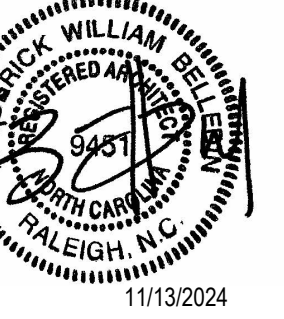


# MORRISVILLE TOWN HALL REARRANGEMENTS

## BID DRAWINGS

SEALS



11/13/2024

**BID DRAWINGS**  
11.13.2024

PROJECT

### MORRISVILLE TOWN HALL REARRANGEMENTS

100 Town Hall Dr. Morrisville, NC 27560

REVISIONS

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

PROJECT DATA

DATE: 11.13.2024  
DRAWN: LW  
CHECKED: LW/FB  
PROJECT NO: 2024\_0095  
PRINTING: BID DRAWINGS

SHEET DATA

**COVER**

SHEET NO.

**G000**

#### CONTACT INFORMATION

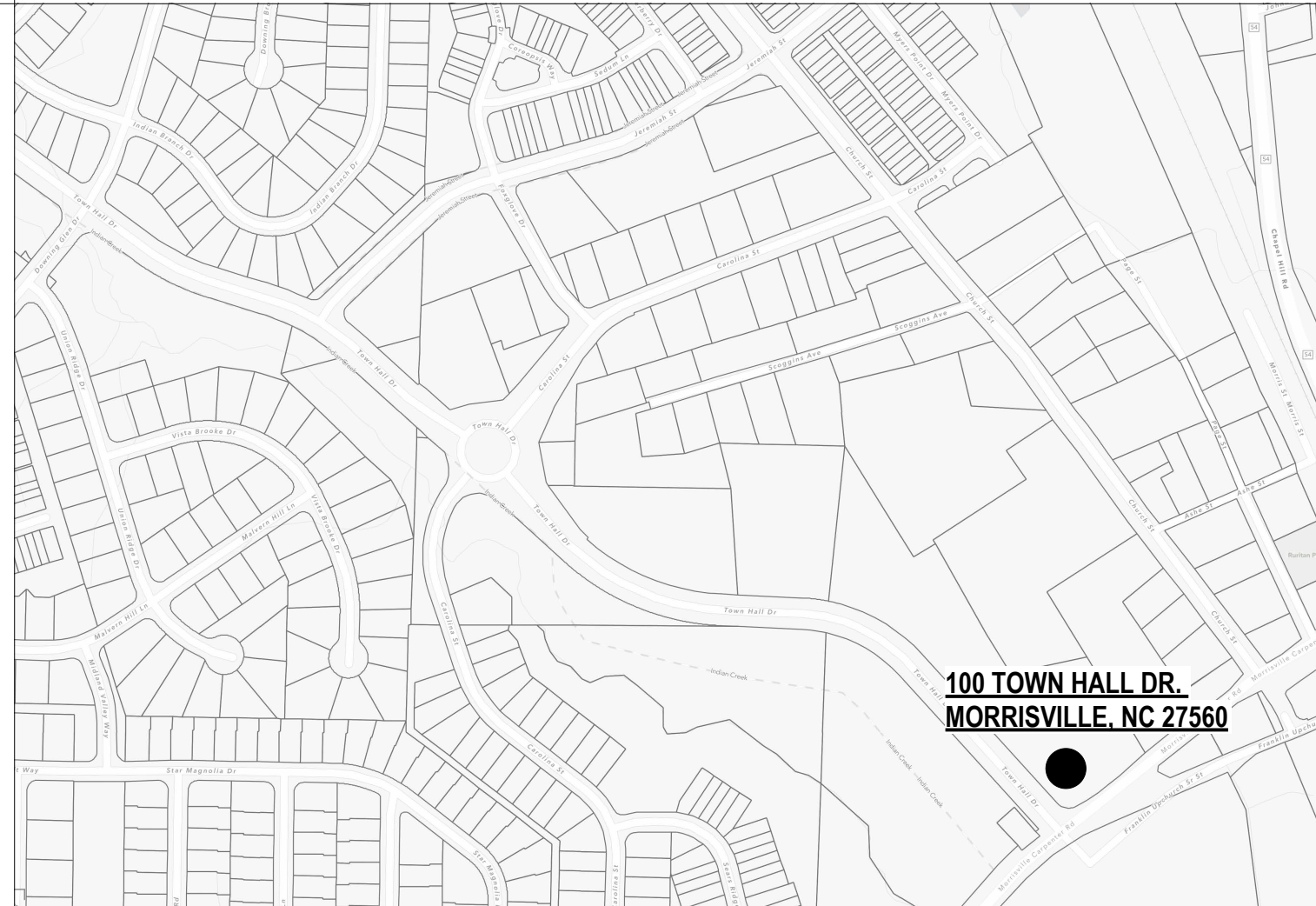
**PROPERTY OWNER/CLIENT**  
TOWN OF MORRISVILLE  
100 TOWN HALL DRIVE  
MORRISVILLE, NC 27560  
CONTACT: TIMOTHY JOHNSON  
PHONE: 919.463.6961 OFFICE | 919.368.6224 MOBILE  
EMAIL: TJOHNSON@MORRISVILLENC.GOV

**ARCHITECT**  
CLEARSCAPES  
501 S. PERSON STREET  
RALEIGH, NC 27601  
CONTACT: FRED BELLEDIN  
PHONE: 919.821.2775  
EMAIL: FBELLEDIN@CLEARSCAPES.COM

**STRUCTURAL ENGINEER**  
KAYDOS-DANIELS  
400-201 W. MORGAN ST.  
RALEIGH, NC 27603  
CONTACT: LUCAS GELO  
PHONE: 919.828.4966  
EMAIL: LUCAS@KAYDOS-DANIELS.COM

**MEP ENGINEER**  
LIGHTHOUSE ENGINEERING  
1101 HAYNES ST., SUITE 108  
RALEIGH, NC 27604  
CONTACT: PAUL SCOTT  
PHONE: 919.835.9781  
EMAIL: PSS@LIGHTHOUSEENGINEERING.COM

#### VICINITY MAP

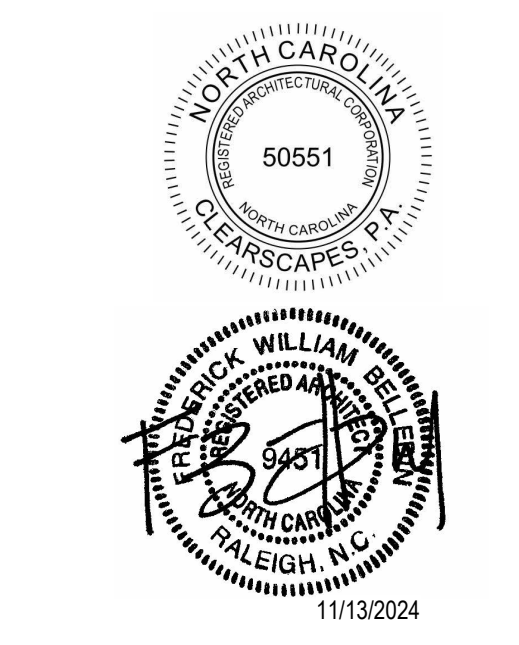


#### SHEET INDEX

- G000 COVER
- G001 GENERAL NOTES
- G002 CODE SUMMARY
- G003 LIFE SAFETY PLANS
- D100 DEMOLITION PLAN - TOWN HALL OFFICES
- A100 TOWN HALL RENOVATION - FLOOR PLAN
- A101 TOWN HALL RENOVATION - RCP
- A200 TOWN HALL RENOVATION - ELEVAT./SECTIONS
- A700 TOWN HALL RENOVATION - SCHEDULES







BID DRAWINGS  
11.13.2024  
PROJECT  
**MORRISVILLE TOWN HALL REARRANGEMENTS**  
100 Town Hall Dr. Morrisville, NC 27560

REVISIONS

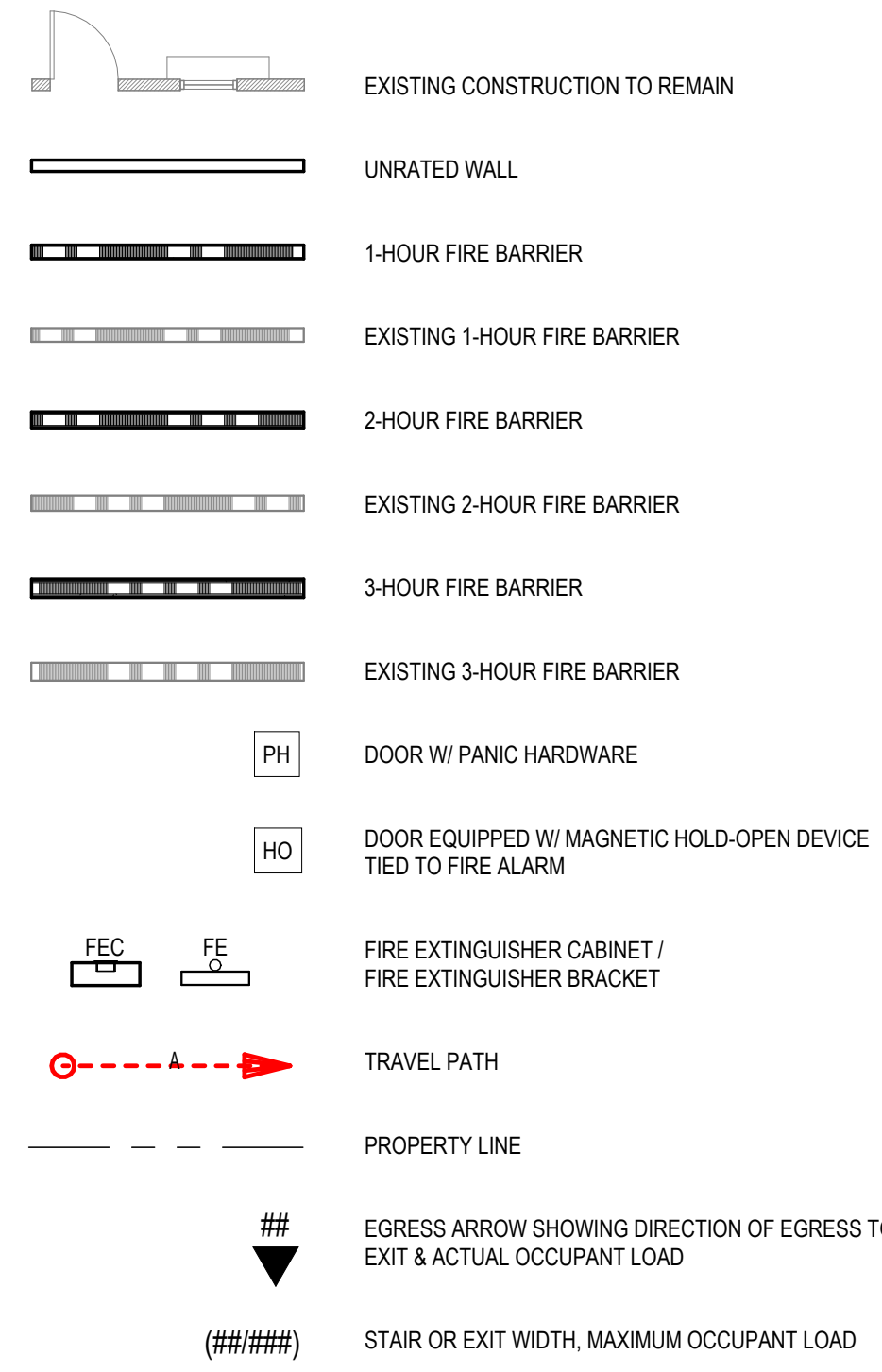
| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

