHING THE PENETRATION CONDITIONS.
4. SUBMIT AN APROPRIATE DETAIL FOR ENGINEER REVIEW IF THE PROJECT CONDITIONS ARE NOT REPRESENTED ABOVE.



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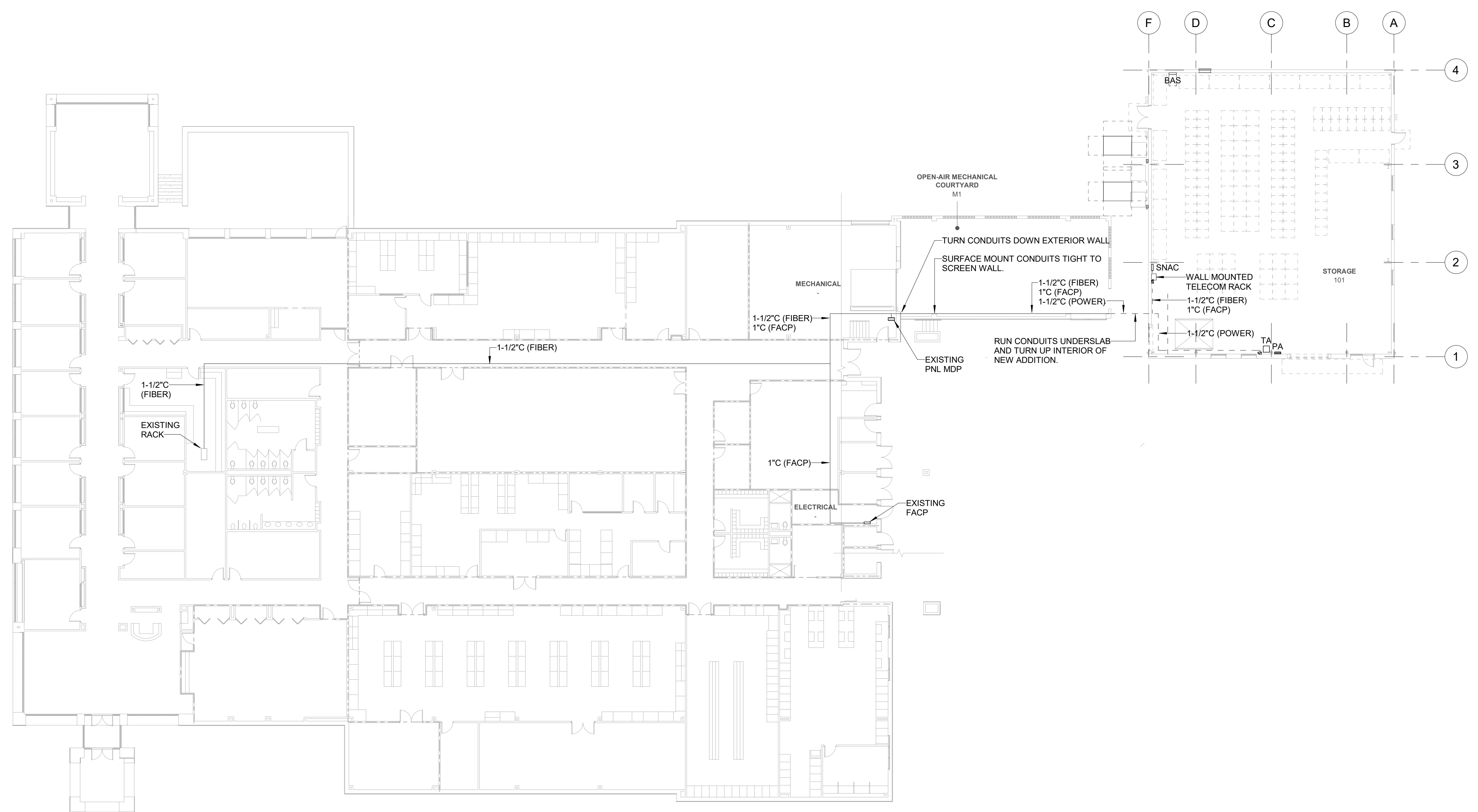
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Table with 2 columns: No., Date

ELECTRICAL NOTES

DATE 9/6/2024

E-002



**1 ELECTRICAL OVERALL PLAN - BASE BID**  
 Scale: 1/16" = 1'-0"  
 0 8 16 32

**GENERAL NOTES:**

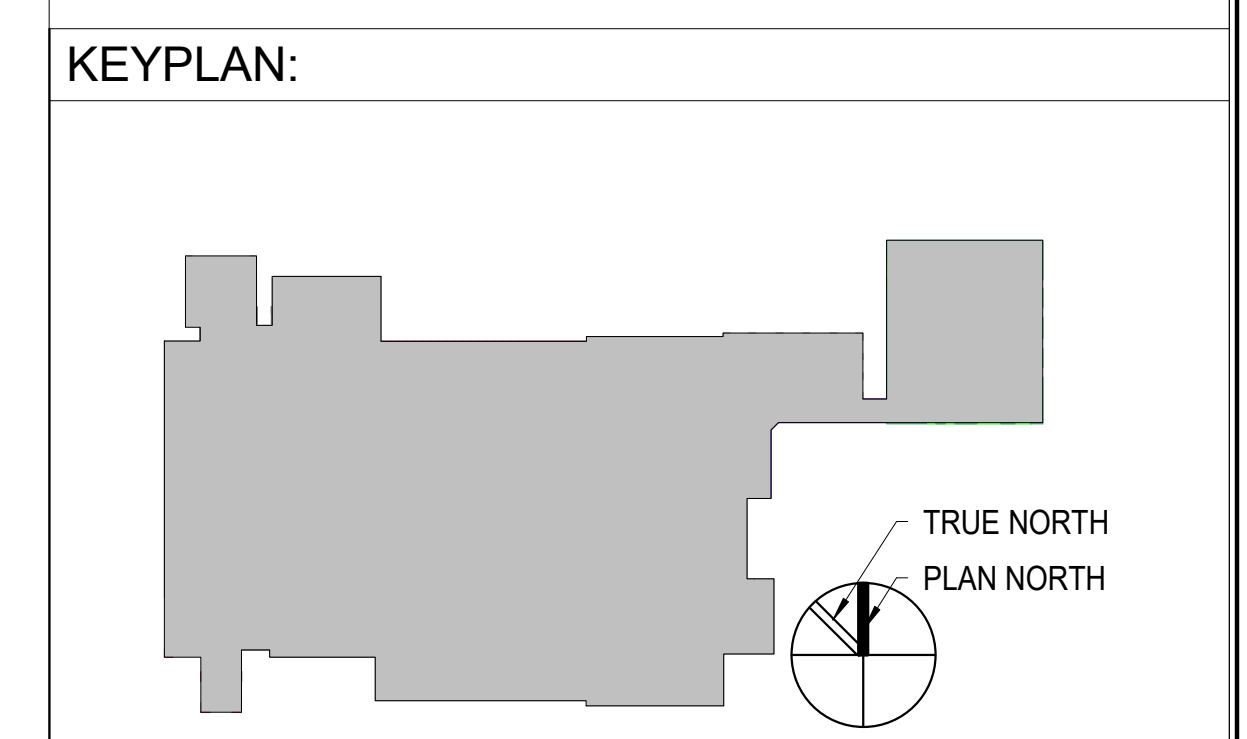
- REFER TO E-001 FOR SYMBOLS AND ABBREVIATIONS.
- REFER TO SHEET E-002 FOR ELECTRICAL GENERAL NOTES.
- ROUTE ALL CONDUIT ABOVE CEILING, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE ALL EQUIPMENT AND DEVICE LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION.
- PROVIDE SEALING FITTINGS FROM EXTERIOR TO INTERIOR PENETRATIONS. USE RIGID STEEL CONDUIT FOR EXTERIOR EXPOSED CIRCUIT. ROUTE EXPOSED CONDUIT ABOVE 8'-0" AFG WHERE POSSIBLE.
- CONDUIT ROUTE INDICATED IS SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY AND BE RESPONSIBLE FOR THEIR ACTUAL ROUTING. INCLUDE AN ADDITIONAL 25% OF WIRING LENGTH TO ACCOMMODATE FOR FIELD REROUTING.

**KEYNOTES:**

**WALL RATING LEGEND:**

NO FIRE RATED ASSEMBLIES IN ADDITION.  
 LEGEND FOR ASSEMBLIES IN EXISTING BUILDING ONLY.

----- 1 HOUR PARTITION  
 ----- 2 HOUR FIRE BARRIER



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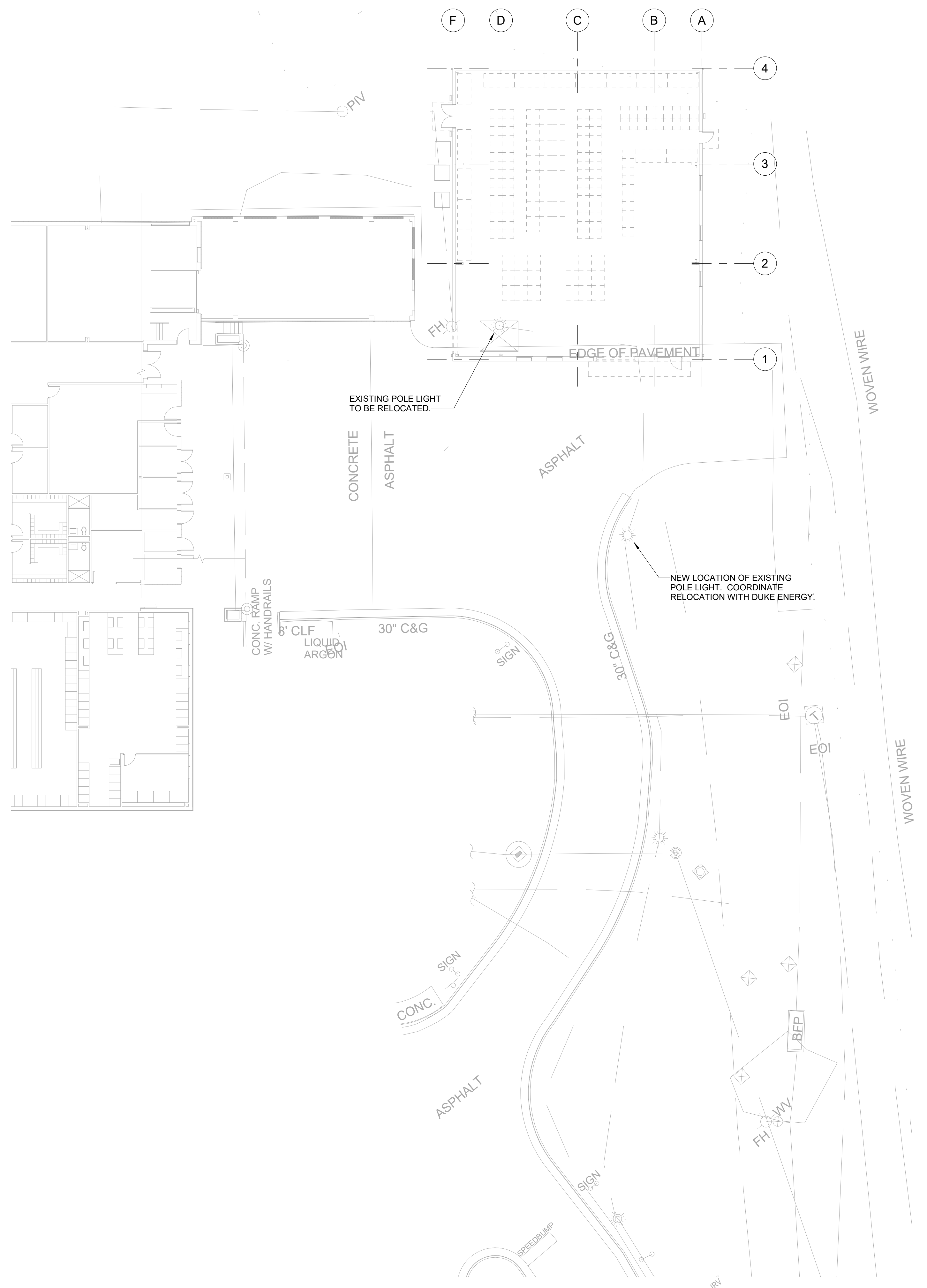
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 State of North Carolina  
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 09/05/2024

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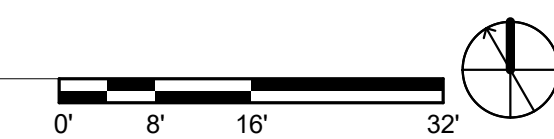
No.	Date

ELECTRICAL  
 OVERALL  
 PLAN - BASE  
 BID

DATE  
 9/6/2024  
**E-100**



**1 ELECTRICAL SITE**  
 Scale: 1/16" = 1'-0"



**GENERAL NOTES:**

1. REFER TO E-001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO SHEET E-002 FOR ELECTRICAL GENERAL NOTES.
3. CONTRACTOR SHALL VERIFY AND LOCATE ALL UTILITIES PRIOR TO DIGGING ON SITE.

