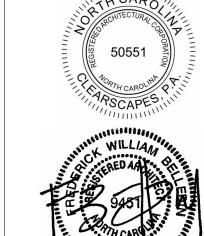
MORRISVILLE TOWN HALL REARRANGEMENTS

BID DRAWINGS

http://www.clearscapes.com/

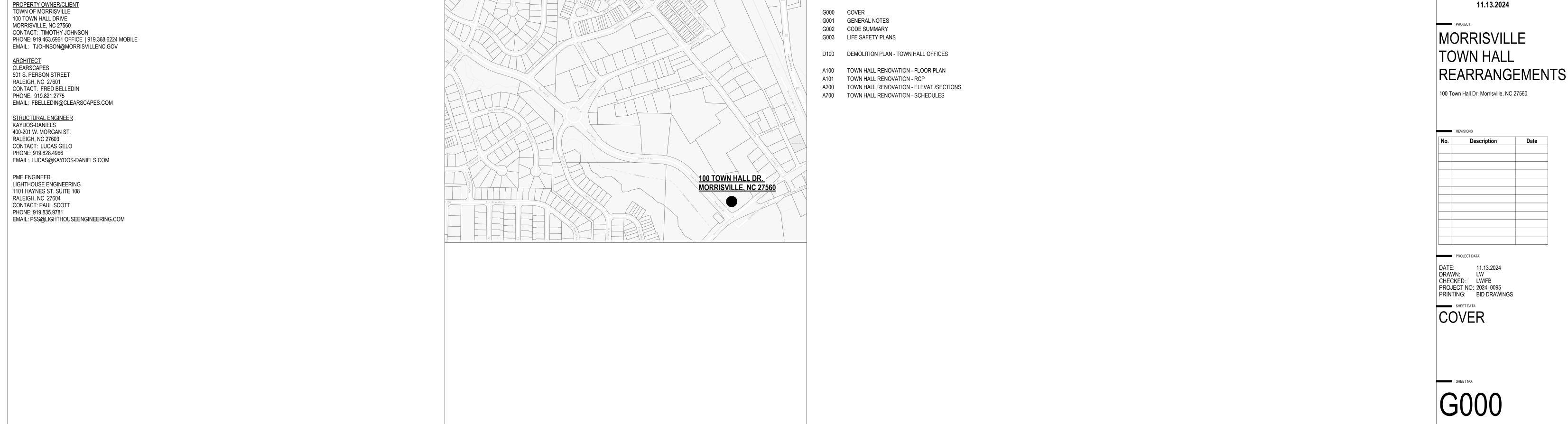
Kaydos-Daniels Engineers, PLLC www.kaydos-daniels.com 400-201 W. Morgan Street Raleigh, NC 27603 919-828-4966 Lucas@kaydos-daniels.com

> MEP Engineer
> Lighthouse Engineering
> 400 W. Morgan Street, Suite 100
> Raleigh, NC 27603 919-835-9781 ext. 225 MJP@lighthouseengineering.com