PROJECT DATA  
DATE: 11-13-2024  
DRAWN: Author  
CHECKED: Checker  
PROJECT NO: 2024\_0095  
PRINTING: BID DRAWINGS

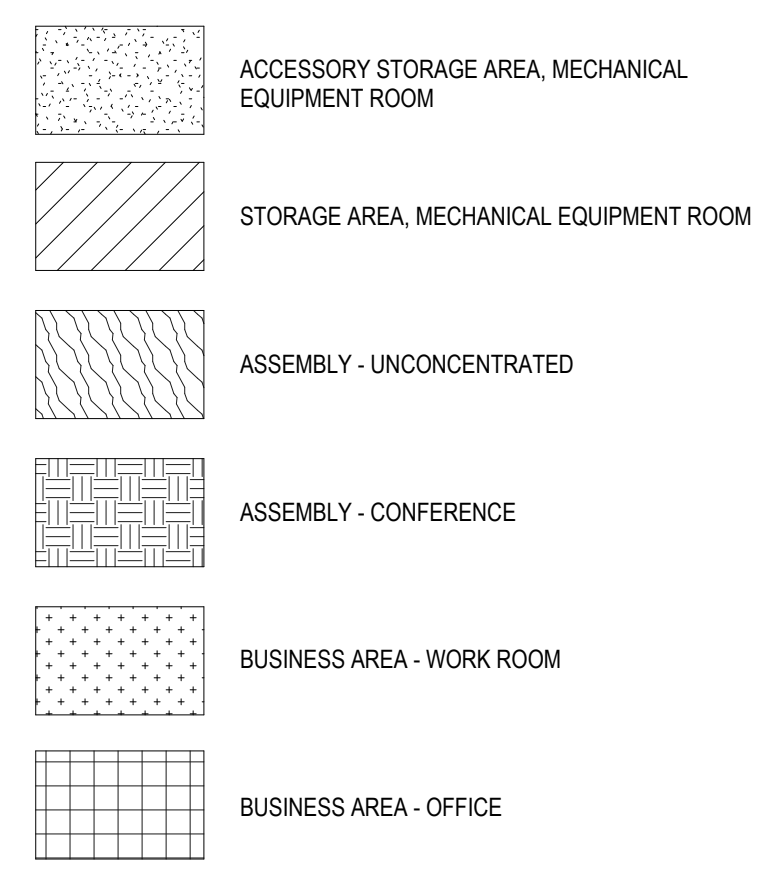
SHEET DATA  
**LIFE SAFETY PLANS**

SHEET NO.  
**G003**

**LIFE SAFETY PLAN LEGEND**



**FUNCTION OF SPACE (TABLE 1004.1.2)**



**NOTES**

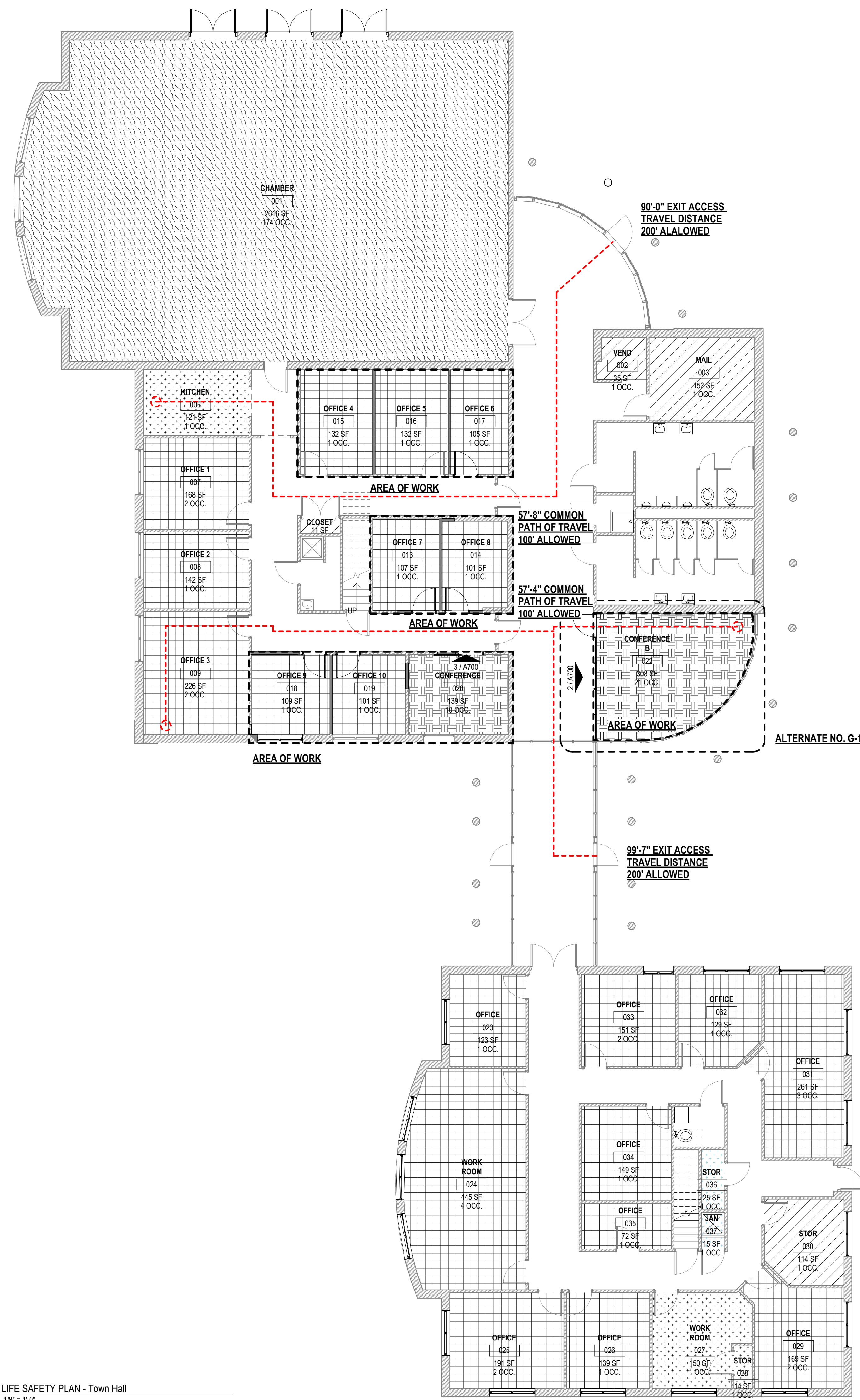
- TRAVEL DISTANCES SHOWN EGRESS TO AN AREA OF SAFE DISPERSAL AS NOTED OR TO A PUBLIC RIGHT OF WAY.
- MAX. OCCUPANT EGRESS LOAD PER 3'-0" DOOR = 160 (32' x 0.2' = 160)
- MAX. OCCUPANT EGRESS LOAD PER 6'-0" DOOR = 340 (66' x 0.2' = 340)
- FIRE EXTINGUISHER CABINET TO BE SEMI-RECESSED TYPE, TYP.

Occupancy Schedule

| Number | Name | Area | Occupancy | Occupant Number | Occupant Factor |
|--------|------|------|-----------|-----------------|-----------------|
|--------|------|------|-----------|-----------------|-----------------|

|      |              |            |                               |     |        |
|------|--------------|------------|-------------------------------|-----|--------|
| 001  | Room         | Not Placed |                               |     |        |
| 001  | CHAMBER      | 2616 SF    | ASSEMBLY                      | 174 | 15 SF  |
| 002  | VEND         | 35 SF      | BUSINESS                      | 1   | 100 SF |
| 003  | MAIL         | 152 SF     | ACCESSORY STORAGE, MECHANICAL | 1   | 300 SF |
| 004B | JAN          | 25 SF      | BUSINESS                      | 1   | 100 SF |
| 006  | KITCHEN      | 121 SF     | BUSINESS                      | 1   | 100 SF |
| 007  | OFFICE 1     | 168 SF     | BUSINESS                      | 2   | 100 SF |
| 008  | OFFICE 2     | 142 SF     | BUSINESS                      | 1   | 100 SF |
| 009  | OFFICE 3     | 226 SF     | BUSINESS                      | 2   | 100 SF |
| 010  | CLOSET       | 11 SF      | ACCESSORY STORAGE, MECHANICAL | 1   | 300 SF |
| 013  | OFFICE 7     | 107 SF     | BUSINESS                      | 1   | 100 SF |
| 014  | OFFICE 8     | 101 SF     | BUSINESS                      | 1   | 100 SF |
| 015  | OFFICE 4     | 132 SF     | BUSINESS                      | 1   | 100 SF |
| 016  | OFFICE 5     | 132 SF     | BUSINESS                      | 1   | 100 SF |
| 017  | OFFICE 6     | 105 SF     | BUSINESS                      | 1   | 100 SF |
| 018  | OFFICE 9     | 109 SF     | BUSINESS                      | 1   | 100 SF |
| 019  | OFFICE 10    | 101 SF     | BUSINESS                      | 1   | 100 SF |
| 020  | CONFERENCE   | 139 SF     | ASSEMBLY                      | 10  | 15 SF  |
| 022  | CONFERENCE B | 308 SF     | ASSEMBLY                      | 21  | 15 SF  |
| 023  | OFFICE       | 123 SF     | BUSINESS                      | 1   | 100 SF |
| 024  | WORK ROOM    | 445 SF     | BUSINESS                      | 4   | 100 SF |
| 025  | OFFICE       | 191 SF     | BUSINESS                      | 2   | 100 SF |
| 026  | OFFICE       | 139 SF     | BUSINESS                      | 1   | 100 SF |
| 027  | WORK ROOM    | 150 SF     | BUSINESS                      | 1   | 100 SF |
| 028  | STOR         | 14 SF      | ACCESSORY STORAGE, MECHANICAL | 1   | 300 SF |
| 029  | OFFICE       | 169 SF     | BUSINESS                      | 2   | 100 SF |
| 030  | STOR         | 114 SF     | ACCESSORY STORAGE, MECHANICAL | 1   | 300 SF |
| 031  | OFFICE       | 261 SF     | BUSINESS                      | 3   | 100 SF |
| 032  | OFFICE       | 129 SF     | BUSINESS                      | 1   | 100 SF |
| 033  | OFFICE       | 151 SF     | BUSINESS                      | 2   | 100 SF |
| 034  | OFFICE       | 149 SF     | BUSINESS                      | 1   | 100 SF |
| 035  | OFFICE       | 72 SF      | BUSINESS                      | 1   | 100 SF |
| 036  | STOR         | 25 SF      | ACCESSORY STORAGE, MECHANICAL | 1   | 300 SF |
| 037  | JAN          | 15 SF      | BUSINESS                      | 1   | 100 SF |

**TOTAL OCCUPANCY: 245 OCCUPANTS**



**DEMOLITION GENERAL NOTES**

THE DEMOLITION AND REMOVAL WORK SHALL BE PERFORMED AS DESCRIBED IN THE DEMOLITION DOCUMENTS. THE WORK REQUIRED SHALL BE DONE WITH CARE, AND SHALL INCLUDE ALL REQUIRED SHORING, BRACING, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE, WHICH MAY BE CAUSED BY DEMOLITION AND REMOVAL WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE OR TO REMAIN. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND THE SEQUENCE THEREOF FOR REVIEW BY THE ARCHITECT.