**KEYNOTES:**

**KEYPLAN:**

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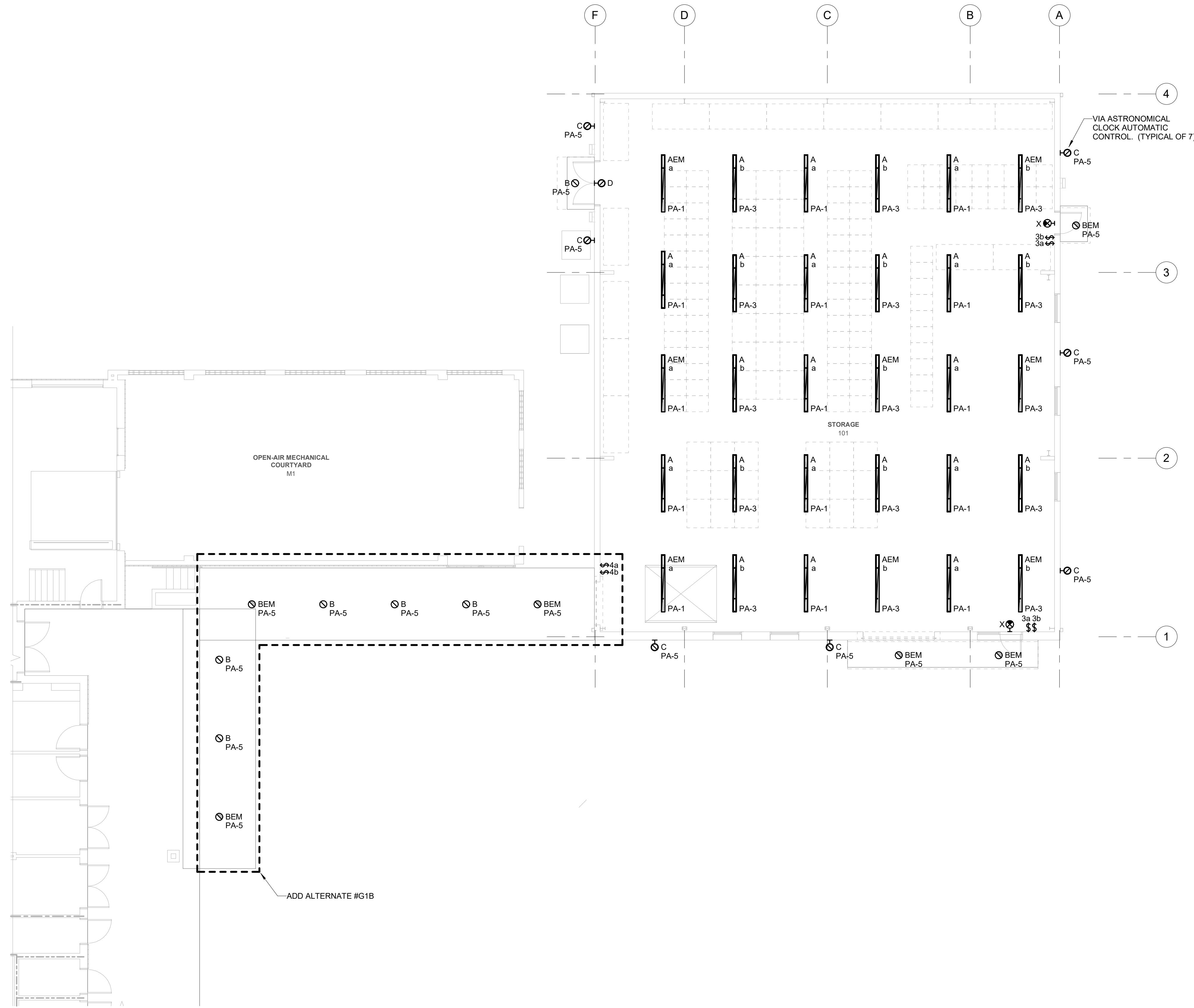
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No.	Date

ELECTRICAL  
 SITE

DATE  
 9/6/2024  
**ES101**



GENERAL NOTES:

1. REFER TO E-001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO SHEET E-002 FOR ELECTRICAL GENERAL NOTES.
3. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT FIXTURE LAYOUT.
4. ALL EXIT LIGHTS SHALL BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING.
5. AUTOMATED LIGHTING CONTROLS ARE NOT INCLUDED INSIDE THIS STORAGE BUILDING DUE TO SAFETY CONCERNS GIVEN THE LARGE, OPEN HIGH CEILING STORAGE SPACE. STORAGE WILL NOT BE OF THE HIGH PILE TYPE.

KEYNOTES:

NO FIRE RATED ASSEMBLIES IN ADDITION.  
 LEGEND FOR ASSEMBLIES IN EXISTING BUILDING ONLY.

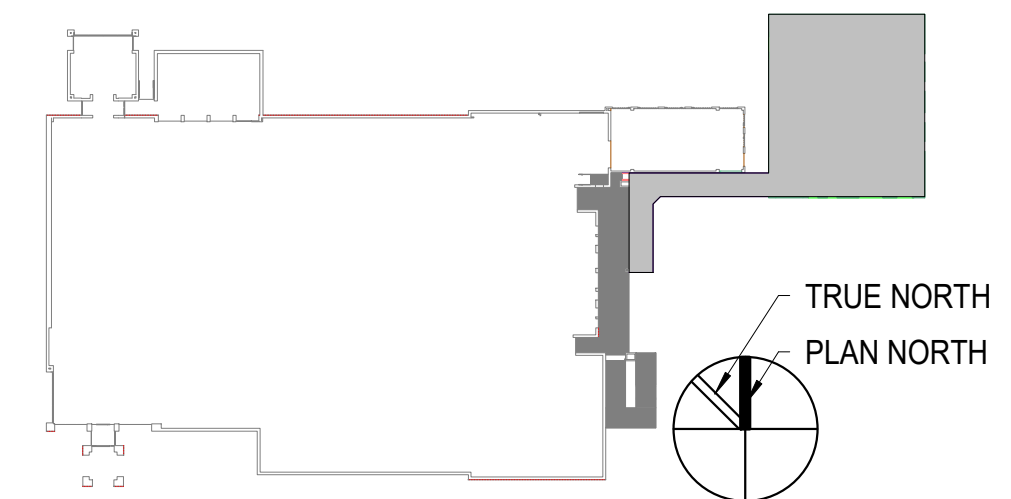
----- 1 HOUR PARTITION  
 ----- 2 HOUR FIRE BARRIER

WALL RATING LEGEND:

NO FIRE RATED ASSEMBLIES IN ADDITION.  
 LEGEND FOR ASSEMBLIES IN EXISTING BUILDING ONLY.

----- 1 HOUR PARTITION  
 ----- 2 HOUR FIRE BARRIER

KEYPLAN:



**1** ADDITION LIGHTING PLAN - BASE BID  
 Scale: 1/8" = 1'-0"



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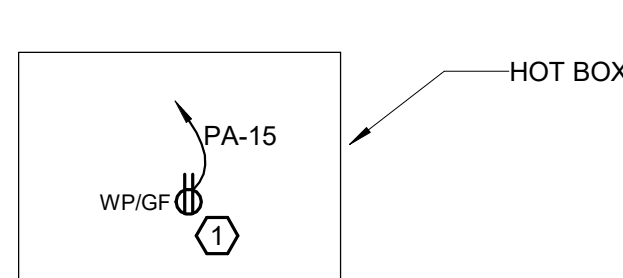
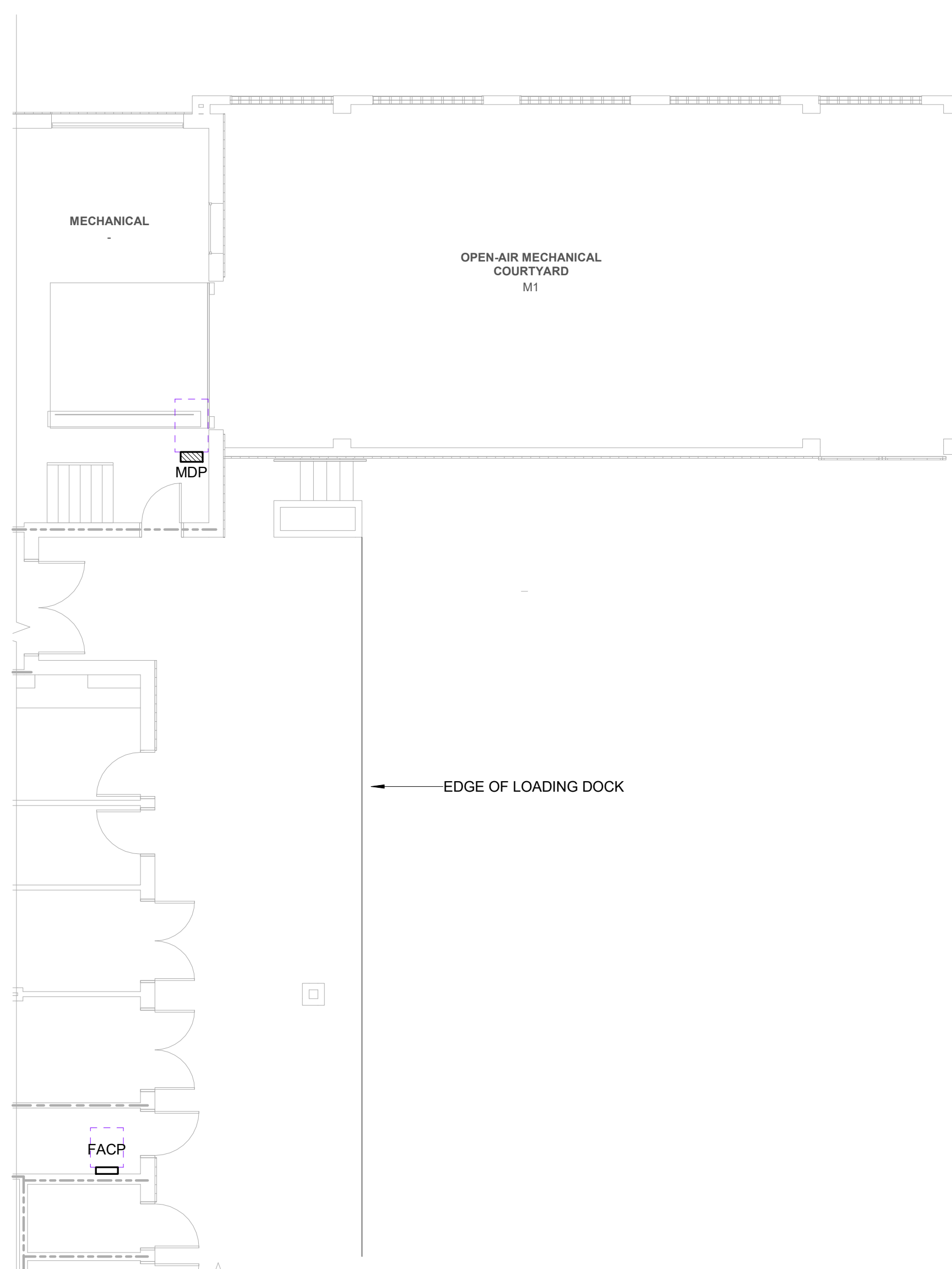
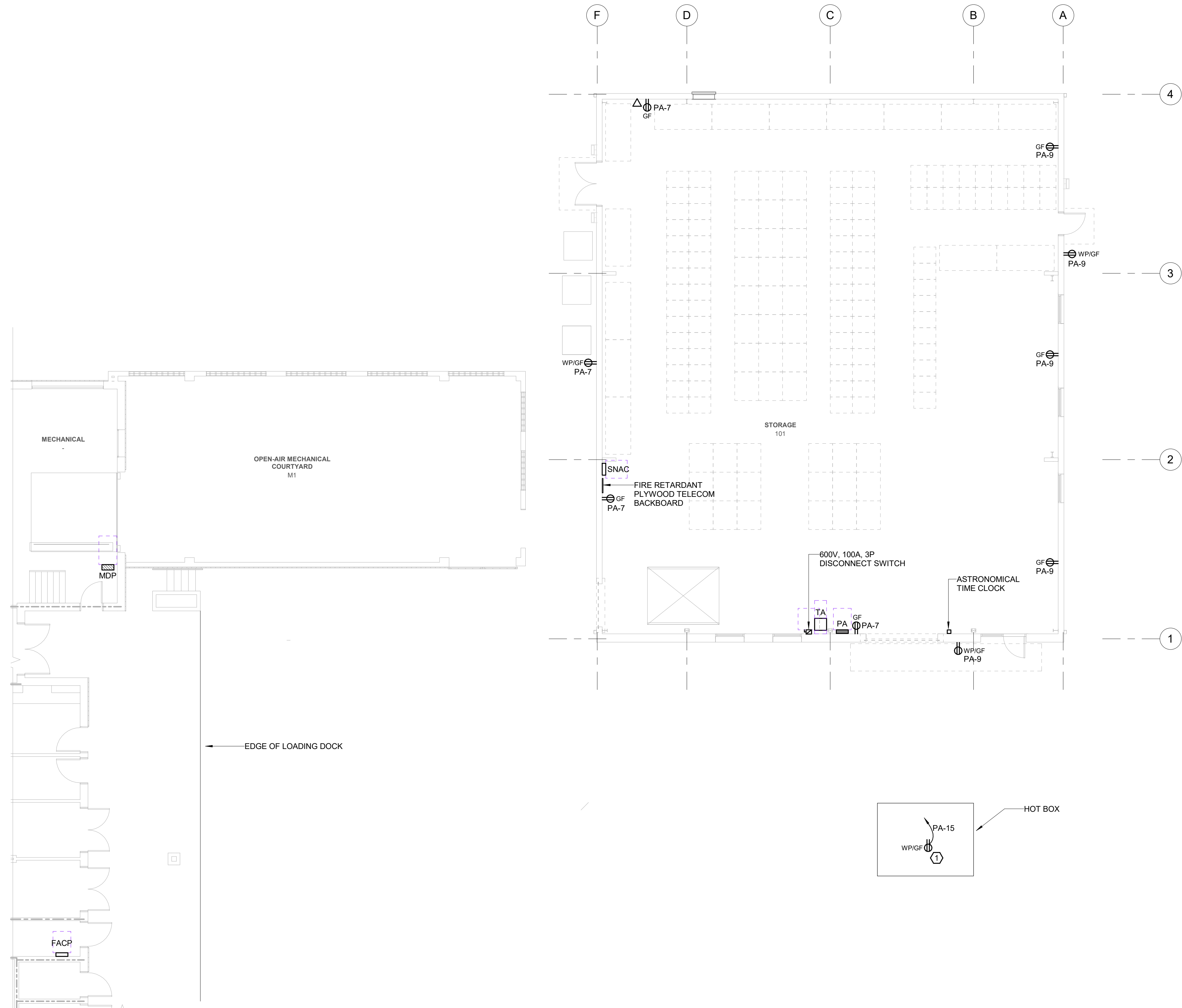
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No.	Date

ADDITION LIGHTING PLAN - BASE BID

DATE  
 9/6/2024

**E-101**



**1 ADDITION POWER PLAN - BASE BID**  
 Scale: 1/8" = 1'-0"



**GENERAL NOTES:**

- REFER TO E-001 FOR SYMBOLS AND ABBREVIATIONS.
- REFER TO SHEET E-002 FOR ELECTRICAL GENERAL NOTES.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL DEVICE LOCATIONS WITH ARCHITECT AND OTHER TRADES PRIOR TO ROUGH-IN.

**KEYNOTES:**

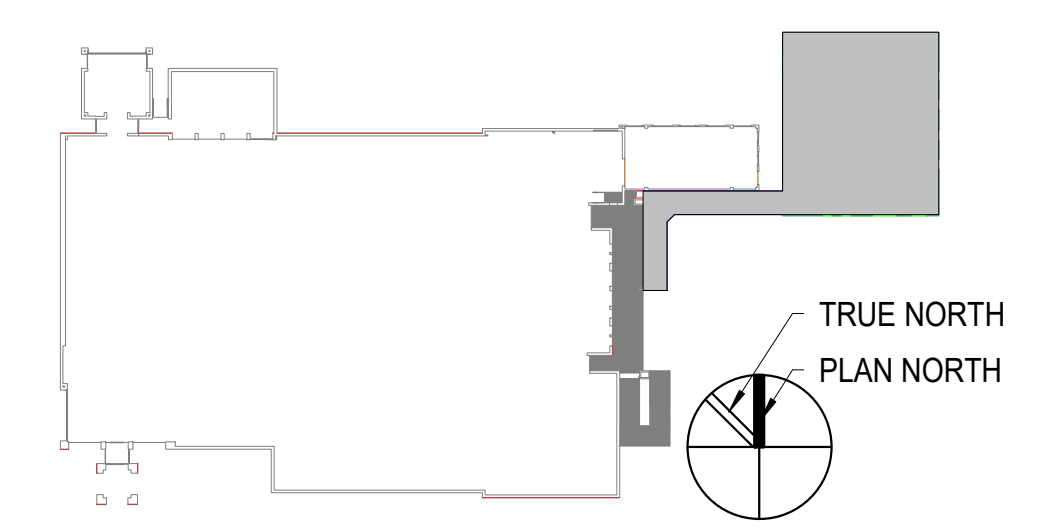
- PROVIDE RECEPTACLE FOR HOT BOX THERMOSTATICALLY CONTROLLED HEATER PROVIDED BY GC. REFER TO CIVIL SITE PLAN C-200 FOR LOCATION.

**WALL RATING LEGEND:**

NO FIRE RATED ASSEMBLIES IN ADDITION.  
 LEGEND FOR ASSEMBLIES IN EXISTING BUILDING ONLY.

----- 1 HOUR PARTITION  
 ----- 2 HOUR FIRE BARRIER

**KEYPLAN:**



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 State of North Carolina  
 License No. 020601  
 Date: 09/05/2024

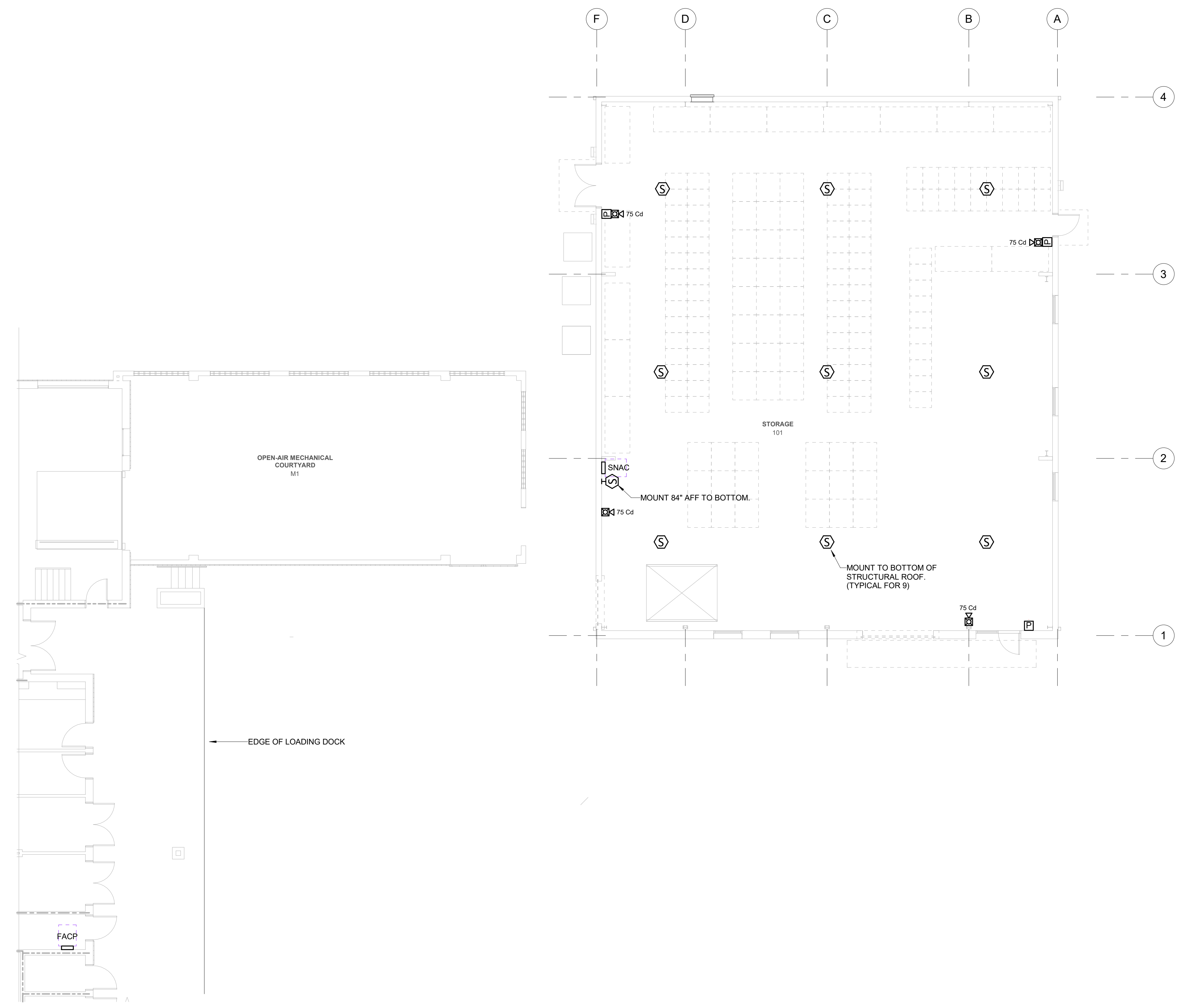
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No.	Date

ADDITION  
 POWER PLAN  
 - BASE BID

DATE  
 9/6/2024

**E-102**



**1 ADDITION FIRE ALARM PLAN - BASE BID**  
 Scale: 1/8" = 1'-0"  
 0' 4' 8' 16'

**GENERAL NOTES:**

1. THE EXISTING FIRE ALARM CONTROL PANEL IS A NOTIFIER nfs2-640(E). SYSTEM IS FULLY ADDRESSABLE AND OPERATING WITHOUT TROUBLE OF SUPERVISORY SIGNALS. PRIOR TO THE START OF CONSTRUCTION IF THE EXISTING SYSTEM IS DISPLAYING A TROUBLE OR SUPERVISORY SIGNAL, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING.
2. CONTRACTOR SHALL ENSURE NEW FIRE ALARM DEVICES ARE COMPATIBLE WITH THE EXISTING FIRE ALARM SYSTEM.
3. CONTRACTOR SHALL SUBMIT UPDATED BATTERY CALCULATIONS AND PROVIDE ANY ADDITIONAL POWER SUPPLIES, BATTERIES, MODULES OR COMPONENTS REQUIRED TO ACCOMPLISH CHANGES SHOWN ON DRAWINGS OR SPECIFICATIONS.
4. CONTRACTOR SHALL COMPLY WITH REACCEPTANCE TESTING AS ESTABLISHED IN THE 2013 EDITION OF NFPA 72 14.4.2.
5. CONTRACTOR SHALL UPDATE ZONE MAPS. ZONE MAPS SHALL INCLUDE LOCATION OF INITIATING DEVICES, REMOTE ANNUNCIATORS AND THE FACP. ROOM NUMBERS SHALL REFLECT ACTUAL BUILDING SIGNAGE.
6. THE FIRE ALARM SYSTEM MUST REMAIN IN OPERATION DURING CONSTRUCTION OR A FIRE WATCH PROVIDED AS REQUIRED.

**KEYNOTES:**

NO FIRE RATED ASSEMBLIES IN ADDITION.  
 LEGEND FOR ASSEMBLIES IN EXISTING BUILDING ONLY.

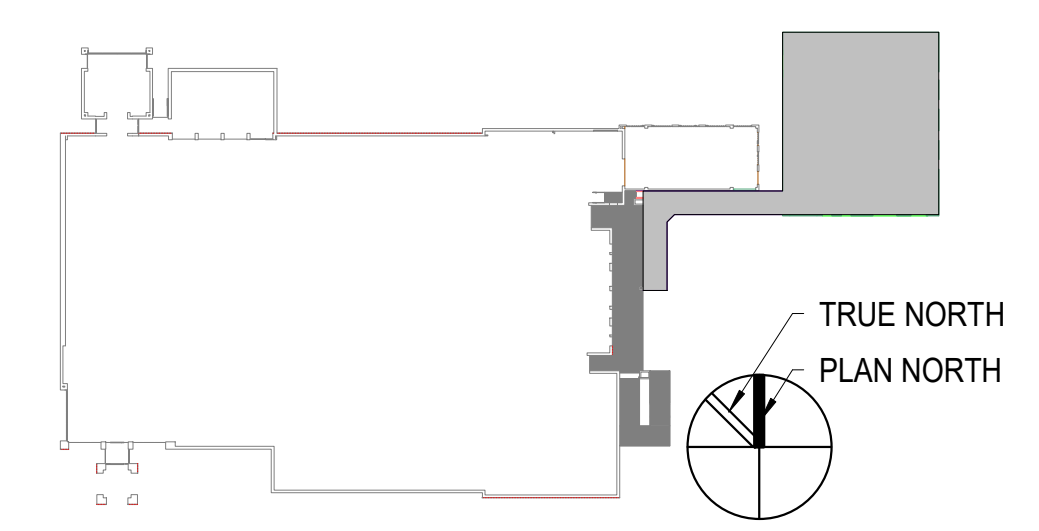
----- 1 HOUR PARTITION  
 ----- 2 HOUR FIRE BARRIER

**WALL RATING LEGEND:**

NO FIRE RATED ASSEMBLIES IN ADDITION.  
 LEGEND FOR ASSEMBLIES IN EXISTING BUILDING ONLY.

----- 1 HOUR PARTITION  
 ----- 2 HOUR FIRE BARRIER

**KEYPLAN:**



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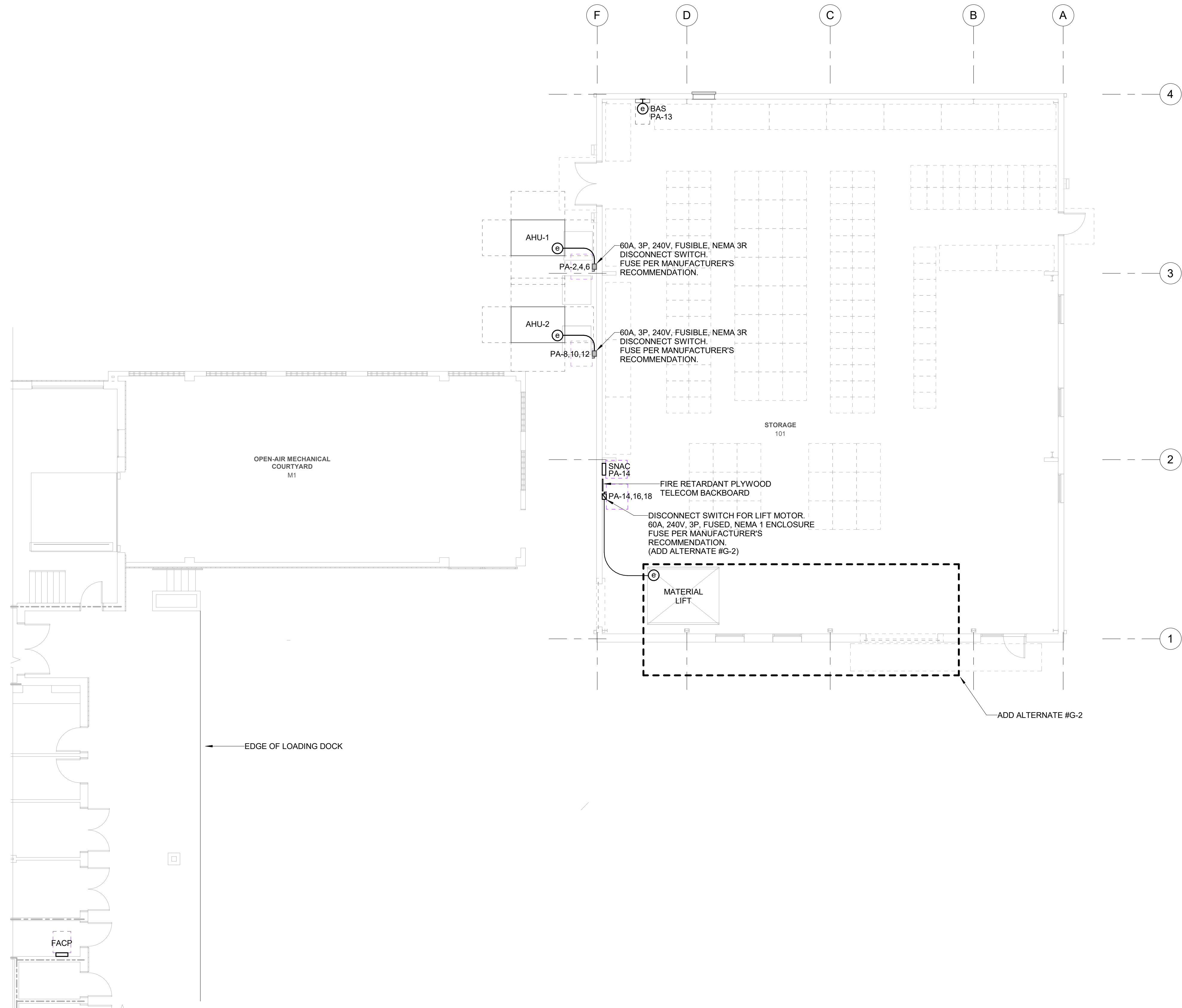
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No.	Date

ADDITION  
 FIRE ALARM  
 PLAN - BASE  
 BID

DATE  
 9/6/2024

**E-103**



**1 ADDITION EQUIPMENT PLAN - BASE BID**  
 Scale: 1/8" = 1'-0"



**GENERAL NOTES:**

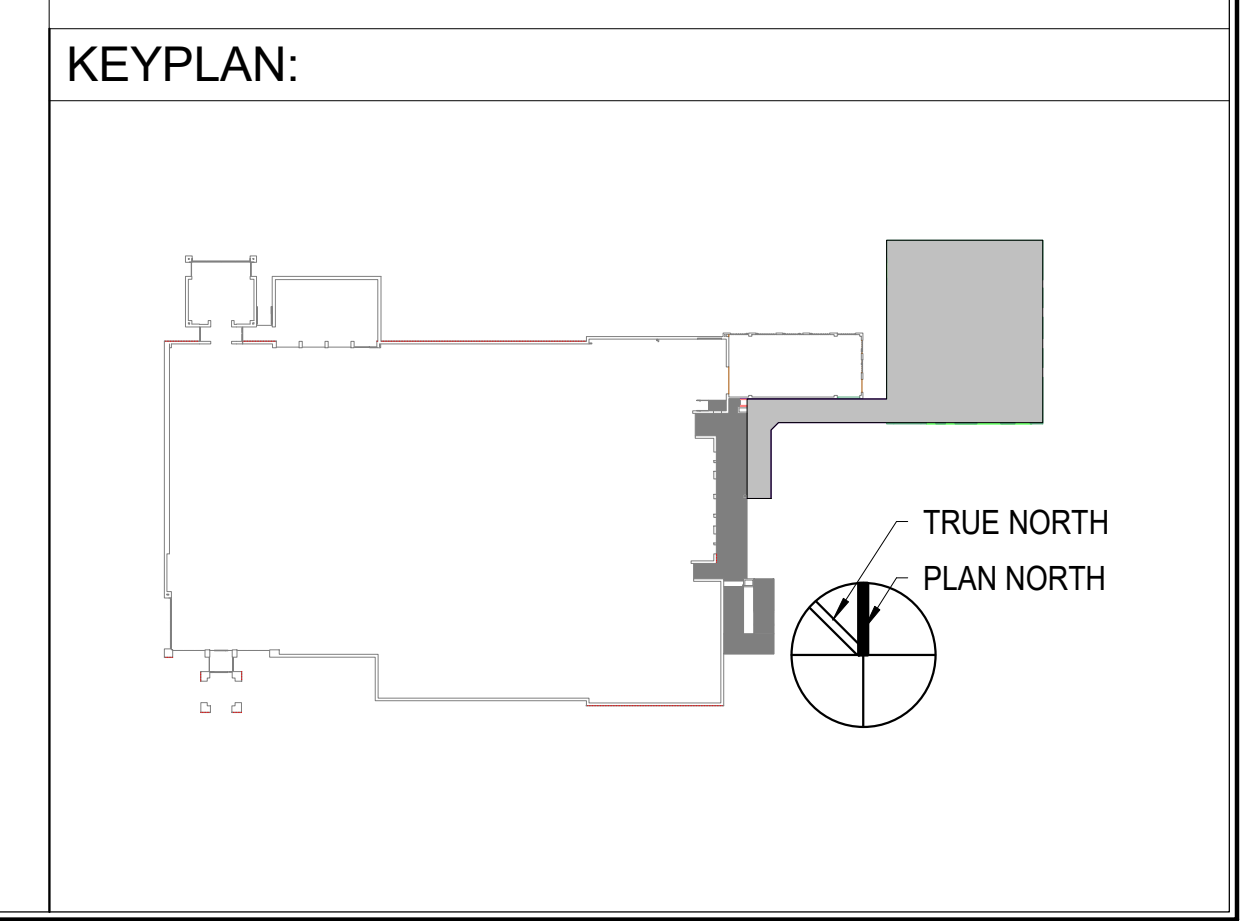
- REFER TO E-001 FOR SYMBOLS AND ABBREVIATIONS.
- REFER TO SHEET E-002 FOR ELECTRICAL GENERAL NOTES.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL DEVICE LOCATIONS WITH ARCHITECT AND OTHER TRADES PRIOR TO ROUGH-IN.