**INVESTIGATION**

THE CONTRACTOR SHALL MAKE SUCH INVESTIGATIONS, EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL. THE CONTRACTOR SHALL GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION.

**HAZARDOUS MATERIAL**

THE CONTRACTOR MAY ENCOUNTER HAZARDOUS MATERIAL INCLUDING, BUT NOT LIMITED TO, LEAD-BASED PAINT. ALL HAZARDOUS MATERIALS SHALL BE ADDRESSED IN ACCORDANCE WITH OSHA AND NCDENR REQUIREMENTS. ANY QUESTIONABLE MATERIALS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT. THE OWNER WILL MAKE ARRANGEMENTS TO SAMPLE AND TEST MATERIALS. IF DEEMED HAZARDOUS, THE OWNER WILL FURTHER ARRANGE ABATEMENT OF THE MATERIAL. UNLESS NOTED OTHERWISE, LEAD-BASED PAINTS WILL NOT BE ABATED.

**MATERIAL DISPOSAL/SALVAGE**

ALL DEBRIS RESULTING FROM THE DEMOLITION AND REMOVAL WORK SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE. MATERIAL DESIGNATED BY THE ARCHITECT OR ENGINEER TO BE SALVAGED SHALL BE STORED ON THE CONSTRUCTION SITE AS DIRECTED. A PRE-DEMOLITION WALKTHROUGH WITH THE ARCHITECT AND OWNER SHALL BE CONDUCTED TO IDENTIFY COMPONENTS THAT ARE TO BE SALVAGED. RECYCLING AND/OR DISPOSAL IS TO BE CONDUCTED IN ACCORDANCE WITH LEED REQUIREMENTS.

**EXISTING STRUCTURES**

WHERE PORTIONS OF THE EXISTING STRUCTURE TO REMAIN ARE TO BE IMPACTED, DEMOLISH THE PORTIONS TO BE REMOVED, REPAIR DAMAGE, AND LEAVE THE STRUCTURE IN PROPER CONDITION FOR THE INTENDED USE. REMOVE CONCRETE AND MASONRY TO THE LINES DESIGNATED BY DRILLING, CHIPPING, OR OTHER SUITABLE METHODS UNLESS DIRECTED OTHERWISE BY ARCHITECT. LEAVE THE RESULTING SURFACES REASONABLY TRUE AND EVEN, WITH SHARP STRAIGHT CORNERS THAT WILL RESULT IN NEAT JOINTS WITH NEW CONSTRUCTION AND BE SATISFACTORY FOR THE PURPOSE INTENDED. WHERE ALTERATIONS OCCUR, OR NEW AND OLD WORK ARE TO JOIN, THE CONTRACTOR SHALL CUT, REMOVE, PLUG, REPAIR OR REMOVE THE ADJACENT MATERIALS TO THE EXTENT REQUIRED BY THE CONSTRUCTION CONDITIONS, SO AS TO LEAVE THE ALTERED WORK IN AS GOOD A CONDITION AS PRACTICAL.

**TEMPORARY PROTECTION**

THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN, LIGHTS, BARRIERS, WEATHER PROTECTION, WARNING SIGNS AND OTHER ITEMS AS REQUIRED FOR PROPER PROTECTION OF THE PUBLIC AS WELL AS WORKMEN ENGAGED IN DEMOLITION OPERATIONS. THE CONTRACTOR SHALL ALSO PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS. THE CONTRACTOR SHALL REMOVE TEMPORARY WORK, SUCH AS ENCLOSURES, SIGNS, GUARDS, AND THE LIKE WHEN SUCH TEMPORARY WORK IS NO LONGER REQUIRED OR WHEN DIRECTED AT THE COMPLETION OF THE WORK.

**SITE DISTURBANCE**

THE PROPERTY IS SURROUNDED AND BIASECTED BY BOTH PUBLICLY AND PRIVATELY OWNED RIGHT-OF-WAYS WHICH ARE TO REMAIN OPEN AND CLEAR OF CONSTRUCTION DEBRIS. CONTRACTOR SHALL MINIMIZE, AS MUCH AS POSSIBLE, ANY DISRUPTION TO THE NEIGHBORS' DAILY OPERATIONS DURING THE COURSE OF THIS WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY NECESSARY ACTIVITIES WHICH WILL NECESSITATE BLOCKING AND/OR DISRUPTING TRAFFIC SO THAT WORK CAN BE COORDINATED AT A TIME WHEN IT IS LEAST DISRUPTIVE TO ALL PARTIES.

**EXISTING UTILITIES**

THE CONTRACTOR SHALL INSPECT THE EXISTING UTILITIES, INCLUDING ELECTRICAL, PLUMBING, TELE/DATA AND MECHANICAL SYSTEMS TO DETERMINE THE EXTENT OF THE WORK REQUIRED. CARE SHALL BE TAKEN TO NOT REMOVE UTILITIES THAT ARE FEEDING THE ADJACENT PROPERTIES.

- A. COORDINATE DE-ENERGIZATION AND REMOVAL/DISPOSAL OF ALL INCOMING UTILITIES TO BE REMOVED WITH LOCAL UTILITY COMPANIES. SUBMIT CONFIRMATION THAT SERVICES HAVE BEEN DECOMMISSIONED IN WRITING TO THE ARCHITECT.
- B. WITH THE EXCEPTION OF A PANEL TO DISTRIBUTE POWER DURING THE CONSTRUCTION PERIOD, ALL ELECTRICAL APPARATUS AND ASSOCIATED COMPONENTS THROUGHOUT THE BUILDING ARE TO BE REMOVED AND DISPOSED. ITEMS TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO, SUBPANELS, CONDUIT, TELE/DATA, WIRING, BOXES, RECEPTACLES, FIXTURES, SWITCHES, SUPPORTS, MISCELLANEOUS DEVICES, ETC. LIGHTING LAMP COMPONENTS AND BALLASTS, AS WELL AS ELECTRONIC EQUIPMENT CONTAINING HAZARDOUS MATERIALS SUCH AS MERCURY, LEAD AND PCBs (POLYCHLORINATED BI-PHENYLS) SHALL BE PROPERLY HANDLED, PROTECTED, STORED AND DISPOSED OF IN ACCORDANCE WITH ALL ENVIRONMENTAL, SAFETY, AND GOVERNMENTAL REGULATIONS RELATED TO THESE ITEMS.
- C. IN THE EVENT THAT IT IS PRESENT, REMOVE EXISTING GAS PIPING, REGULATORS, ETC. THROUGHOUT THE BUILDING. COORDINATE WORK WITH LOCAL GAS UTILITY COMPANY. GAS PIPING TO BE ABANDONED IN PLACE SHALL BE PURGED THEN CAPPED AND SEALED WITH SAME MATERIALS AS EXISTING PIPING.
- D. REMOVE EXISTING ABANDONED DOMESTIC WATER PIPING, VALVES, ETC. THROUGHOUT THE BUILDING. CAP INCOMING SERVICE WHERE APPLICABLE (OTHERWISE, SERVICES TO BE REMOVED IN ACCORDANCE WITH CIVIL DRAWINGS) AND PREP FOR NEW WORK. COORDINATE WORK WITH LOCAL AUTHORITIES AS REQUIRED.
- E. REMOVE ALL EXISTING ABANDONED SANITARY SEWER PIPING THROUGHOUT THE BUILDING. COORDINATE WORK WITH LOCAL AUTHORITIES. SANITARY SEWER PIPING ABANDONED IN PLACE SHALL BE CAPPED OR PLUGGED WITH SAME MATERIAL AS EXISTING PIPING.
- F. ANY FEES AND/OR PERMITS REQUIRED BY LOCAL UTILITIES AND LOCAL JURISDICTION ASSOCIATED WITH REMOVAL OF EXISTING EQUIPMENT, PIPING, METERS, ETC. BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

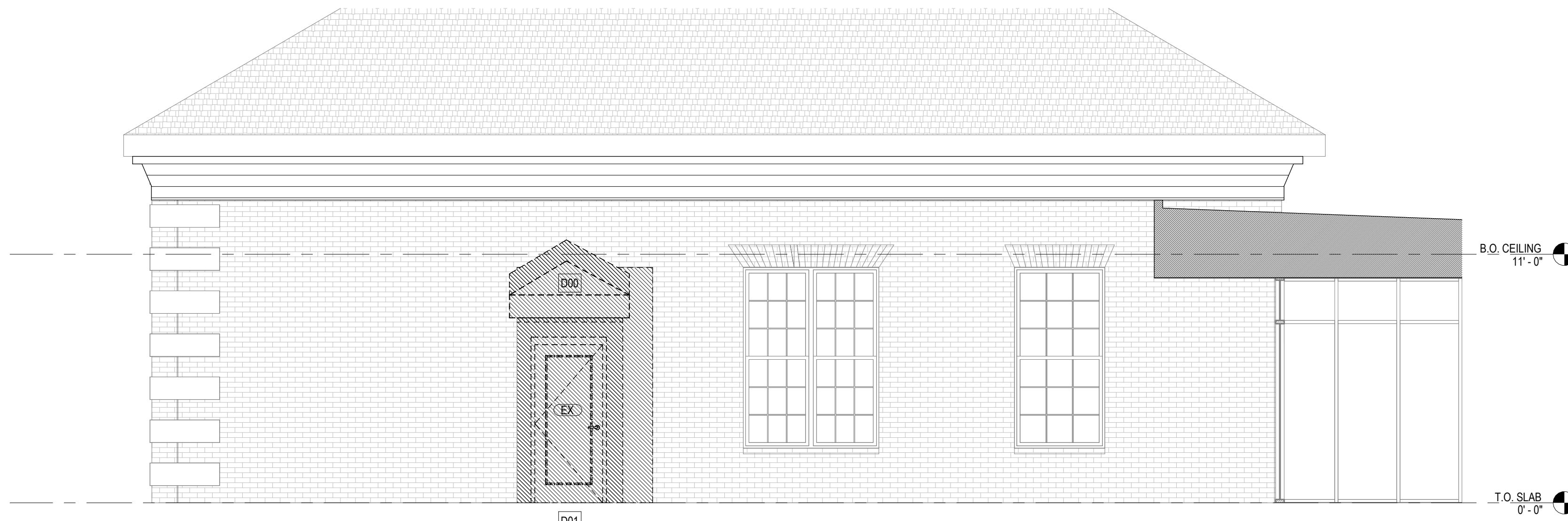
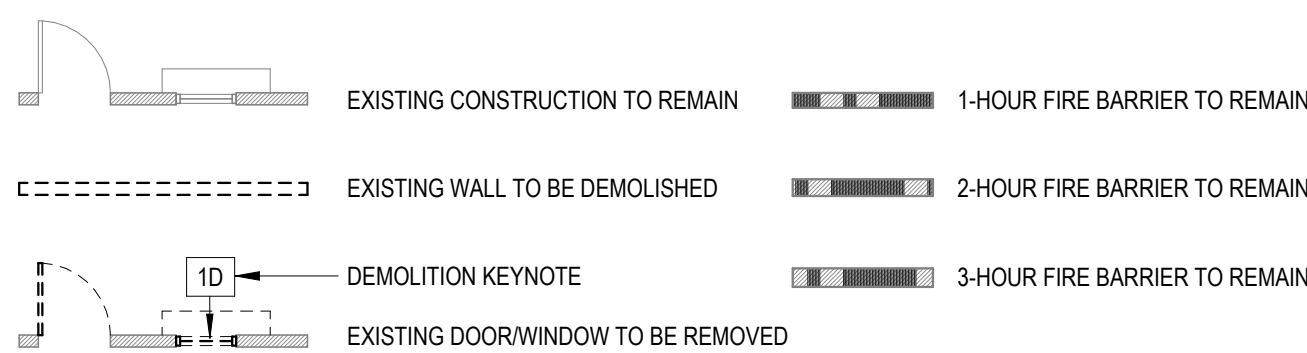
**PRESERVATION OF EXISTING CONSTRUCTION**

- 1. AVOID DAMAGE TO EXISTING BUILDING ELEMENTS DURING DEMOLITION AND RENOVATION.
- 2. PROVIDE WATER AND WEATHER-PROOFING AS REQ'D DURING DEMOLITION AND CONSTRUCTION TO PROTECT EXISTING STRUCTURE.
- 3. PATCH, REPAIR, OR REPLACE ANY ITEMS DAMAGED BY DEMOLITION. ANY MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE REPLACED WITH APPROPRIATE MATCHING MATERIALS AND FINISHES.