**KEYNOTES:**

**WALL RATING LEGEND:**

NO FIRE RATED ASSEMBLIES IN ADDITION.  
 LEGEND FOR ASSEMBLIES IN EXISTING BUILDING ONLY.

----- 1 HOUR PARTITION  
 ----- 2 HOUR FIRE BARRIER



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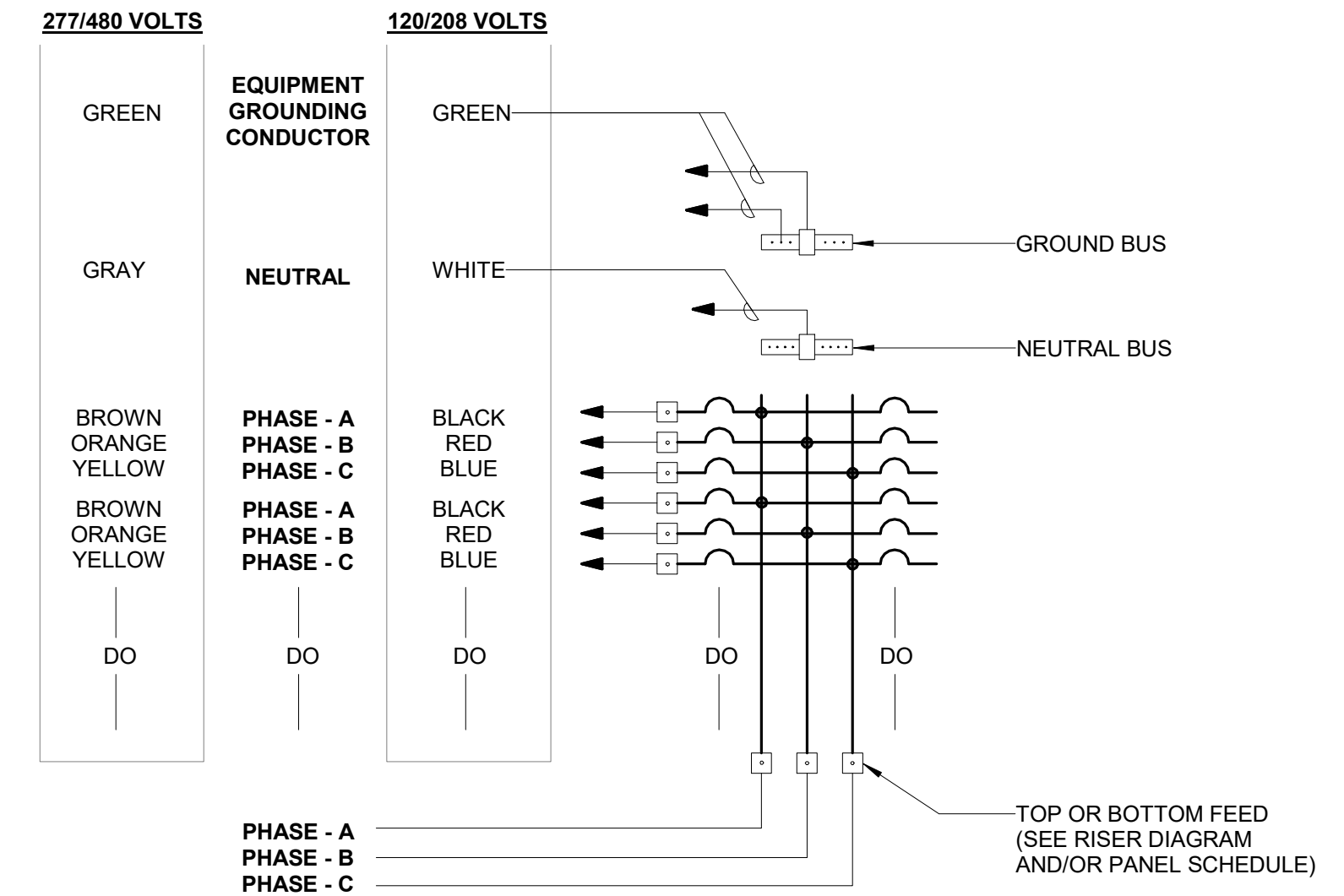
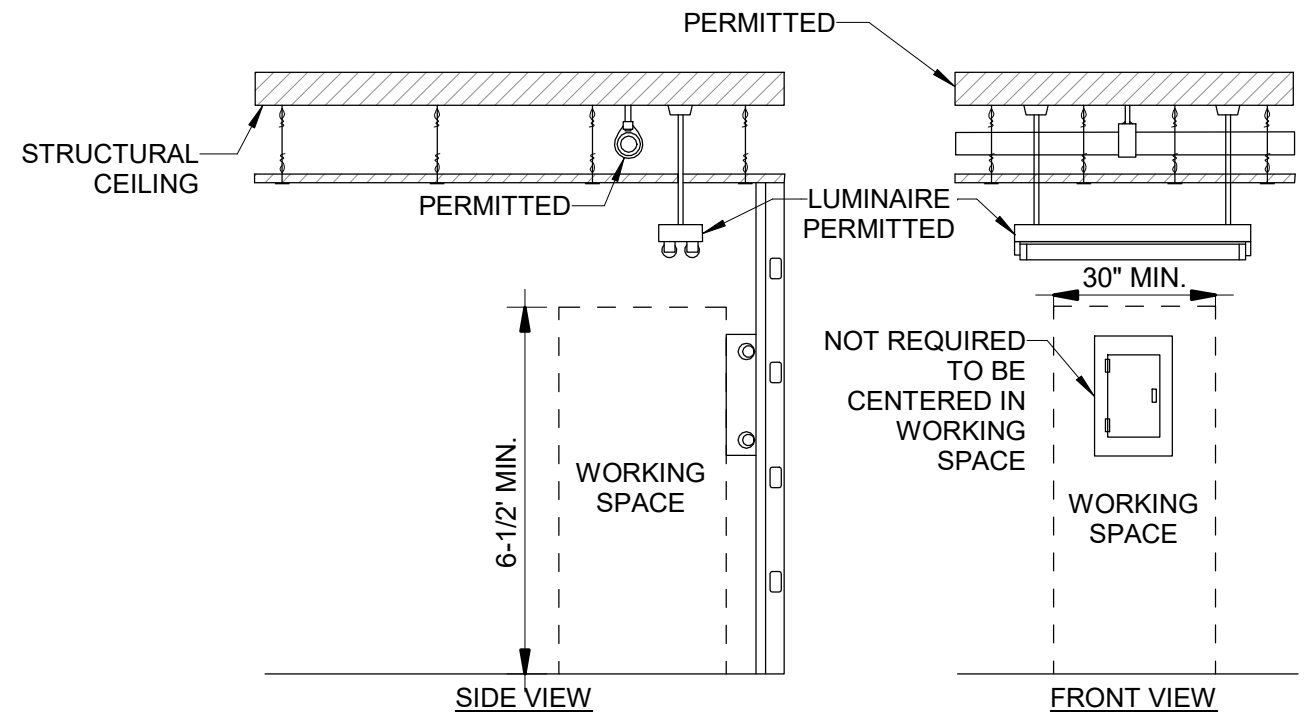
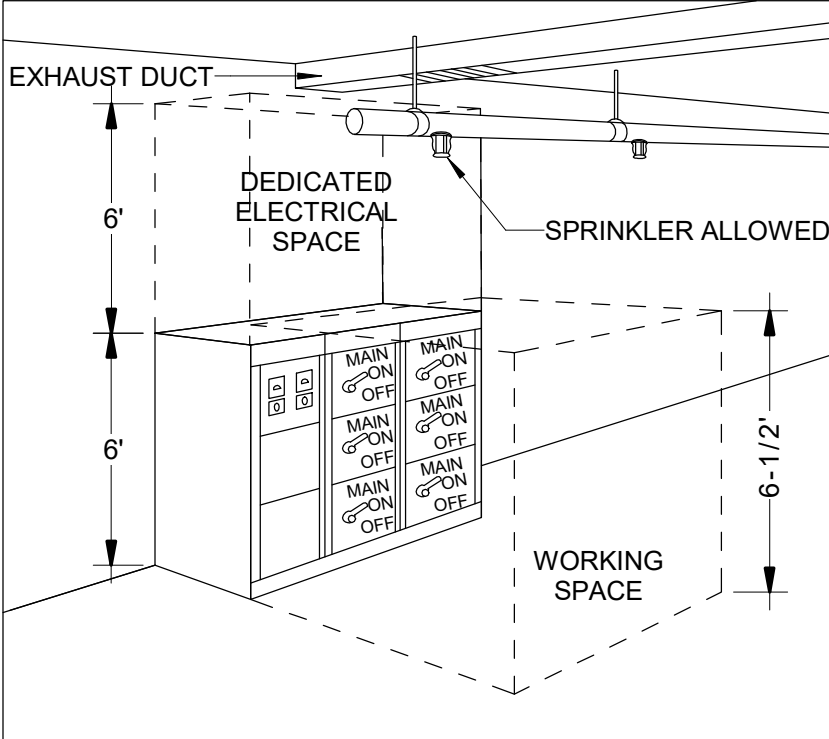
ADDITION EQUIPMENT PLAN - BASE BID

DATE  
 9/6/2024  
**E-104**



NOTE:

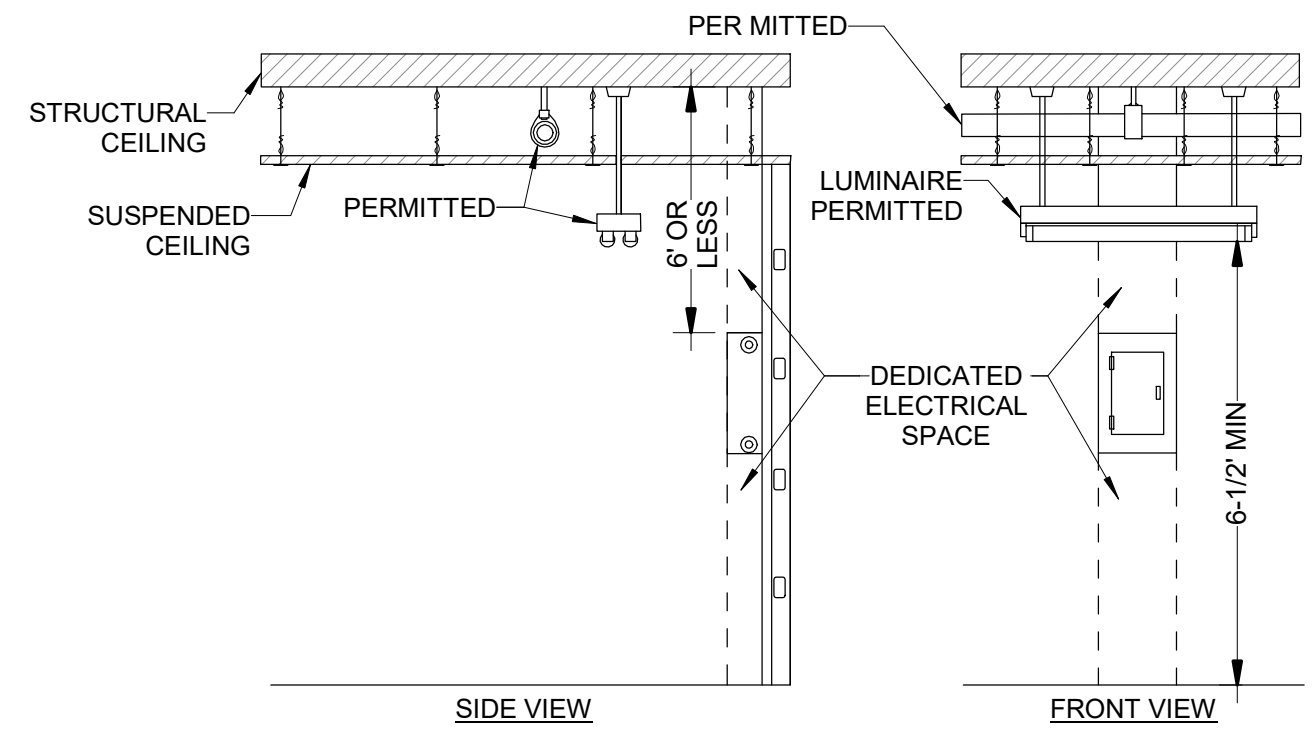
- THIS FIGURE ILLUSTRATES THE WORKING SPACE IN FRONT OF THE ELECTRICAL EQUIPMENT REQUIRED BY SECTION 110.26(A) AND 110.26(F) OF THE NATIONAL ELECTRICAL CODE.



VOLTAGE TO GROUND NOMINAL	CONDITION:	MINIMUM CLEAR DISTANCE FEET		
		1	2	3
0-150		3	3	3
151-600		3	3-1/2	4

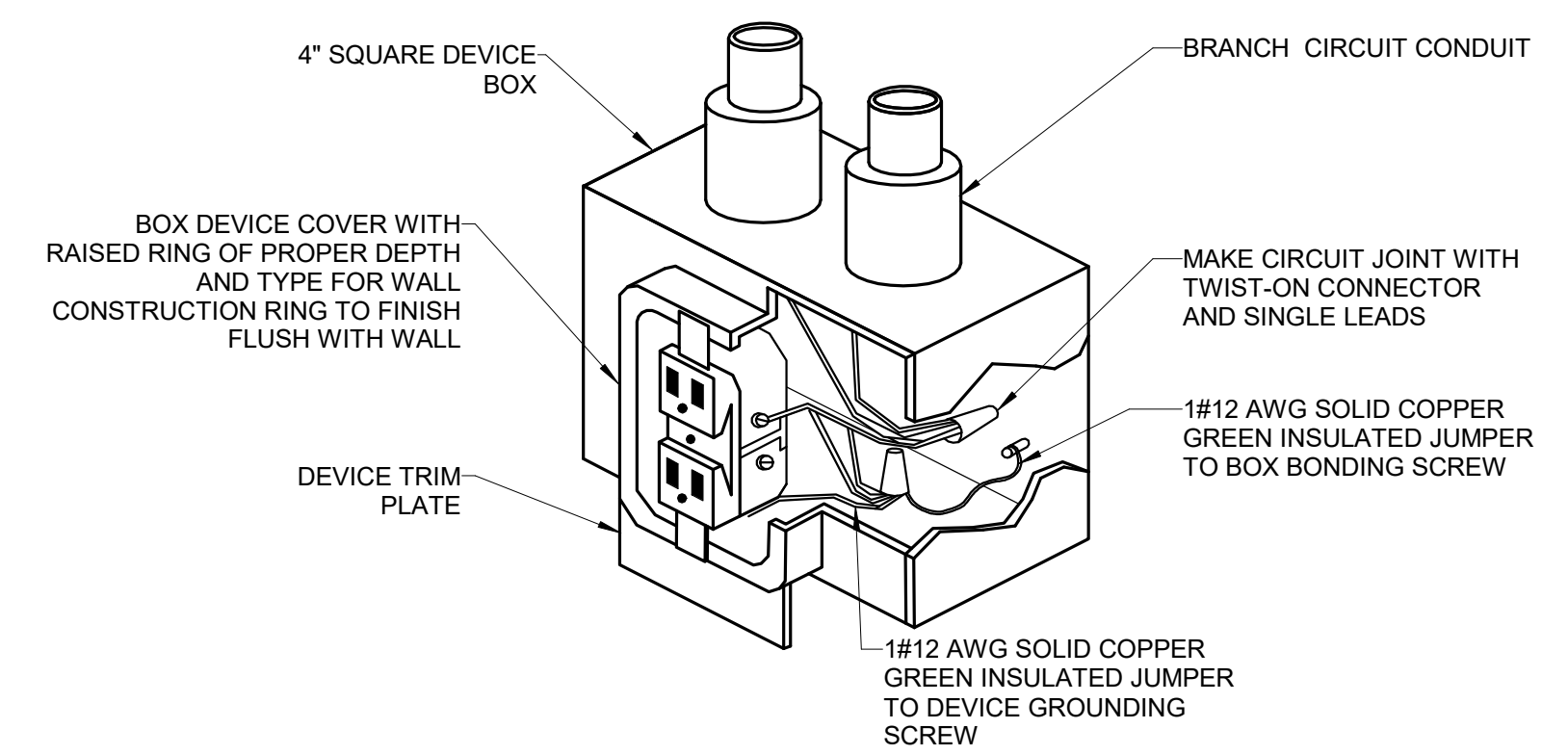
WHERE THE "CONDITIONS" ARE AS FOLLOWS

- EXPOSED LIVE PARTS ON ONE SIDE AND NO LIVE OR GROUNDED PARTS ON THE OTHER SIDE OF THE WORKING SPACE, OR EXPOSED LIVE PARTS ON BOTH SIDES EFFECTIVELY GUARDED BY SUITABLE WOOD OR OTHER INSULATING MATERIALS. INSULATED WIRE OR INSULATED BUSBARS OPERATING AT NOT OVER 300V TO GROUND SHALL NOT BE CONSIDERED LIVE PARTS.
- EXPOSED LIVE PARTS ON ONE SIDE AND GROUNDED PARTS ON THE OTHER SIDE. (CONCRETE BRICK OR TILE WALLS SHALL BE CONSIDERED AS GROUNDED.)
- EXPOSED LIVE PARTS ON BOTH SIDES OF THE WORK SPACE (NOT GUARDED AS PROVIDED IN CONDITION 1) WITH THE OPERATOR BETWEEN.



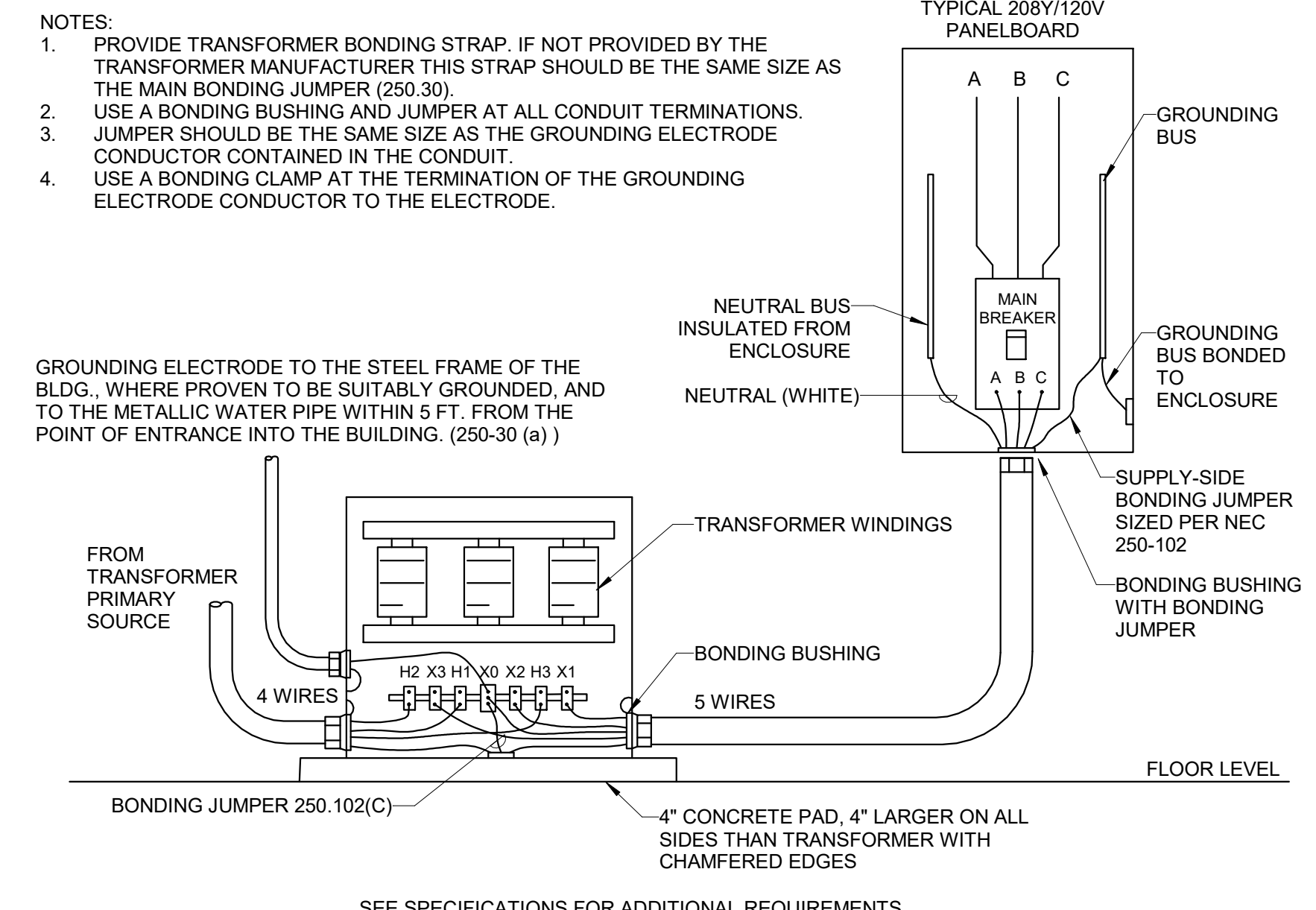
2 ELECTRICAL CONDUCTOR COLOR CODE DETAIL

Scale: 12" = 1'-0"



3 RECEPTACLE GROUNDING

Scale: 12" = 1'-0"



NOTES:

- PROVIDE TRANSFORMER BONDING STRAP, IF NOT PROVIDED BY THE TRANSFORMER MANUFACTURER THIS STRAP SHOULD BE THE SAME SIZE AS THE MAIN BONDING JUMPER (250.30).
- USE A BONDING BUSHING AND JUMPER AT ALL CONDUIT TERMINATIONS. JUMPER SHOULD BE THE SAME SIZE AS THE GROUNDING ELECTRODE CONDUCTOR CONTAINED IN THE CONDUIT.
- USE A BONDING CLAMP AT THE TERMINATION OF THE GROUNDING ELECTRODE CONDUCTOR TO THE ELECTRODE.

1 WORKING CLEARANCE FOR ELECTRICAL EQUIPMENT

Scale: 1" = 1'-0"

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	SIZE	MOUNTING	MANUFACTURER	LAMP	NOTES	VOLTAGE	VA
A	8" LED STRIPLIGHT WITH WIREGUARD, 80 CRI, AIRCRAFT CABLE, INTEGRAL HIGH EFFICIENCY DRIVER & POWER SUPPLY, SNAP ON FROSTED DIFFUSE LENS, WHITE FINISH.	2 1/8" WIDE 8" LONG 2 1/8" HIGH	SUSPEND FIXTURE 11'-6" AFF TO BOTTOM	LITHONIA #TZLN-L96-1000LM-FST-40K-80CRI-WH-ZACVHM100	INTEGRAL LED, 4000K, 80 CRI 9019 DELIVERED LUMENS, 133 LPW	3	120/208	68
AEM	8" LED STRIPLIGHT WITH WIREGUARD, 80 CRI, AIRCRAFT CABLE, INTEGRAL HIGH EFFICIENCY DRIVER & POWER SUPPLY, SNAP ON FROSTED DIFFUSE LENS, WHITE FINISH, EM BATTERY PACK	2 1/8" WIDE 8" LONG 2 1/8" HIGH	SUSPEND FIXTURE 11'-6" AFF TO BOTTOM	LITHONIA #TZLN-L96-1000LM-FST-40K-80CRI-WH-ZACVHM100-2E10WLCP	INTEGRAL LED, 4000K, 80 CRI 9019 DELIVERED LUMENS, 133 LPW	3	120/208	68
B	4" OPEN LED DOWNLIGHT, 0-10V DIMMING TO 1%, SELF-FLANGED SEMI-SPECULAR REFLECTOR, CLEAR TRIM, LENSED LIGHT ENGINE, DRIVER ACCESSIBLE FROM BELOW	4" DIA. 9-13/16" LONG 6-5/8" HIGH	RECESSED IN CEILING	GOTHAM LIGHTING #EVO4-40/15-AR-MWD-LSS-MVOLT-GZ1	INTEGRAL LED, 4000K, 80 CRI 1527 DELIVERED LUMENS, 111.5 LPW	N/A	120/277	14
BEM	4" OPEN LED DOWNLIGHT, 0-10V DIMMING TO 1%, EM BATTERY PACK, SELF-FLANGED SEMI-SPECULAR REFLECTOR, CLEAR TRIM, LENSED LIGHT ENGINE, DRIVER ACCESSIBLE FROM BELOW	4" DIA. 9-13/16" LONG 6-5/8" HIGH	RECESSED IN CEILING	GOTHAM LIGHTING #EVO4-40/15-AR-MWD-LSS-MVOLT-GZ1-E10WCP	INTEGRAL LED, 4000K, 80 CRI 1527 DELIVERED LUMENS, 111.5 LPW	N/A	120/277	14
C	ARCHITECTURAL TRAPEZOIDAL LED WALL PACK, TYPE III DISTRIBUTION, NEUTRAL WHITE LEDS, NON-PIXILATED LIGHT SOURCE, NATURAL ALUMINUM FINISH	12-1/8" WIDE 5-11/32" HIGH 7" DEEP	WALL MOUNT AS INDICATED ON BUILDING ELEVATIONS.	LITHONIA #WDE2 LED-PS-40K-80CRI-WV-MVOLT-DNAXD	INTEGRAL LED, 4000K, 70 CRI 4734 DELIVERED LUMENS, 111.5 LPW	1	120/277	40
D	THERMOPLASTIC LED SPECIAL LANGUAGE SIGN, UNIVERSAL MOUNT, WHITE HOUSING, SINGLE FACE, RED LETTERS, NICAD BATTERY, SELF-DIAGNOSTICS, "NO EXIT" WORDING.	2" DEEP 11-3/4" WIDE 7-5/8" HIGH	MOUNT ACCORDING TO PLANS	LITHONIA #LQM-P-W-3-R-120/277-ELN-SW12	LED	2	120/277	1
X	THERMOPLASTIC LED EXIT SIGN, UNIVERSAL MOUNT, WHITE HOUSING, SINGLE FACE, RED LETTERS, NICAD BATTERY, SELF-DIAGNOSTICS	2" DEEP 11-3/4" WIDE 7-5/8" HIGH	MOUNT ACCORDING TO PLANS	LITHONIA #LQM-S-W-3-R-MVOLT-ELN-SD	LED	2	120/277	1

GENERAL NOTES

- CONTRACTOR SHALL CORRDINATE MOUNTING HEIGHT FOR WALL-MOUNTED FIXTURES WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY ROUGH-IN.
- ALL INDUSTRIAL FIXTURES WHERE INSTALLED IN STORAGE AREA SHALL BE COORDINATED WITH ALL TRADES TO AVOID CONFLICTS WITH MECHANICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT, PIPING, DUCTWORK, ETC.

KEYED NOTES

- FIXTURE FINISH TO BE SELECTED BY THE ARCHITECT DURING THE SHOP DRAWING PHASE.
- PROVIDE NUMBER OF FACES AND DIRECTIONAL INDICATORS AS SHOWN ON PLANS.
- PROVIDE FIXTURE WITH WIREGUARD.