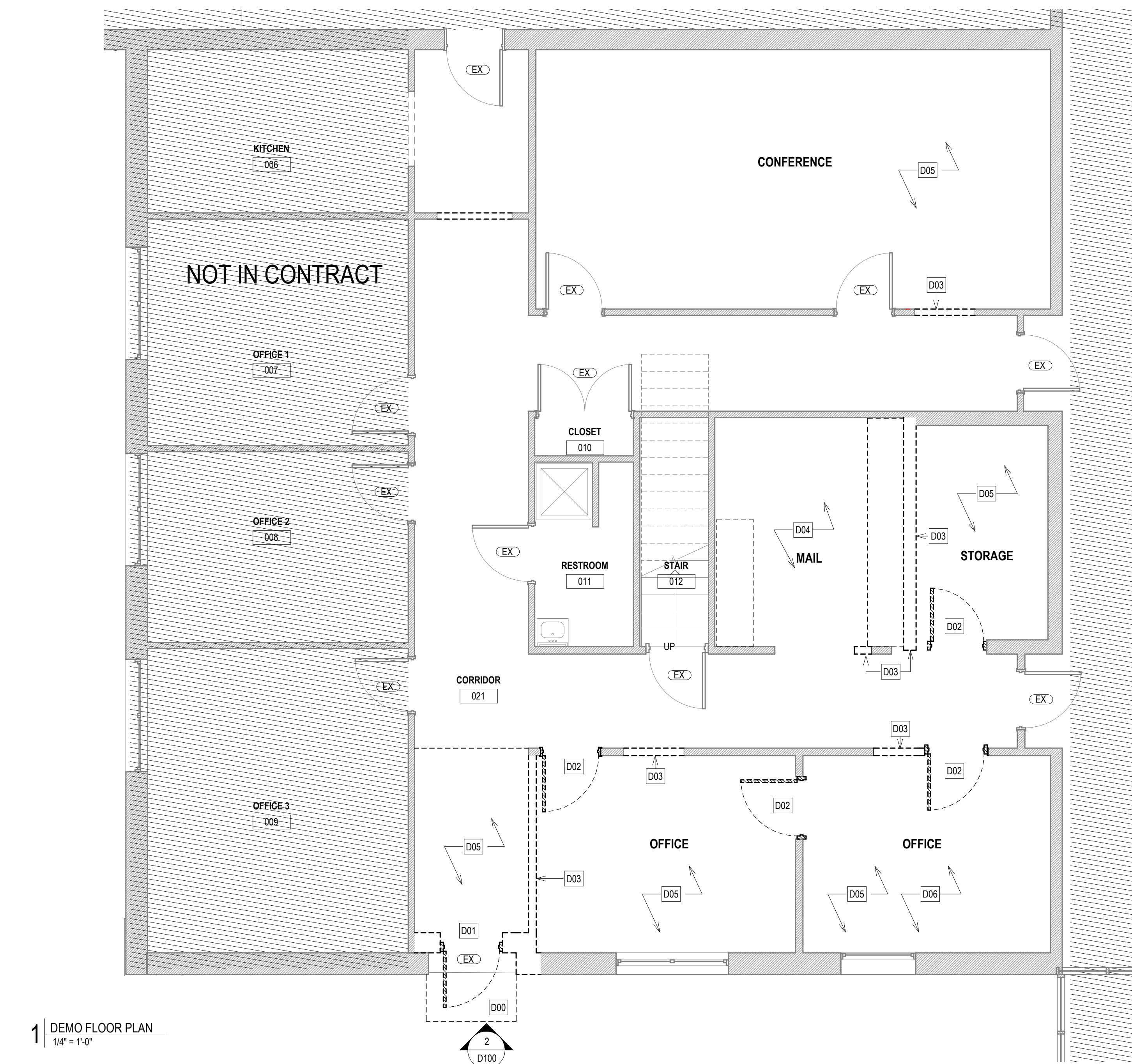
**OTHER**

- 1. ALL NOTES "TO BE REMOVED" OR "TO BE DEMOLISHED" SHALL MEAN ENTIRELY REMOVED OR DEMOLISHED.
- 2. PATCH OR REPAIR ELEMENTS AS REQUIRED TO MATCH EXISTING ADJACENT MATERIALS, FINISH, AND ASSEMBLY.
- 3. REPOINT ALL EXISTING BRICK TO REMAIN AS REQUIRED.
- 4. REPLACE DAMAGED AREAS OF BRICK ELEMENTS TO REMAIN AS REQUIRED.

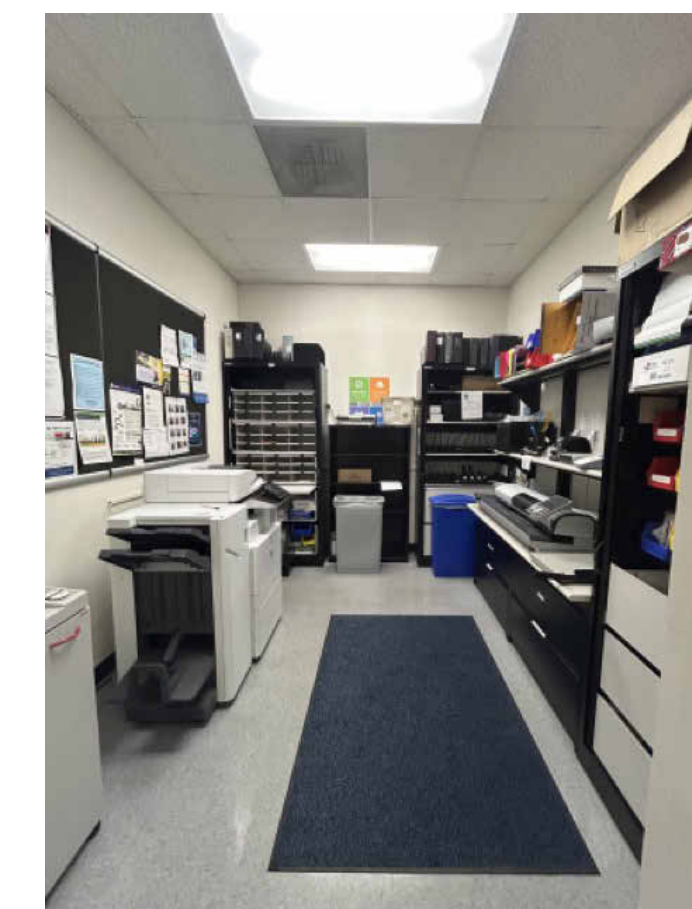
**DEMOLITION PLAN LEGEND**



**2 DEMO ELEVATION**  
1/4" = 1'-0"

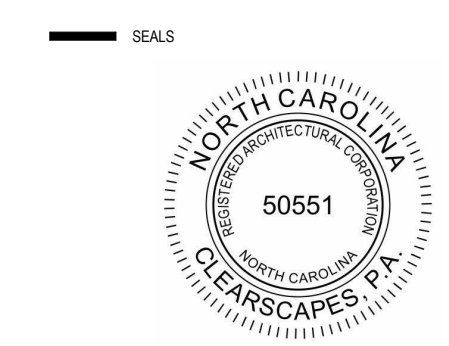


**1 DEMO FLOOR PLAN**  
1/4" = 1'-0"



**D04: EXISTING MAIL ROOM CONDITIONS**

| KEYNOTES - DEMO PLAN |   |
|----------------------|---|
| NO.                  | DESCRIPTION   |
| D00                  | DEMO FRAMED CANOPY ABOVE EXISTING DOOR TO WALL FACE. CLEAN SURFACE AND PREP FOR ADJUSTMENT TO OPENING.  |
| D01                  | DEMO PORTIONS OF EXISTING BRICK WALL. NEW WINDOW OPENING TO MATCH ADJACENT. SALVAGE AND CLEAN REMOVE BRICK FOR RE-INSTALLATION IN THE RE-CONFIGURED OPENING. INSTALL NEW STEEL LINTEL PER STRUCTURAL DWGS. REFER TO ARCHITECTURAL DWGS AND ELEVATIONS FOR DIMENSIONS OF MODIFIED OPENING. |
| D02                  | DEMO EXISTING INTERIOR DOOR FOR REUSE. CLEAN, PATCH AND PREP FOR INFILL WALL TO MATCH ADJACENT.   |
| D03                  | DEMO EXISTING INTERIOR WALL. CLEAN, PATCH AND REPAIR AS NECESSARY. SEE FLOORPLANS FOR DIMENSIONS. EXISTING WALL FINISHES TO REMAIN WHERE DEMO NOT REQUIRED. U.N.O. PATCH AND REPAIR   |
| D04                  | REMOVE EXISTING CASEWORK. PROTECT FOR REUSE. PATCH AND REPAIR WALL AS NECESSARY. REMOVE EXISTING FLOOR FINISH AND PREP FOR NEW CARPET TILE.   |
| D05                  | REMOVE EXISTING FLOOR FINISH. PREP FOR NEW CARPET TILE.   |
| D06                  | SEE RCP FOR SELECTIVE REMOVAL OF ACOUSTIC CEILING TILE. PREP FOR INSTALLATION OF NEW TO MATCH.  |



**BID DRAWINGS**  
11.13.2024

**MORRISVILLE TOWN HALL REARRANGEMENTS**

100 Town Hall Dr. Morrisville, NC 27560

| REVISIONS |             |      |
|-----------|-------------|------|
| No.       | Description | Date |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |

PROJECT DATA  
DATE: 11.13.2024  
DRAWN: Author  
CHECKED: Checker  
PROJECT NO: 2024\_0095  
PRINTING: BID DRAWINGS

**DEMOLITION PLAN - TOWN HALL OFFICES**

SHEET NO.  
**D100**

**FLOOR PLAN / REFLECTED CEILING PLAN GENERAL NOTES**

1-1. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.

1-2. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNERS VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIOVISUAL AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS AND THE OWNER'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.

1-3. EXISTING CONDITIONS FOR THE BUILDING AND/OR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING AND VERIFYING THE EXISTENCE AND LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, AND OTHER STRUCTURAL OR BUILDING DATUMS.

2-1. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.