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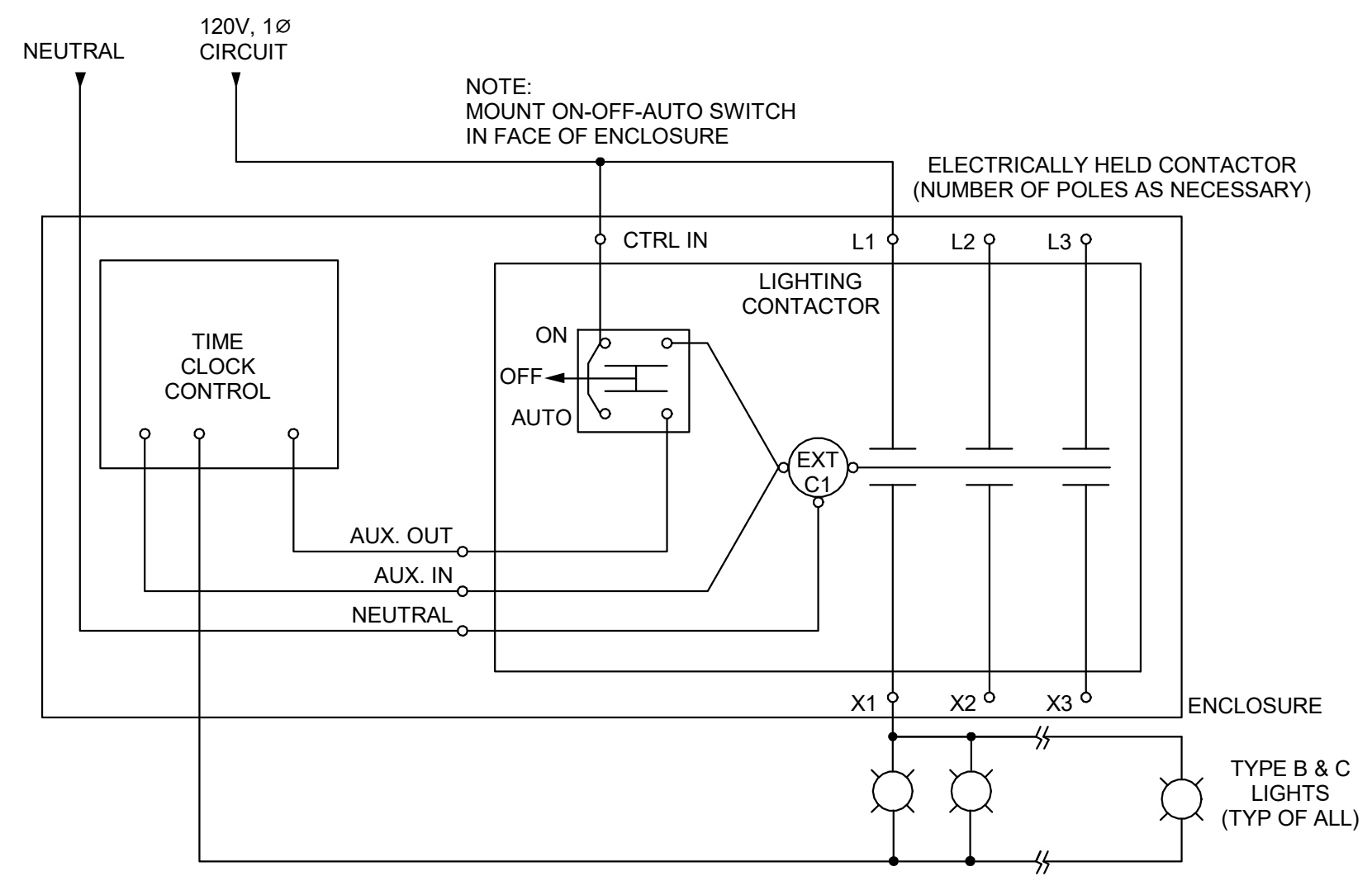
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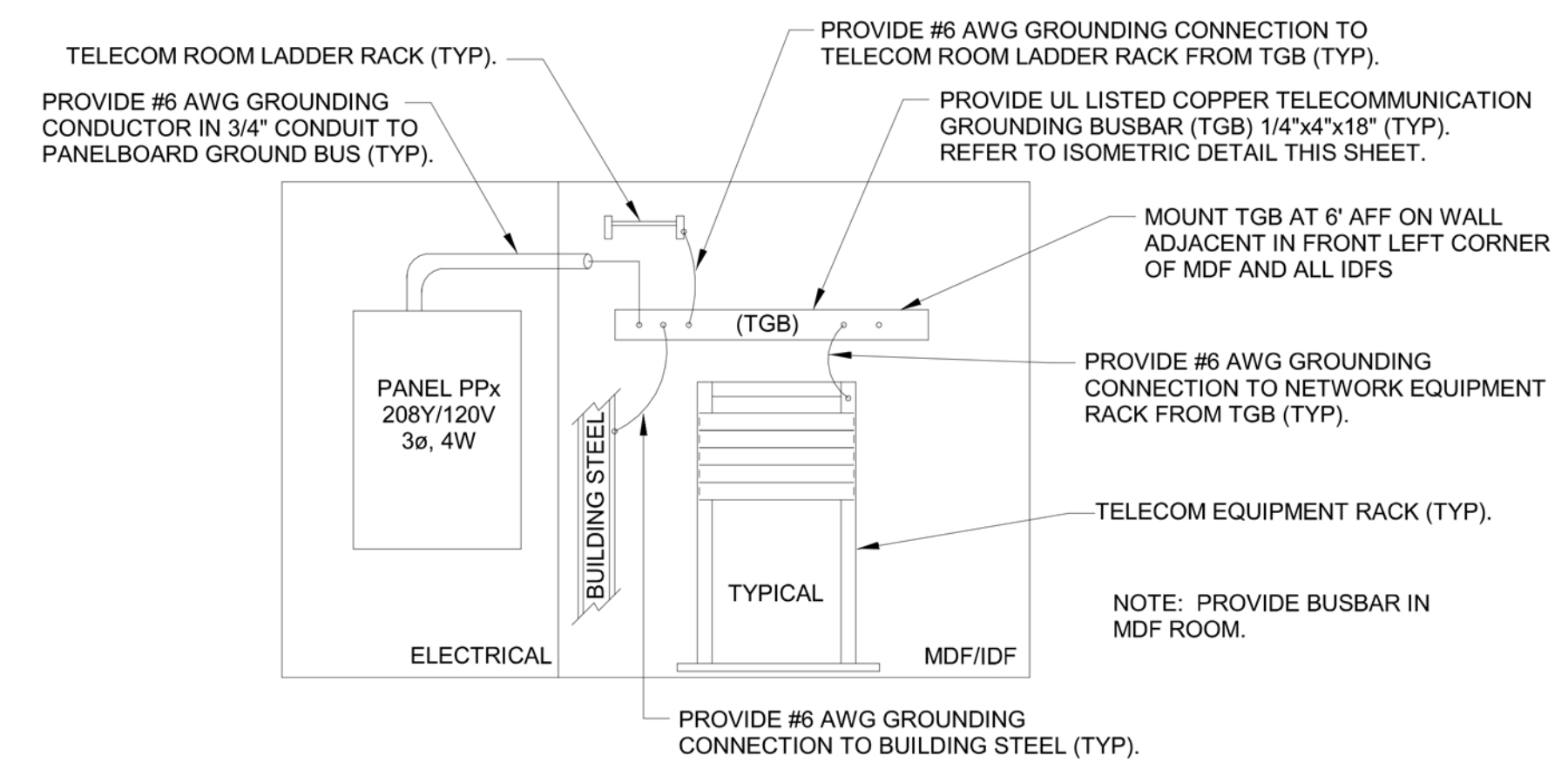
DETAILS & SCHEDULES

DATE  
9/6/2024  
**E-501**

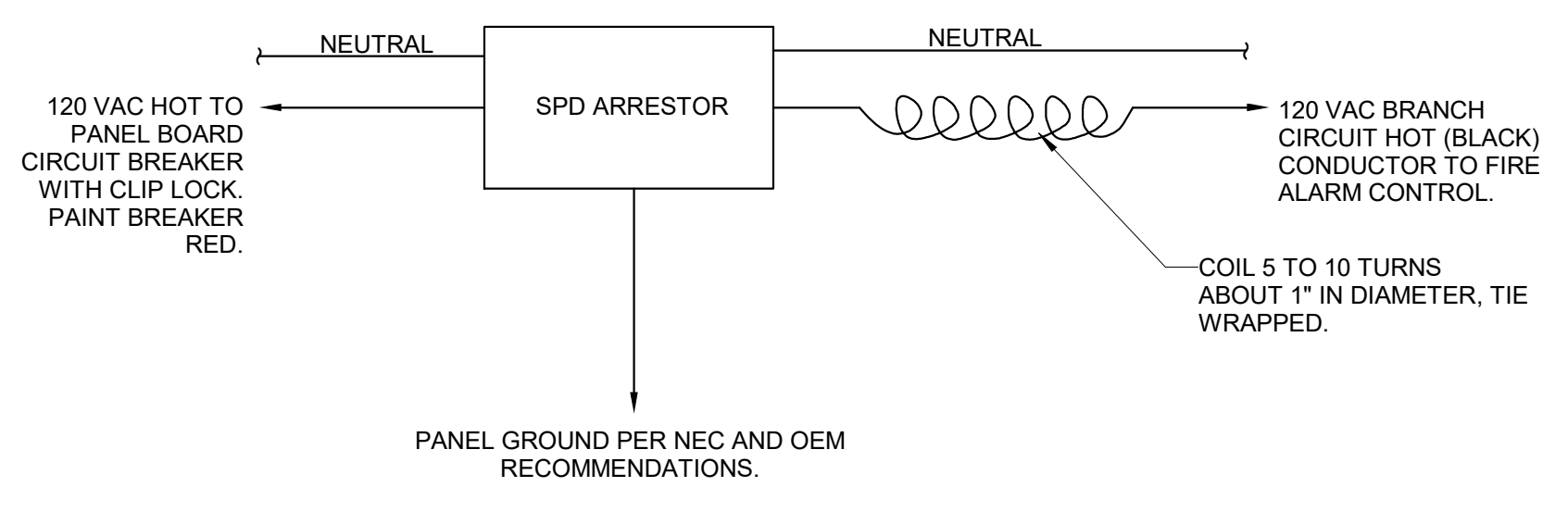


**1 EXTERIOR LIGHTING CONTACTOR TIME CLOCK CONTROL**  
Scale: N.T.S.

- GENERAL NOTES:**
- IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE BETWEEN THE ELECTRICAL AND OTHER TRADES.
  - ELECTRICAL CONTRACTOR PROVIDES DISCONNECT SWITCH IF NEEDED FOR ELEVATORS, KITCHEN EQUIPMENT, OR OWNER FURNISHED EQUIPMENT.
- KEYNOTES:**
- EQUIPMENT OF TRADES OTHER THAN ELECTRICAL.
  - CONDUIT & WIRING BY MECHANICAL OR PLUMBING CONTRACTOR.
  - IF AN ADDITIONAL DISCONNECT SHOWN IS REQUIRED BY NEC IT SHALL BE FURNISHED AND INSTALLED BY MECHANICAL OR PLUMBING CONTRACTOR.
  - A COMBINATION STARTER OR VFD MAY BE USED IN LIEU OF A SEPARATE DISCONNECT SWITCH AND STARTER. DISCONNECT PROVIDED BY ELECTRICAL CONTRACTOR, STARTER/VFD BY MECHANICAL OR PLUMBING CONTRACTOR. LOCATE ADJACENT TO VFD.
  - FEEDER CIRCUIT WIRING AND CONDUIT IN ELECTRICAL WORK. SEE PANELBOARD SCHEDULE FOR WIRE AND BREAKER SIZES.
  - JUNCTION BOX MAY BE SHOWN ON ELECTRICAL FOR SOME EQUIPMENT. IF NO STARTER OR DISCONNECT IS SUPPLIED, A JUNCTION BOX SHALL BE INSTALLED ADJACENT TO EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL PROVIDE LINE SIDE WIRING TO THE JUNCTION BOX LOAD SIDE WIRING WILL BE PROVIDED BY MECHANICAL OR PLUMBING CONTRACTOR.
  - IN ALL CASES THE EQUIPMENT CONTRACTOR SHALL MAKE FINAL CONNECTIONS, START UP, AND TEST EQUIPMENT.
  - IF THE ROOF TOP EQUIPMENT IS NOTED "PROVIDED WITH BUILT IN SWITCH", THE ELECTRICAL CONTRACTOR SHALL PROVIDE A DISCONNECT SWITCH.