2-2. WALLS SHOWN TO ALIGN ARE TO HAVE FINISHED FACES ALIGN UNLESS NOTED OTHERWISE.

2-3. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.

2-4. LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE DESCRIBED ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.

2-5. ANY DIMENSIONS OF OR TYING INTO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK. VERIFY WITH ARCHITECT.

3-1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.

3-2. THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION. ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR.

3-3. THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL- AND CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETRY AND OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD OR 20ga METAL WITH A FLAME SPREAD AND SMOKE DEVELOPMENT RATING <25 IF THE PROJECT IS IDENTIFIED AS A TYPE 1 OR TYPE 2 BUILDING IN THE CODE SUMMARY.

3-4. CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR AND REVIEWED AND COORDINATED WITH ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT REQUIRED).

3-5. IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.

3-6. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.

3-7. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL ACT CEILING GRIDS SHALL BE CENTERED WITHIN EACH ROOM OR SPACE WITH NO CUT PERIMETER TILES TO BE <6".

3-8. ALL ELECTRICAL, CATV, AND TELEDATA OUTLETS TO BE LOCATED 16" O.C. ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL FIXTURES AT KITCHEN COUNTERS AND BATHROOM VANITIES TO BE LOCATED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL SWITCHES, THERMOSTATS, AND OTHER CONTROL DEVICES TO BE CENTERED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

3-9. UNLESS DIMENSIONED OR OTHERWISE NOTED, SET THE NEAREST EDGE OF SWITCHPLATES 24" FROM THE CENTER OF DOOR OPENINGS. AT ALL LOCATIONS WHERE MULTIPLE SWITCHES ARE SHOWN, THEY SHOULD BE GANGED UNLESS SPECIFICALLY NOTED OTHERWISE. IN ANY LOCATIONS WITH MULTIPLE DEVICES (ELECTRICAL OUTLETS, ELECTRICAL SWITCHES, HORNSTROBES, EMERGENCY LIGHTS, ETC), ALL DEVICES ARE TO BE CENTERED ON A VERTICAL AXIS UNLESS SPECIFICALLY NOTED OTHERWISE.

3-10. ACOUSTICAL INSULATION NOT SHOWN FOR CLARITY. REFER TO PARTITION TYPES FOR LOCATION OF ACOUSTICAL INSULATION.

3-11. ALL HINGE SIDE DOOR JAMBS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.

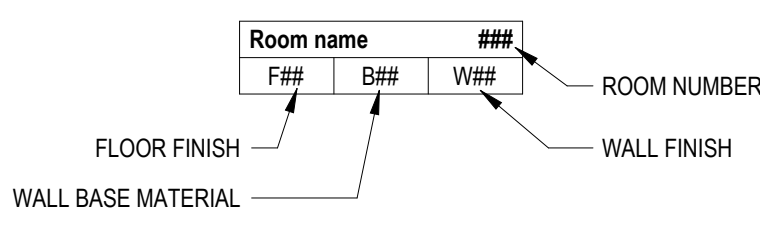
4-1. SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS

4-2. SEE G001 FOR INTERIOR PARTITION TYPES.

**FINISH PLAN NOTES**

- SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS.
- FRAMES AND DOORS TO RECEIVE SEMI-GLOSS FINISH U.N.O.
- IF NOT DIMENSIONED, ALIGN FLOOR MATERIALS AT ARCHITECTURAL ELEMENTS WHERE SHOWN ON FINISH PLAN. I.E. AT EDGE OF WALL.
- ALL PAINT FINISHES TO BE EGGSHELL U.N.O.
- PAINTED GUARDRAILS AND HANDRAILS TO BE SEMI-GLOSS FINISH.
- SEE DOOR SCHEDULE FOR FRAME AND DOOR COLORS.

**FINISH PLAN LEGEND**

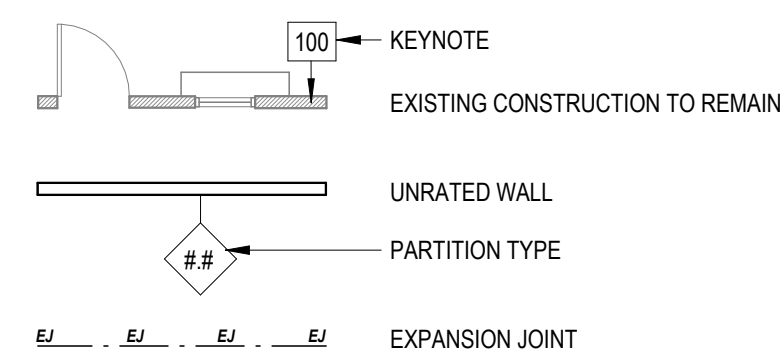


NOTE: SEE REFLECTED CEILING PLAN FOR CEILING FINISHES

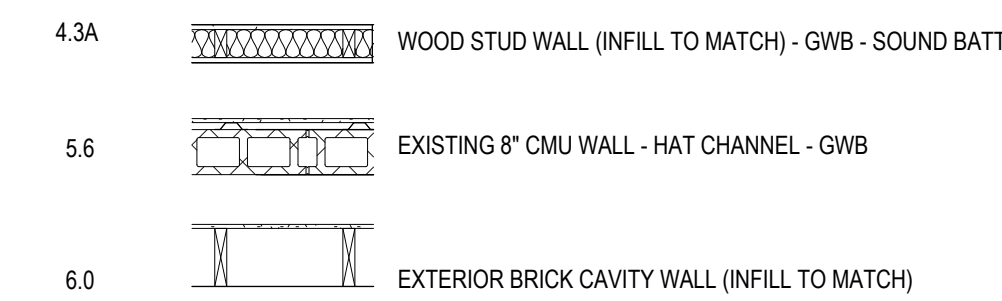
**FINISH PLAN NOTES/LEGEND**

1/8" = 1'-0"

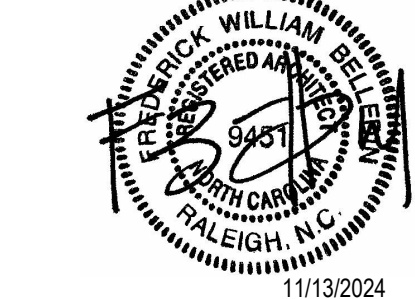
**PARTITION LEGEND**



**WALL TYPES**



| FINISH SCHEDULE |   |
|-----------------|---|
| KEY             | FLOOR MATERIAL  |
| B01             | PTD. WOOD BASE TRIM TO MATCH EXISTING                       |
| F01             | MOHAWK REWILDED REFUGE HIDDEN LANDSCAPE 81606 989 RAIL PARK |
| W01             | PAINT TO MATCH EXISTING                                     |



BID DRAWINGS  
11.13.2024

PROJECT  
**MORRISVILLE TOWN HALL REARRANGEMENTS**  
100 Town Hall Dr. Morrisville, NC 27560

| REVISIONS |             |      |
|-----------|-------------|------|
| No.       | Description | Date |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |