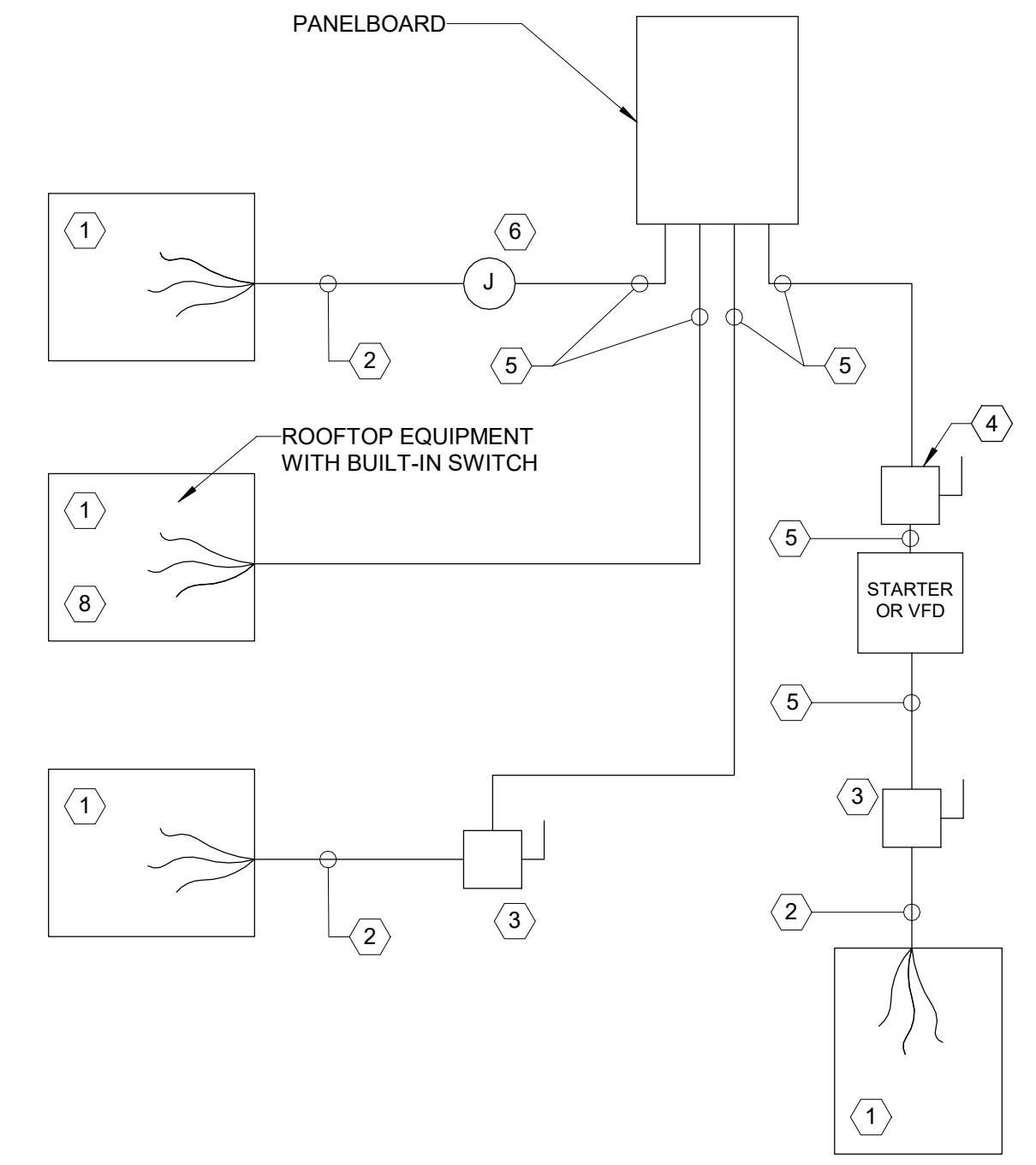


**6 TELECOMMUNICATIONS GROUNDING BUSBAR**  
Scale: N.T.S.

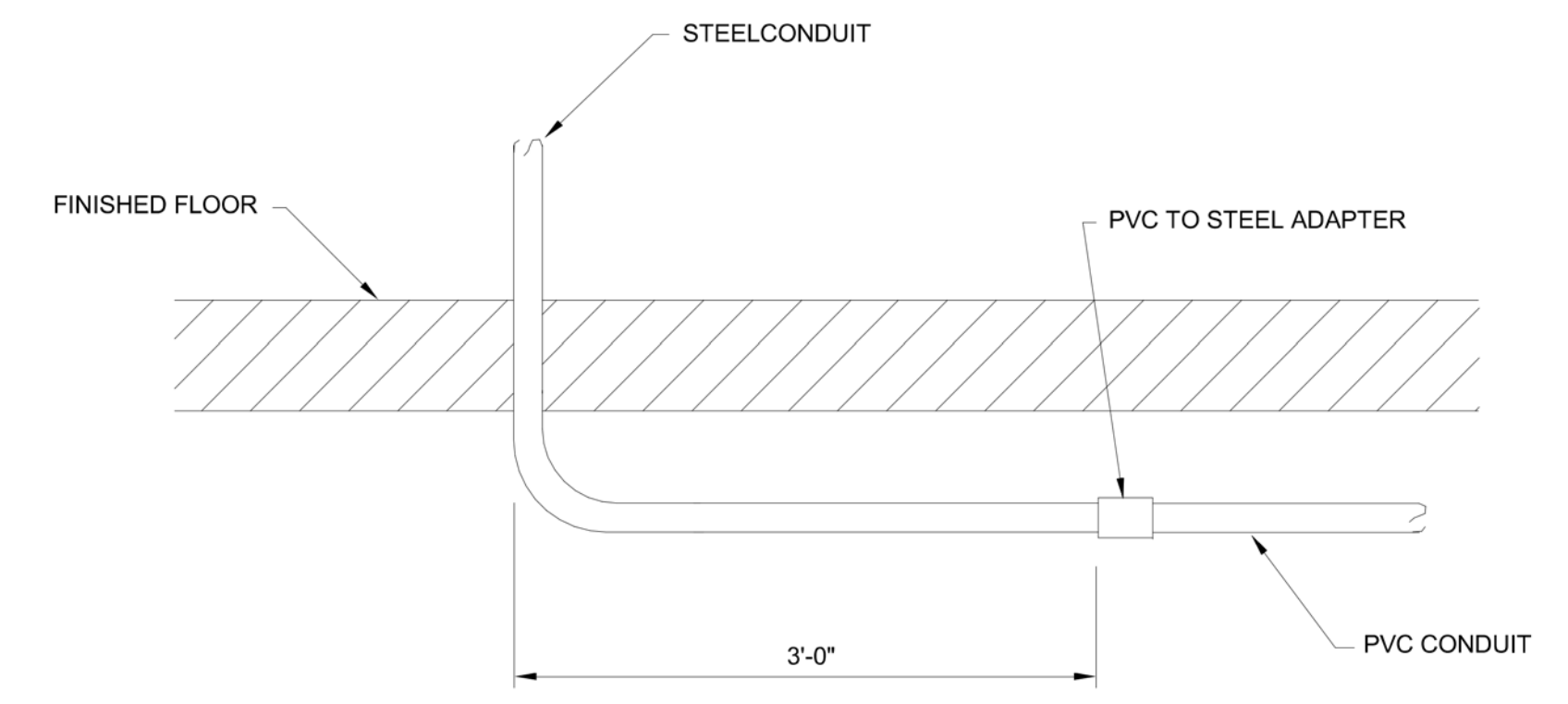


- NOTES:**
- SECURELY MOUNT TRANSIENT ARRESTOR IN ACCESSIBLE JUNCTION BOX ON PROPER METAL ENCLOSURE ADJACENT TO PANEL BOARD. PROVIDE ENGRAVED LABEL INDICATING ITS LOCATION.

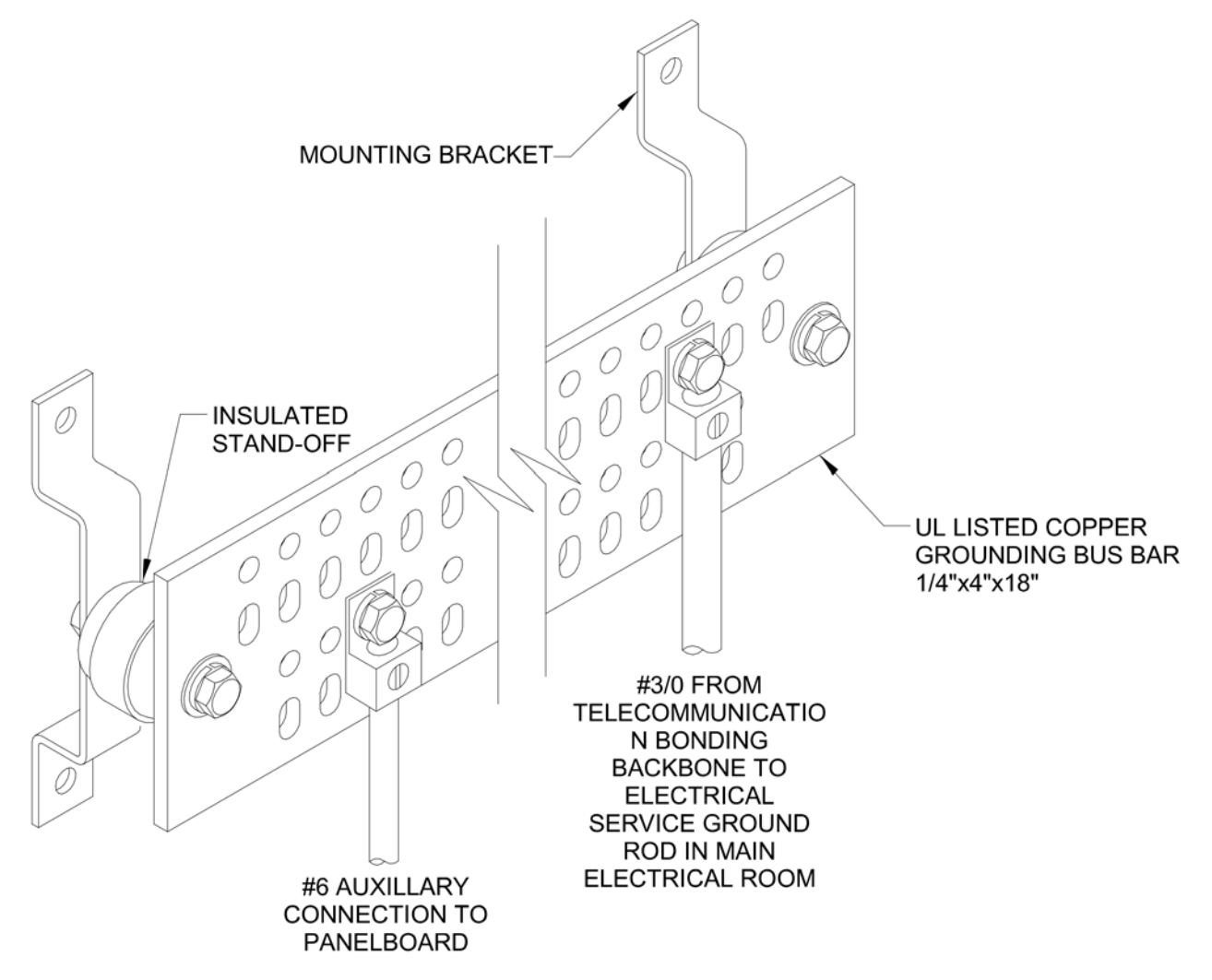
**2 120 VAC TRANSIENT PROTECTION**  
Scale: N.T.S.



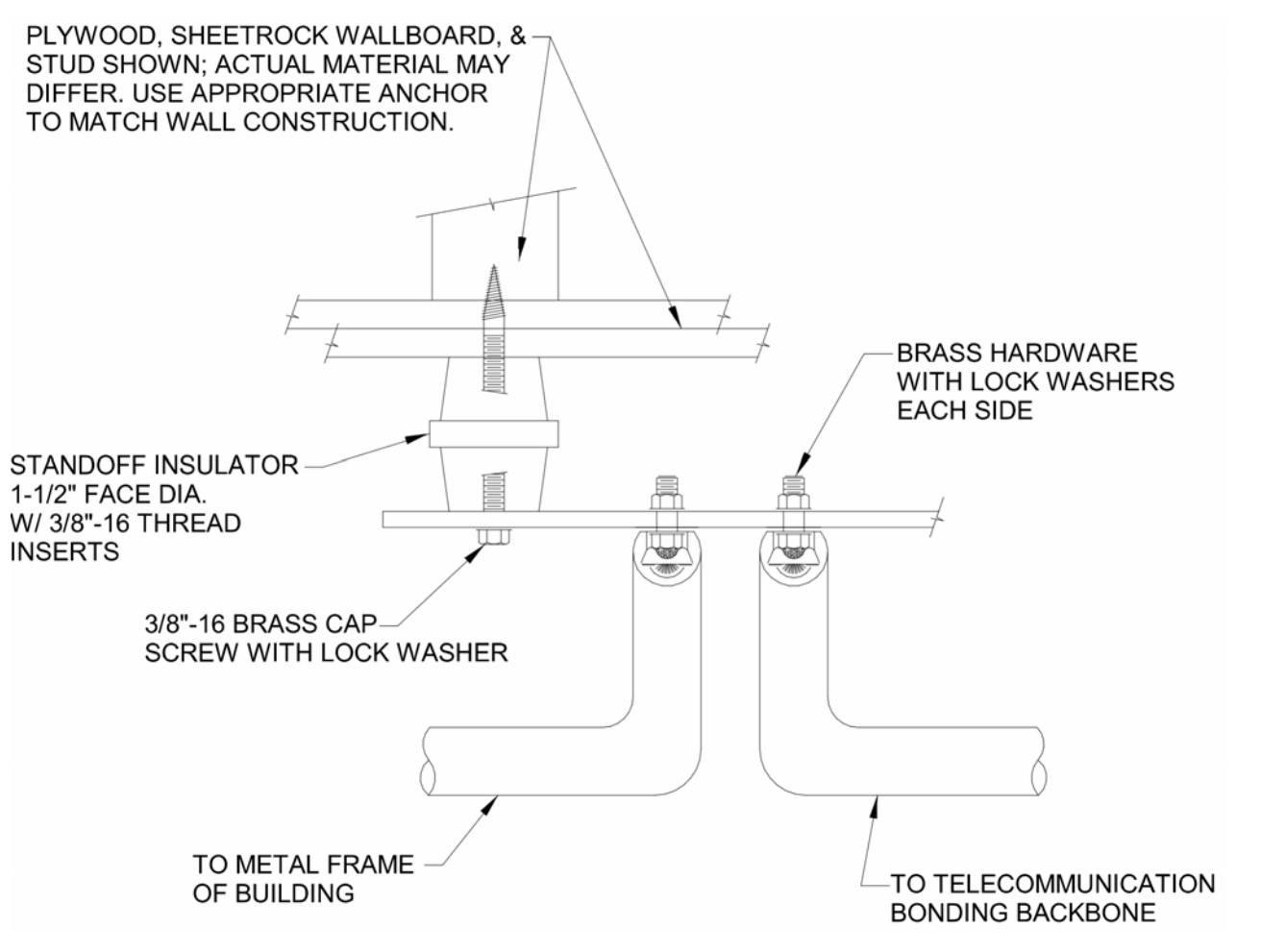
**4 ELECTRICAL TO MECHANICAL EQUIPMENT**  
Scale: N.T.S.



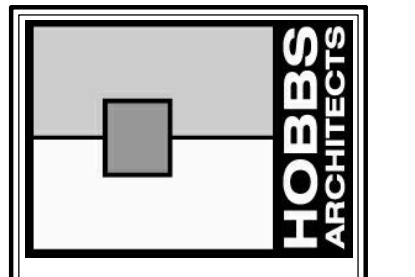
**7 PVC TO STEEL CONDUIT CONVERSION DETAIL**  
Scale: N.T.S.



**3 TELECOMMUNICATIONS GROUNDING BUSBAR**  
Scale: N.T.S.

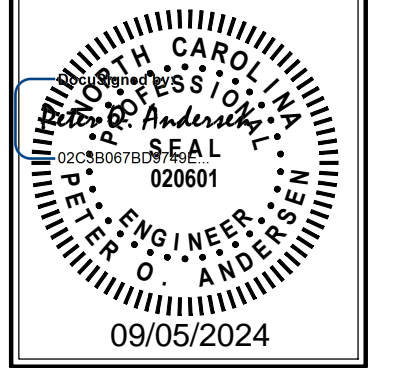


**5 TELECOMMUNICATIONS GROUNDING BUSBAR**  
Scale: N.T.S.



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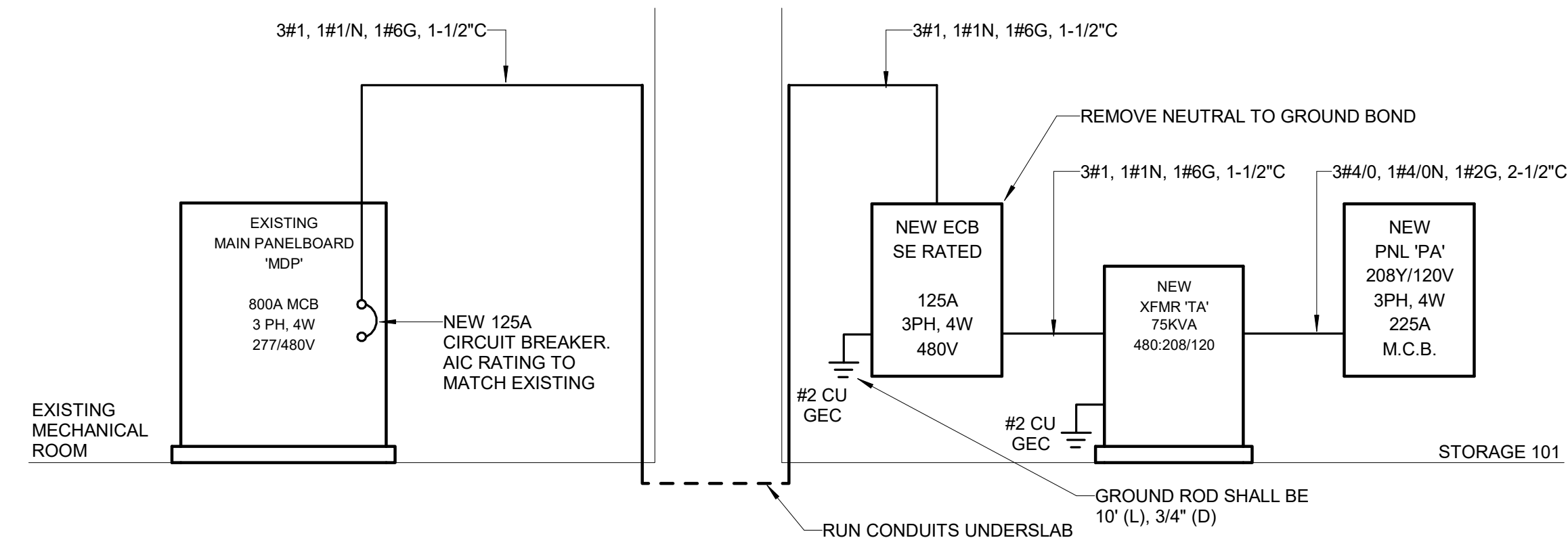