PROJECT DATA  
DATE: 11-13-2024  
DRAWN: Author  
CHECKED: Checker  
PROJECT NO: 2024\_0095  
PRINTING: BID DRAWINGS

SHEET DATA  
**TOWN HALL RENOVATION - FLOOR PLAN**

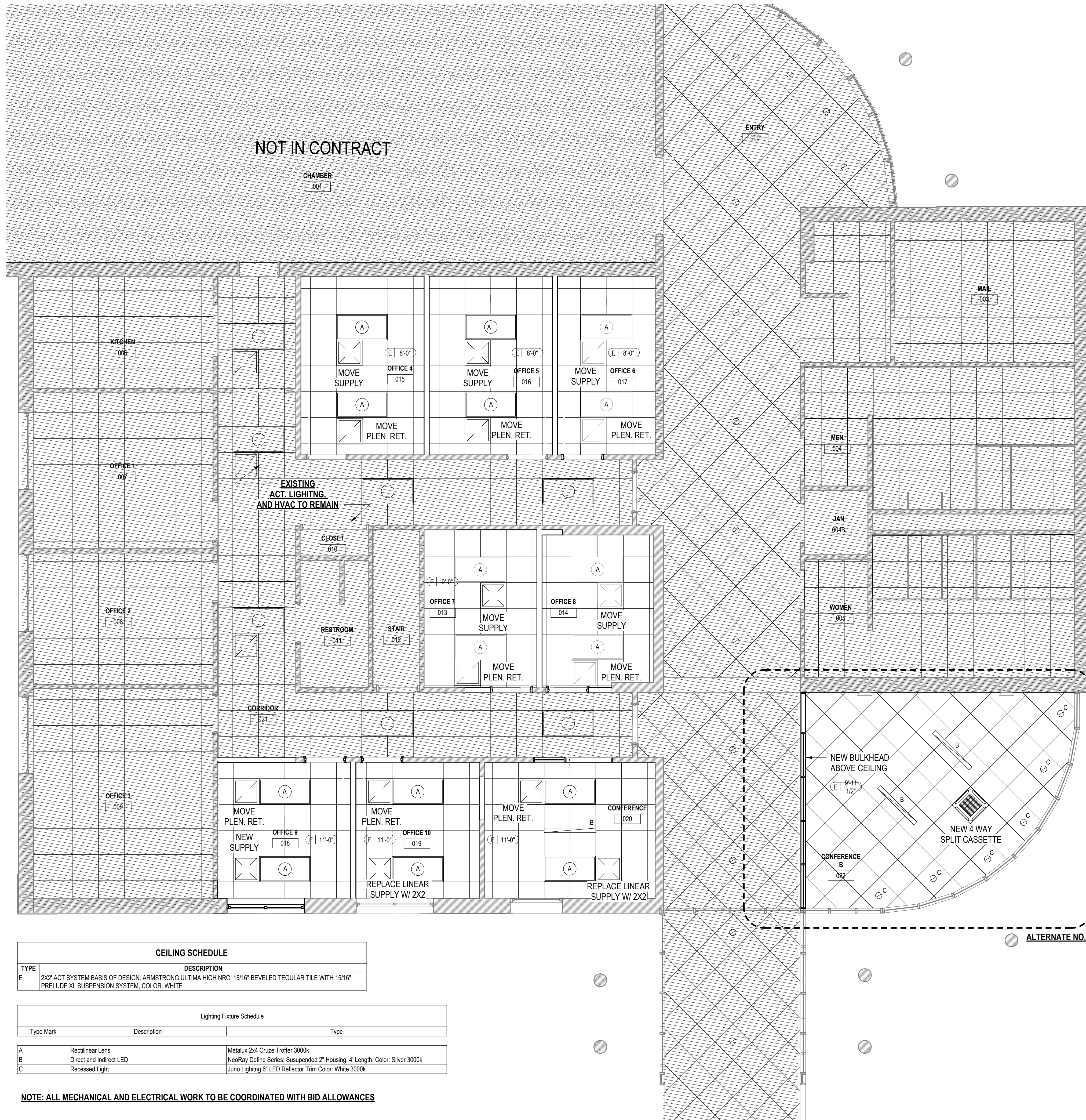
SHEET NO.  
**A100**

**FLOOR PLAN / REFLECTED CEILING PLAN GENERAL NOTES**

- 1-1. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- 1-2. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNERS' VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIOVISUAL, AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS AND THE OWNER'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- 1-3. EXISTING CONDITIONS FOR THE BUILDING AND/OR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING AND VERIFYING THE EXISTENCE AND LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, AND OTHER STRUCTURAL OR BUILDING DATUMS.
- 2-1. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
- 2-2. WALLS SHOWN TO ALIGN ARE TO HAVE FINISHED FACES ALIGN UNLESS NOTED OTHERWISE.
- 2-3. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.
- 2-4. LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE DESCRIBED ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.
- 2-5. ANY DIMENSIONS OF OR TYING INTO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK. VERIFY WITH ARCHITECT.
- 3-1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.
- 3-2. THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION. ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR.
- 3-3. THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL- AND CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETS, AND OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD OR 20ga METAL WITH A FLAME SPREAD AND SMOKE DEVELOPMENT RATING <25 IF THE PROJECT IS IDENTIFIED AS A TYPE 1 OR TYPE 2 BUILDING IN THE CODE SUMMARY.
- 3-4. CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR AND REVIEWED AND COORDINATED WITH ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT REQUIRED).
- 3-5. IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.
- 3-6. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.
- 3-7. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL ACT CEILING GRIDS SHALL BE CENTERED WITHIN EACH ROOM OR SPACE WITH NO CUT PERIMETER TILES TO BE <6".
- 3-8. ALL ELECTRICAL, CATV, AND TELEDATA OUTLETS TO BE LOCATED 16" O.C. ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL FIXTURES AT KITCHEN COUNTERS AND BATHROOM VANITIES TO BE LOCATED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL SWITCHES, THERMOSTATS, AND OTHER CONTROL DEVICES TO BE CENTERED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- 3-9. UNLESS DIMENSIONED OR OTHERWISE NOTED, SET THE NEAREST EDGE OF SWITCHPLATES 24" FROM THE CENTER OF DOOR OPENINGS. AT ALL LOCATIONS WHERE MULTIPLE SWITCHES ARE SHOWN, THEY SHOULD BE GANGED UNLESS SPECIFICALLY NOTED OTHERWISE. IN ANY LOCATIONS WITH MULTIPLE DEVICES (ELECTRICAL OUTLETS, ELECTRICAL SWITCHES, HORNSTROBES, EMERGENCY LIGHTS, ETC), ALL DEVICES ARE TO BE CENTERED ON A VERTICAL AXIS UNLESS SPECIFICALLY NOTED OTHERWISE.
- 3-10. ACOUSTICAL INSULATION NOT SHOWN FOR CLARITY. REFER TO PARTITION TYPES FOR LOCATION OF ACOUSTICAL INSULATION.
- 3-11. ALL HINGE SIDE DOOR JAMBS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- 4-1. SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS
- 4-2. SEE G001 FOR INTERIOR PARTITION TYPES.

**REFLECTED CEILING PLAN LEGEND**

- |  |   |  |   |
|--|---|--|---|
|  | CEILING TYPE & HEIGHT AFF                           |  | RECESSED 4" LED DOWNLIGHT - SEE ELECTRICAL DRAWINGS           |
|  | 2X2 ACOUSTICAL CEILING TILES                        |  | NEORAY DEFINE SERIES: SUSPENDED 2" HOUSING, 4FT, SILVER       |
|  | GWB CEILING   |  | DECORATIVE WALL MOUNT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS |
|  | OPEN TO STRUCTURE ABOVE                             |  | EMERGENCY WALL LIGHT  |
|  | HVAC DIFFUSERS - SEE MECHANICAL DRAWINGS            |  | FIRE ALARM FIXTURE - SEE ELECTRICAL DRAWINGS                  |
|  | LAY-IN LED LIGHT FIXTURES - SEE ELECTRICAL DRAWINGS |  | SMOKE DETECTOR - SEE ELECTRICAL DRAWINGS                      |
|  |   |  | EXIT LIGHT - SEE ELECTRICAL DRAWINGS                          |
|  |   |  | ACCESS DOOR   |



| CEILING SCHEDULE |   |
|------------------|---|
| TYPE             | DESCRIPTION   |
| E                | 2X2 ACT SYSTEM BASIS OF DESIGN: ARMSTRONG ULTIMA HIGH NRC, 15/16" BEVELED TEGULAR TILE WITH 15/16" PRELUDE XL SUSPENSION SYSTEM, COLOR: WHITE |

| Lighting Fixture Schedule |                         |  |
|---------------------------|-------------------------|--|
| Type Mark                 | Description             | Type   |
| A                         | Rectilinear Lens        | Metalux 2x4 Cruze Troffer 3000k  |
| B                         | Direct and Indirect LED | NeoRay Define Series: Suspended 2" Housing, 4" Length, Color: Silver 3000k |
| C                         | Recessed Light          | Juno Lighting 6" LED Reflector Trim Color: White 3000k                     |

**NOTE: ALL MECHANICAL AND ELECTRICAL WORK TO BE COORDINATED WITH BID ALLOWANCES**



BID DRAWINGS  
11.13.2024

PROJECT  
**MORRISVILLE TOWN HALL REARRANGEMENTS**

100 Town Hall Dr. Morrisville, NC 27560

| REVISIONS |             |      |
|-----------|-------------|------|
| No.       | Description | Date |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |

PROJECT DATA  
DATE: 11/13/2024  
DRAWN: LW  
CHECKED: FB  
PROJECT NO: 2024\_0095  
PRINTING: BID DRAWINGS

SHEET DATA  
**TOWN HALL RENOVATION - RCP**

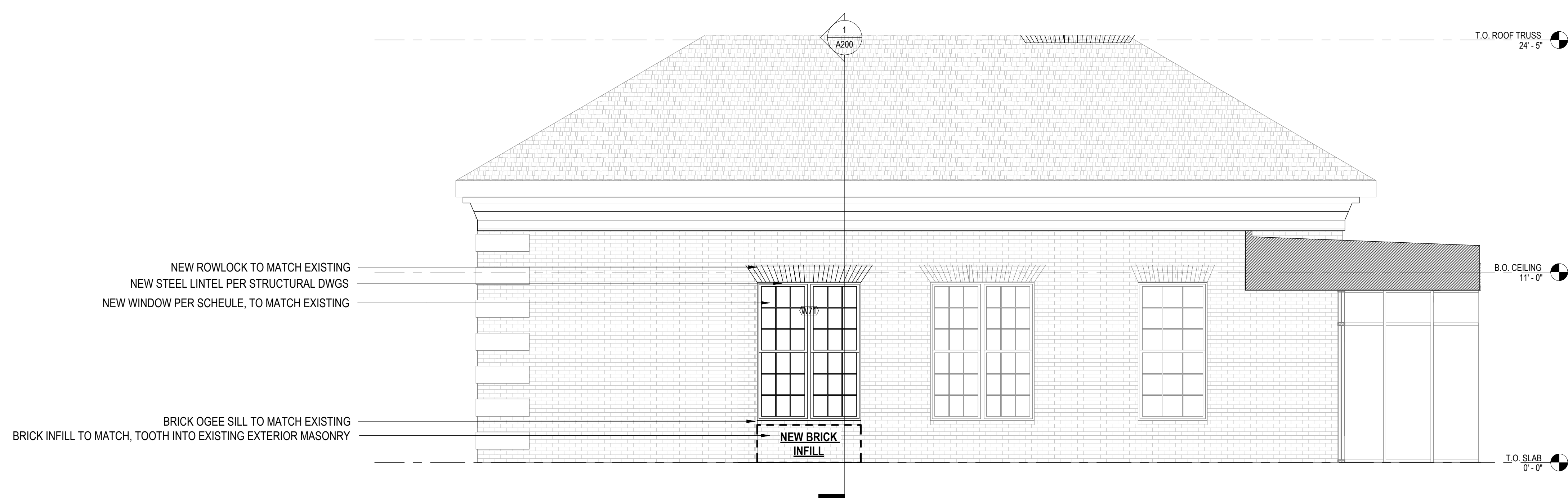
SHEET NO.  
**A101**

**FLOOR PLAN / REFLECTED CEILING PLAN GENERAL NOTES**

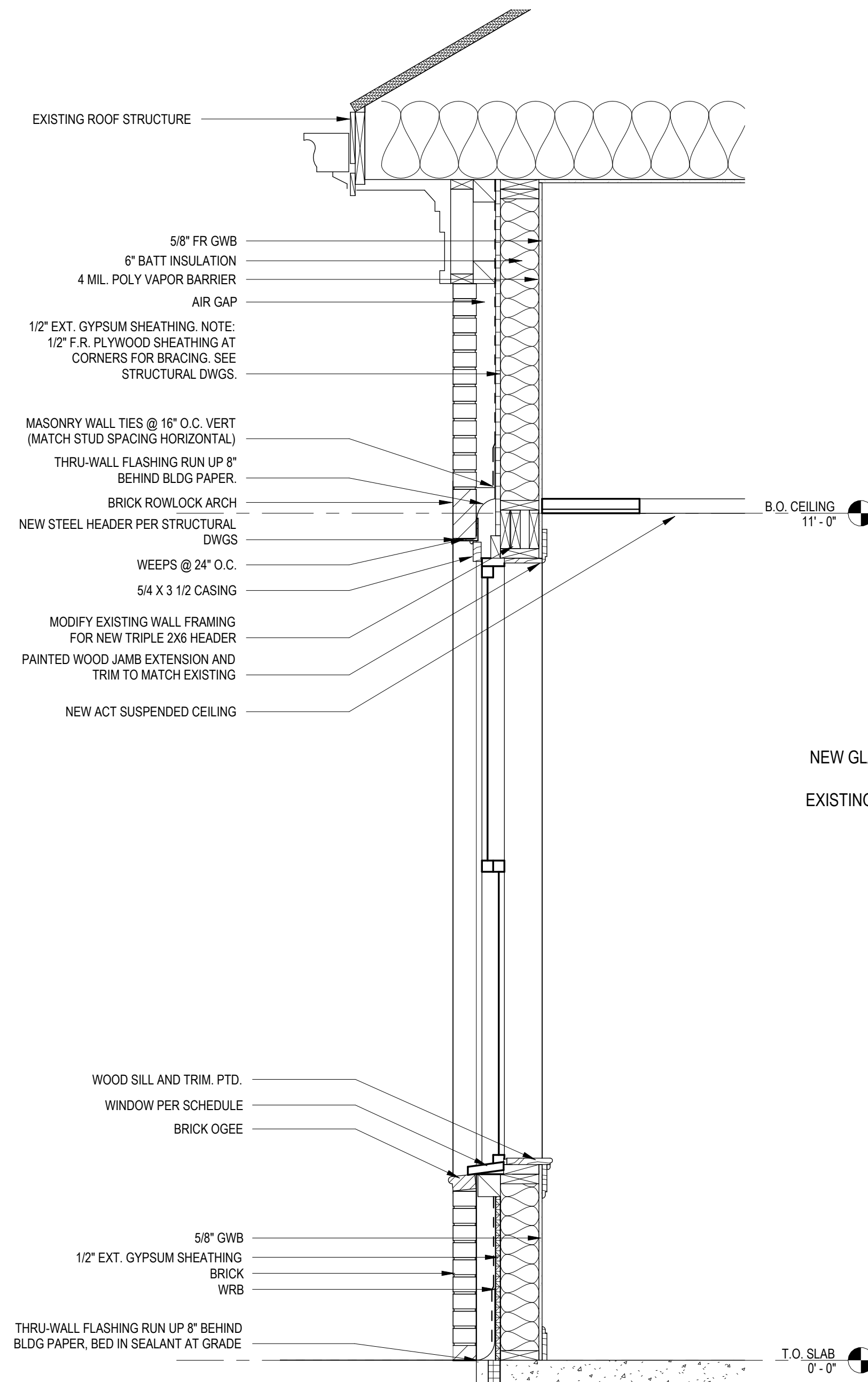
- 1-1. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- 1-2. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNERS' VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIOVISUAL, AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS AND THE OWNER'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- 1-3. EXISTING CONDITIONS FOR THE BUILDING AND/OR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING AND VERIFYING THE EXISTENCE AND LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, AND OTHER STRUCTURAL OR BUILDING DATUMS.
- 2-1. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
- 2-2. WALLS SHOWN TO ALIGN ARE TO HAVE FINISHED FACES ALIGN UNLESS NOTED OTHERWISE.
- 2-3. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.
- 2-4. LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE DESCRIBED ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.
- 2-5. ANY DIMENSIONS OR TYING INTO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK. VERIFY WITH ARCHITECT.
- 3-1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.
- 3-2. THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION. ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR.
- 3-3. THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL- AND CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETS AND OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD OR 20ga METAL WITH A FLAME SPREAD AND SMOKE DEVELOPMENT RATING <25 IF THE PROJECT IS IDENTIFIED AS A TYPE 1 OR TYPE 2 BUILDING IN THE CODE SUMMARY.
- 3-4. CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR AND REVIEWED AND COORDINATED WITH ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT REQUIRED).
- 3-5. IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.
- 3-6. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.
- 3-7. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL ACT CEILING GRIDS SHALL BE CENTERED WITHIN EACH ROOM OR SPACE WITH NO CUT PERIMETER TILES TO BE <6".
- 3-8. ALL ELECTRICAL, CATV, AND TELEDATA OUTLETS TO BE LOCATED 16" O.C. ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL FIXTURES AT KITCHEN COUNTERTOPS AND BATHROOM VANITIES TO BE LOCATED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL SWITCHES, THERMOSTATS, AND OTHER CONTROL DEVICES TO BE CENTERED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- 3-9. UNLESS DIMENSIONED OR OTHERWISE NOTED, SET THE NEAREST EDGE OF SWITCHPLATES 24" FROM THE CENTER OF DOOR OPENINGS. AT ALL LOCATIONS WHERE MULTIPLE SWITCHES ARE SHOWN, THEY SHOULD BE GANGED UNLESS SPECIFICALLY NOTED OTHERWISE. IN ANY LOCATIONS WITH MULTIPLE DEVICES (ELECTRICAL OUTLETS, ELECTRICAL SWITCHES, HORNSTROBES, EMERGENCY LIGHTS, ETC), ALL DEVICES ARE TO BE CENTERED ON A VERTICAL AXIS UNLESS SPECIFICALLY NOTED OTHERWISE.
- 3-10. ACOUSTICAL INSULATION NOT SHOWN FOR CLARITY. REFER TO PARTITION TYPES FOR LOCATION OF ACOUSTICAL INSULATION.
- 3-11. ALL HINGE SIDE DOOR JAMBS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.
- 4-1. SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS
- 4-2. SEE G001 FOR INTERIOR PARTITION TYPES.