NEW PROJECT FOR  
**NC DEPT. OF AGRICULTURE & CONSUMER SCIENCES**  
EADDY BUILDING ADDITION  
4300 REEDY CREEK RD., RALEIGH, NC 27607

No.	Date

DETAILS & SCHEDULES

DATE  
9/6/2024  
**E-502**



**1 ELECTRICAL RISER DIAGRAM**  
Scale: N.T.S.

EXISTING PANEL MDP										BRANCH: NORMAL									
CKT	LOAD VA	DESCRIPTION	CIRCUIT BREAKER			PHASE			CIRCUIT BREAKER			DESCRIPTION	LOAD VA	CKT					
			NOTE	FUNCTION	TRIP	A	B	C	TRIP	FUNCTION	NOTE								
1	53340					73050						19710	2						
3	53340	TRANSFORMER 'T1'	EXISTING		300	73050	73050	73050	225	EXISTING	PANEL 'H1'	19710	4						
5	53340											19710	6						
7	19931					45497						25566	8						
9	19931	MCP	EXISTING		400	45497	45497		150	EXISTING	PANEL 'H3'	25566	10						
11	19931							45497				25566	12						
13	21273					37267						15994	14						
15	21273	UPS	EXISTING		225		36912		125	NEW	PANEL 'PA' (SEE ELECTRICAL RISER DIAGRAM)	15639	16						
17	21273							35837				14564	18						
19						0							20						
21		SPACE					0						22						
23								0					24						
25													26						
27		SPACE					0						28						
29								0					30						
31													32						
33		SPACE					0						34						
35													36						
37								0					38						
39		SPACE					0						40						
41								0					42						

LOAD TYPE	CONNECTED	DEMAND
EXISTING	419460	125%
RECEPTACLES	1620	100%
MOTOR	6015	100%
LARGEST MOTOR	15312	125%
HVAC	15312	100%
LIGHTING	2488	125%
KITCHEN	0	100%
OTHER	1000	100%
<b>TOTAL</b>	<b>461207</b>	<b>124%</b>

FUNCTIONS AND ABBREVIATIONS
AFCB: ARC FAULT CB
CB: CIRCUIT BREAKER
EX: EXISTING
GFEP: GND FAULT CB (30ma/100mA)
GFCB: GND FAULT CB (6mA)
ARMS: ARC FLASH REDUCTION MAINTENANCE SWITCH
SFCB: SUBFEED CB
SFL: SUBFEED LUGS
SR: SEE RISER
ST: SHUNT TRIP
L: LONG TIME
S: SHORT TIME
I: INSTANTANEOUS
G: GROUND FAULT
A: ALARM

PH. A	VA	AMP
190839	VA	688.9
190443	VA	687.5
189240	VA	683.2

NOTE: PANELBOARD INFORMATION DERIVED FROM RECORD DRAWINGS PROVIDED BY THE OWNER.

NEW PANEL PA										BRANCH: NORMAL									
CKT	LOAD VA	DESCRIPTION	CIRCUIT BREAKER			PHASE			CIRCUIT BREAKER			DESCRIPTION	LOAD VA	CKT					
			NOTE	FUNCTION	TRIP	A	B	C	TRIP	FUNCTION	NOTE								
1	1020	LTS STORAGE 101		CB	20	6124					AHU-1 (SEE ELECTRICAL RISER DIAGRAM)	5104	2						
3	1020	LTS STORAGE 101		CB	20		6124		60	CB		5104	4						
5	448	LTS EXTERIOR		CB	20			5552				5104	6						
7	720	REC STORAGE 101, EXTERIOR		CB	20	5824					AHU-2 (SEE ELECTRICAL RISER DIAGRAM)	5104	8						
9	900	REC STORAGE 101, EXTERIOR		CB	20		6004		60	CB		5104	10						
11	500	SNAC PANEL STORAGE 101	1	CB	20			5604				5104	12						
13	500	BAS STORAGE 101		CB	20	2505					MATERIAL LIFT	2005	14						
15	1000	REC HOT BOX		CB	20		2005		35	CB	3 #8, #10G, 3/4\"	2005	16						
17		SPARE		CB	20			2005		2	SPACE	2005	18						
19		SPARE		CB	20	0							20						
21		SPARE		CB	20		0		60	EX	SPARE		22						
23		SPARE		CB	20			0					24						
25		SPACE				0							26						
27		SPACE					0						28						
29		SPACE						0	35	EX	SPARE		30						
31		SPACE					0						32						
33		SPACE					0				SPACE		34						
35		SPACE						0					36						
37		SPACE					0						38						
39		SPACE						0					40						
41		SPACE						0					42						

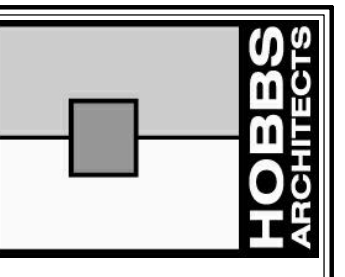
LOAD TYPE	CONNECTED	DEMAND
EXISTING	0	125%
RECEPTACLES	2620	100%
MOTOR	6015	100%
LARGEST MOTOR	15312	125%
HVAC	15312	100%
LIGHTING	2488	125%
KITCHEN	0	100%
OTHER	1000	100%
<b>TOTAL</b>	<b>42747</b>	<b>110%</b>

FUNCTIONS AND ABBREVIATIONS
AFCB: ARC FAULT CB
CB: CIRCUIT BREAKER
EX: EXISTING
GFEP: GND FAULT CB (30ma/100mA)
GFCB: GND FAULT CB (6mA)
ARMS: ARC FLASH REDUCTION MAINTENANCE SWITCH
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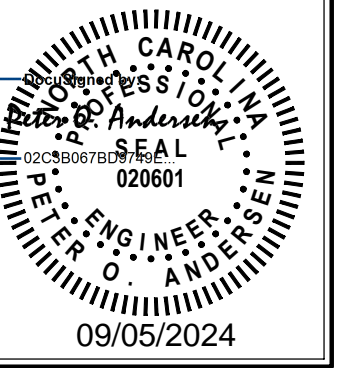
  

PH. A	VA	AMP
15958	VA	133.0
16708	VA	139.2
14531	VA	121.1



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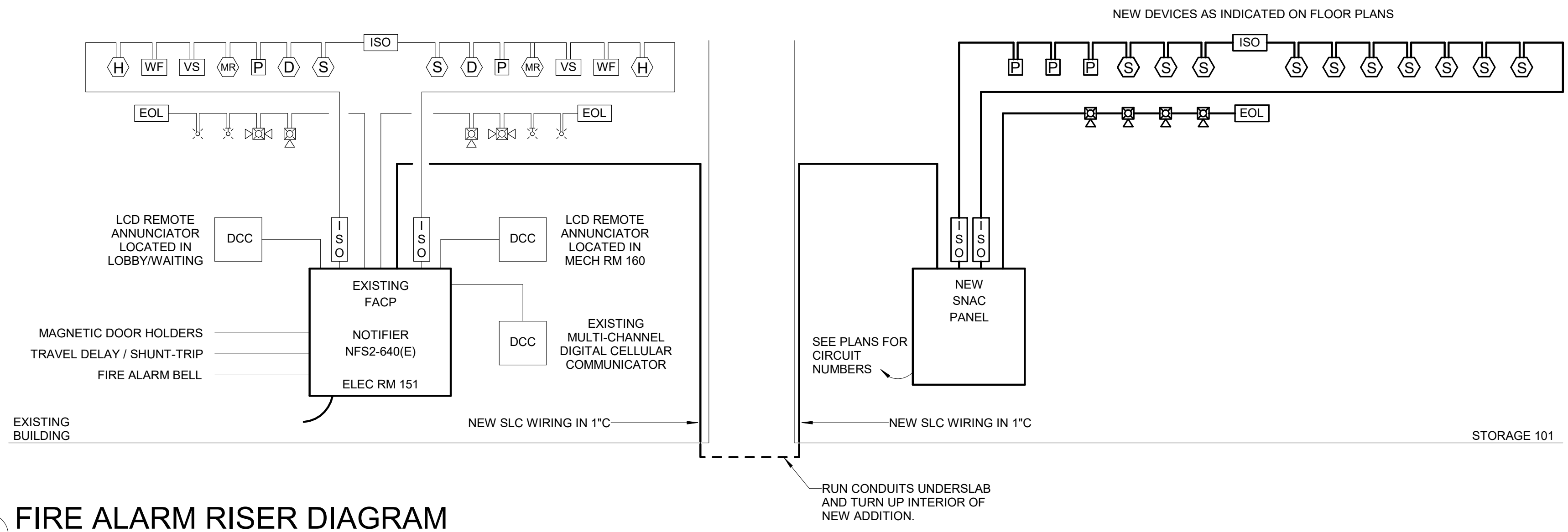
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EADDY BUILDING ADDITION  
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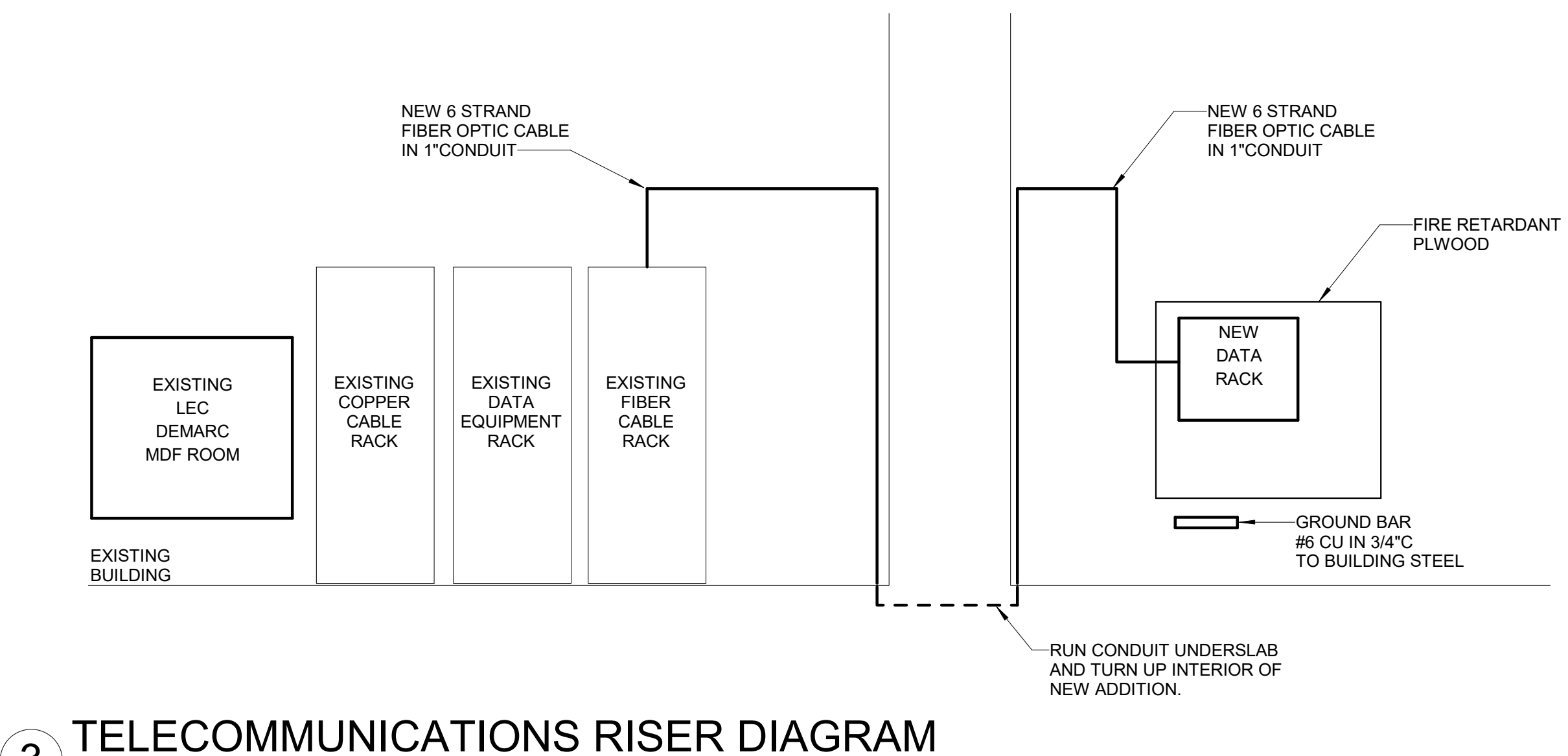
ELECTRICAL  
RISER  
DIAGRAM &  
SCHEDULES

DATE  
9/6/2024

**E-901**



1 FIRE ALARM RISER DIAGRAM  
Scale: N.T.S.



3 TELECOMMUNICATIONS RISER DIAGRAM  
Scale: 12" = 1'-0"

NOTE: EXISTING OPERATIONAL MATRIX APPLIES TO THE COMMON DEVICES SHOWN IN STORAGE 101.

SYSTEM INPUTS	SYSTEM OUTPUTS																
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q
1 MANUAL FIRE ALARM BOXES	•	•						•	•	•	•					•	•
2 SMOKE DETECTORS	•	•						•	•	•	•					•	•
3 HEAT DETECTORS	•	•						•	•	•	•					•	•
4 FLOW SWITCH - ZONE CONTROL ASSEMBLY	•	•						•	•	•	•					•	•
5 TAMPER SWITCH - ZONE CONTROL ASSEMBLY			•	•						•	•						•
7 FIRE ALARM AC POWER FAILURE					•	•				•	•						•
8 FIRE ALARM SYSTEM LOW BATTERY					•	•				•	•						•
9 OPEN CIRCUIT					•	•				•	•						•
10 GROUND FAULT					•	•				•	•						•
11 NOTIFICATION APPLIANCE CIRCUIT SHORT					•	•				•	•						•
12 DUCT DETECTORS			•	•						•	•				•	•	•
13 AHU SHUTDOWN AND SMOKE DAMPER OVERRIDE SWITCH					•	•				•	•						•

2 EXISTING FIRE ALARM OPERATIONAL MATRIX  
Scale: N.T.S.

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Professional Engineer Seal  
Professional Engineer  
G. ANDREW SEAN  
020601  
09/05/2024

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No.	Date

FIRE ALARM  
RISER  
DIAGRAM

DATE  
9/6/2024  
**E-902**