**REFLECTED CEILING PLAN LEGEND**

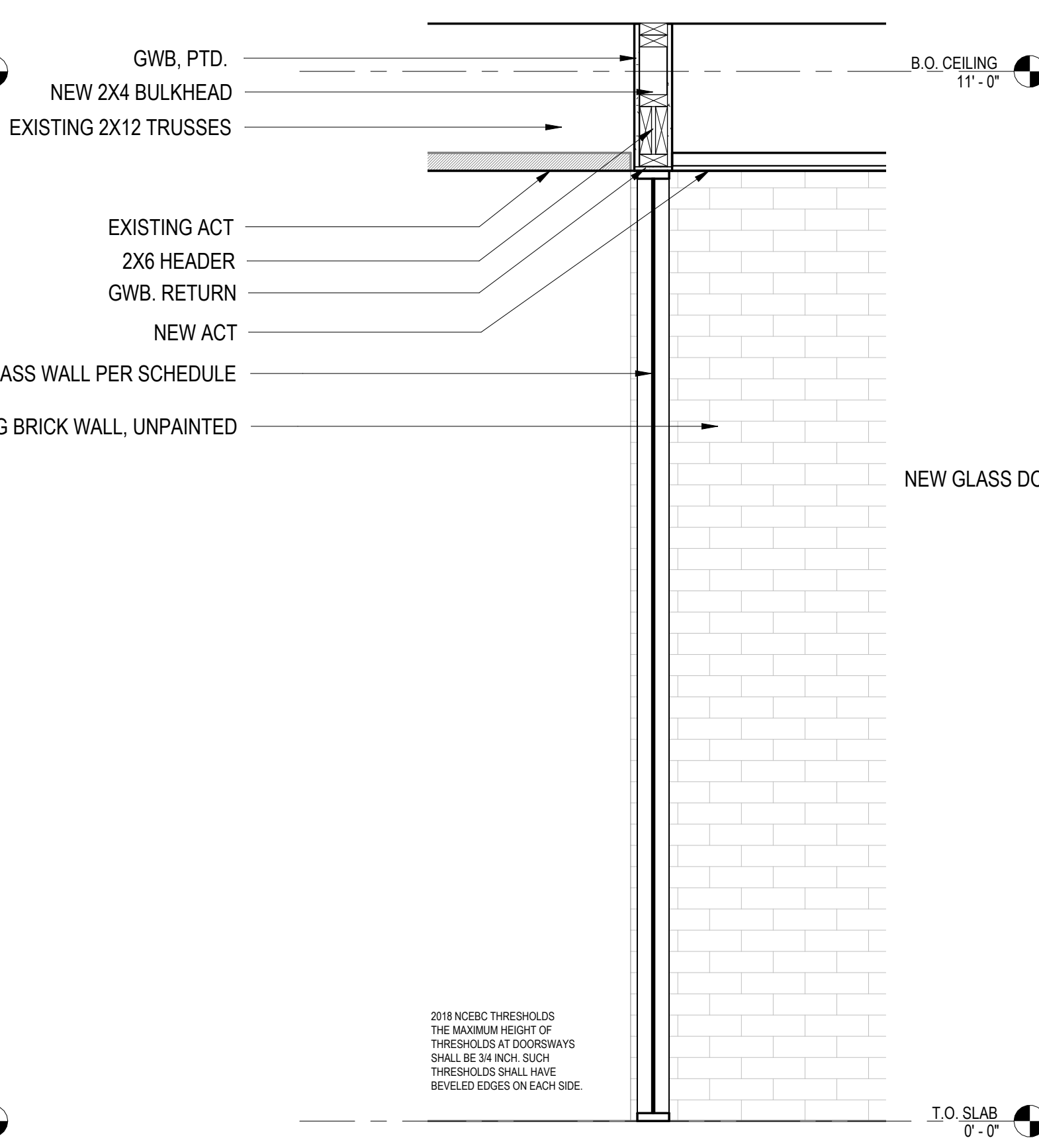
- |  |   |  |   |
|--|---|--|---|
|  | CEILING TYPE & HEIGHT AFF                           |  | RECESSED 4" LED DOWNLIGHT - SEE ELECTRICAL DRAWINGS           |
|  | 2X2 ACOUSTICAL CEILING TILES                        |  | DECORATIVE WALL MOUNT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS |
|  | GWB CEILING   |  | EMERGENCY WALL LIGHT  |
|  | OPEN TO STRUCTURE ABOVE                             |  | FIRE ALARM FIXTURE - SEE ELECTRICAL DRAWINGS                  |
|  | HVAC DIFFUSERS - SEE MECHANICAL DRAWINGS            |  | SMOKE DETECTOR - SEE ELECTRICAL DRAWINGS                      |
|  | LAY-IN LED LIGHT FIXTURES - SEE ELECTRICAL DRAWINGS |  | EXIT LIGHT - SEE ELECTRICAL DRAWINGS                          |
|  |   |  | ACCESS DOOR   |



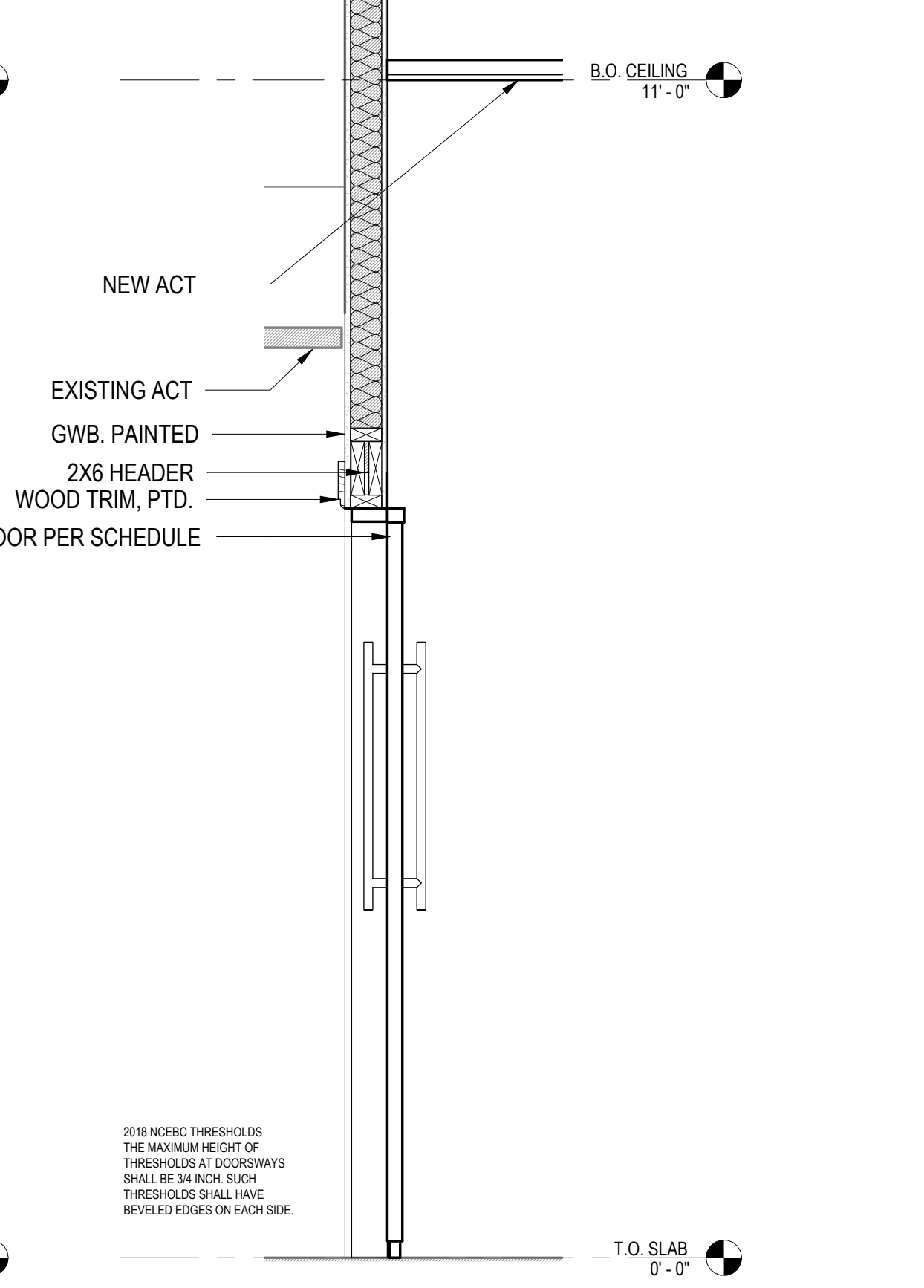
**2 ELEVATION - TOWN OFFICES**  
1/4" = 1'-0"



**1 WALL SECTION - NEW WINDOW**  
3/4" = 1'-0"



**3 WALL SECTION - ALTERNATE NO. G-1 GLASS WALL**  
3/4" = 1'-0"



**4 WALL SECTION - SLIDING DOOR**  
3/4" = 1'-0"



**BID DRAWINGS**  
11.13.2024

**PROJECT**  
**MORRISVILLE TOWN HALL REARRANGEMENTS**

100 Town Hall Dr. Morrisville, NC 27560

| REVISIONS |             |      |
|-----------|-------------|------|
| No.       | Description | Date |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |

**PROJECT DATA**  
DATE: 11.13.2024  
DRAWN: Author  
CHECKED: Checker  
PROJECT NO: 2024\_0095  
PRINTING: BID DRAWINGS

**SHEET DATA**  
**TOWN HALL RENOVATION - ELEVAT./SECTIONS**

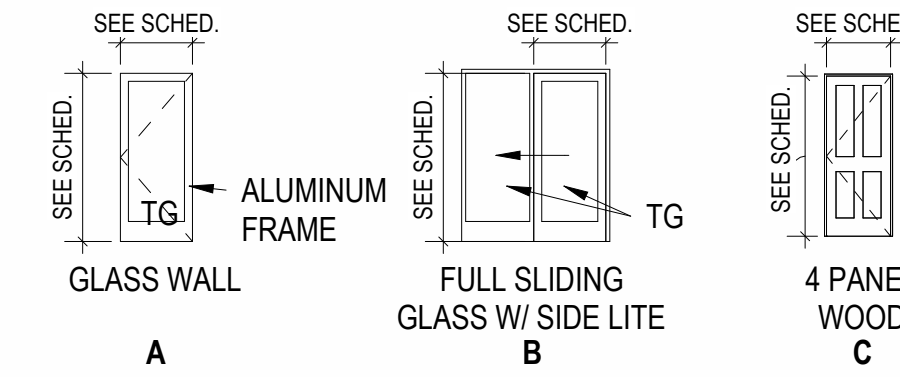
SHEET NO.

**A200**



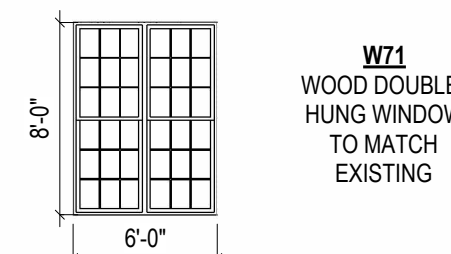
| DOOR NUMBER | REUSE       | TO ROOM: NAME | DOOR |           |        | FRAME        |       | FINISH DESCRIPTION | HARDWARE SET |
|-------------|-------------|---------------|------|-----------|--------|--------------|-------|--------------------|--------------|
|             |             |               | TYPE | WIDTH     | HEIGHT | MATERIAL     | TYPE  |                    |              |
| 013         | REUSE EXIST | OFFICE 7      | C    | 3'-0"     | 7'-0"  | WOOD         | WOOD  | PAINTED            | PRIVACY      |
| 014         | REUSE EXIST | CORRIDOR      | C    | 3'-0"     | 7'-0"  | WOOD         | WOOD  | PAINTED            | PRIVACY      |
| 017         | NEW DOOR    | OFFICE 6      | C    | 3'-0"     | 7'-0"  | WOOD         | WOOD  | PAINTED            | PRIVACY      |
| 018         | NEW DOOR    | OFFICE 9      | C    | 3'-0"     | 7'-0"  | WOOD         | WOOD  | PAINTED            | PRIVACY      |
| 019         | REUSE EXIST | OFFICE 10     | C    | 3'-0"     | 7'-0"  | WOOD         | WOOD  | PAINTED            | PRIVACY      |
| 020         | NEW DOOR    | CONFERENCE    | B    | 3'-6 1/4" | 7'-0"  | ALUM & GLASS | METAL | ANODIZED CLEAR     | PRIVACY      |
| 022         | NEW DOOR    | CONFERENCE B  | A    | 3'-0"     | 8'-0"  | ALUM & GLASS | METAL | BLACK              | PRIVACY      |

ALTERNATE NO G-1

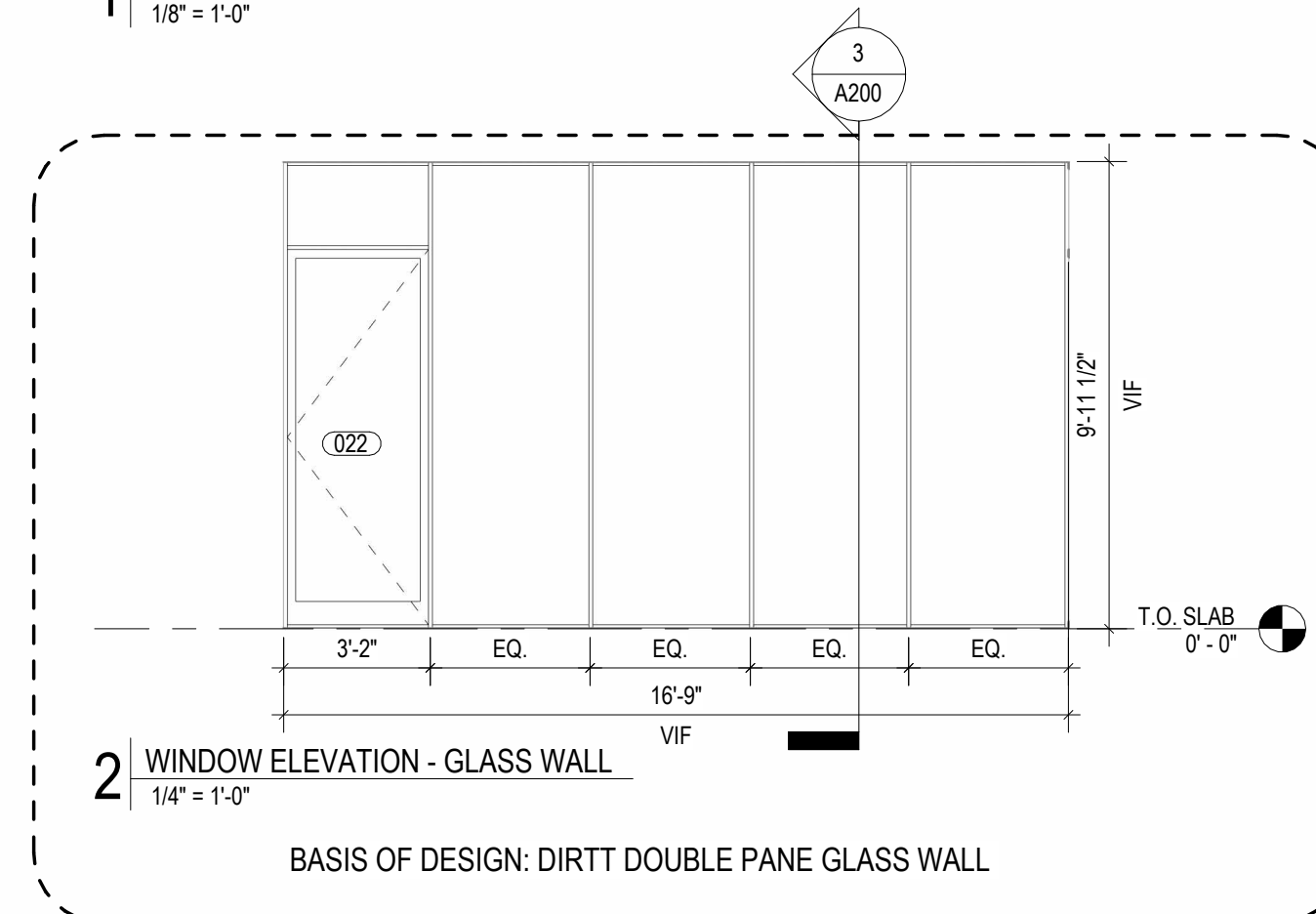


**DOOR NOTES**

- SEE 0201 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS.
- ALL DOOR FRAMES ARE 2" U.N.O. IN DOOR TYPE DRAWINGS.
- PROVIDE POWER AND DATA AS REQUIRED AT REMOTE LOCKABLE ELECTRIC LOCK SETS.
- HARDWARE SUPPLIER TO COORDINATE KEYING W/ OWNER AND ARCHITECT.
- PROVIDE POWER AND DATA AS REQUIRED FOR KEYCARD OR KEYPAD ACCESS.
- PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOOR LOCATIONS.

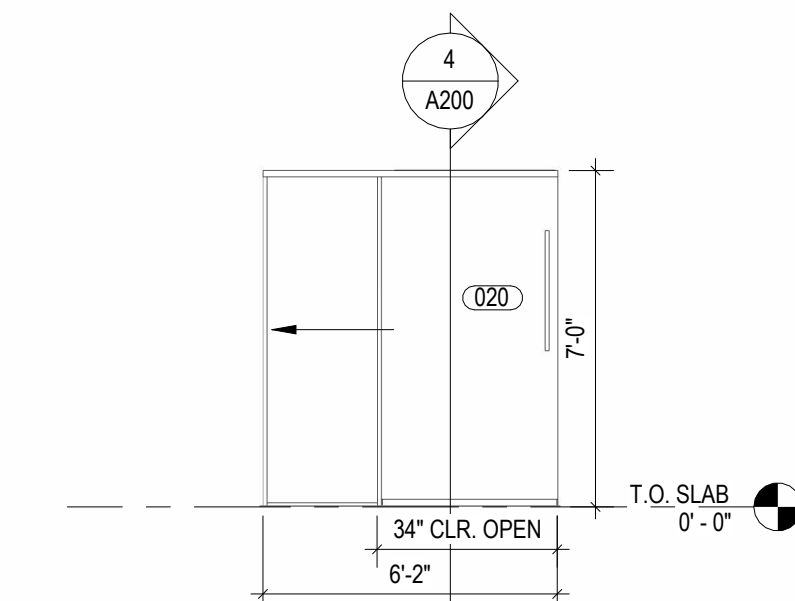


**1 WINDOW SCHEDULE - ELEVATION**  
1/8" = 1'-0"



**2 WINDOW ELEVATION - GLASS WALL**  
1/4" = 1'-0"

BASIS OF DESIGN: DIRTT DOUBLE PANE GLASS WALL



**3 CONFERENCE DOOR**  
1/4" = 1'-0"

BASIS OF DESIGN: DIRTT DOUBLE PANE GLASS WALL

ALTERNATE NO G-1

SEALS



11/13/2024

BID DRAWINGS  
11.13.2024

PROJECT

**MORRISVILLE TOWN HALL REARRANGEMENTS**

100 Town Hall Dr. Morrisville, NC 27560

REVISIONS

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

PROJECT DATA

DATE: 11.13.2024  
DRAWN: LW  
CHECKED: FB  
PROJECT NO: 2024\_0095  
PRINTING: BID DRAWINGS

SHEET DATA

**TOWN HALL RENOVATION - SCHEDULES**

SHEET NO.

**A700**