BID DRAWINGS

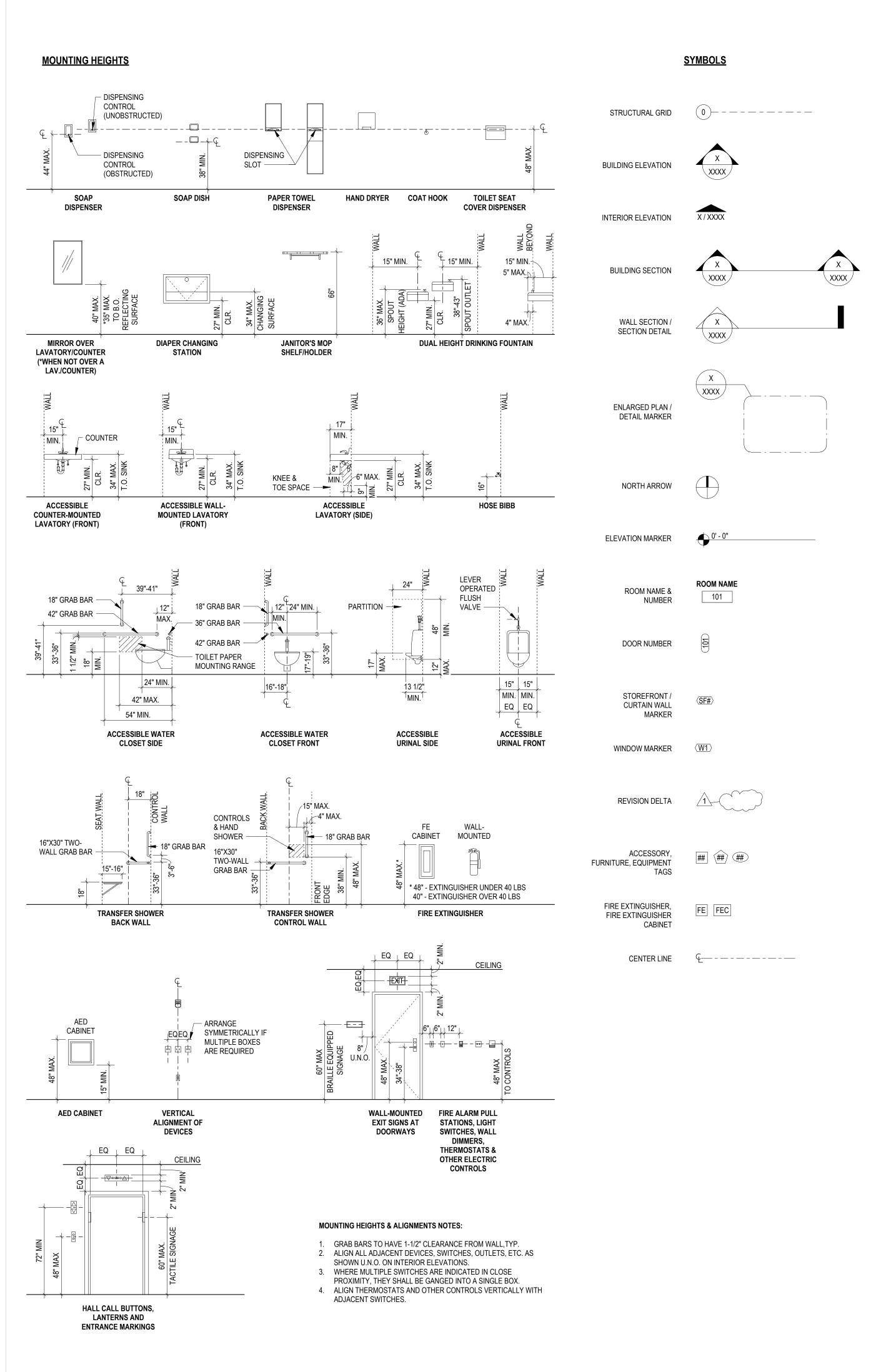
11.13.2024



VICINITY MAP

CONTACT INFORMATION

SHEET INDEX



<u>ABBREVI</u>	ATIONS		
& < @ X,x	AND ANGLE ANGLE IN DEGREES AT BY	H HB HC HDWD HDWR	HEIGHT HOSE BIBB HANDICAPPED, HOLLOW CORE HARDWOOD HARDWARE
Ø (E) (N) %	DIAMETER EXISTING NEW PERCENT POUNDS OR NUMBER	HM HO HORIZ HR HSS	HOLLOW METAL HOLD OPEN HORIZONTAL HOUR HOLLOW STRUCTURAL SECTION
ABV ACC ACM ACT AD ADA ADD'L ADJ ADMIN AF	ABOVE ACCESSIBLE ALUMINUM COMPOSITE MATERIAL ACOUSTICAL CEILING TILE ACCESS DOOR, AREA DRAIN AMERICANS WITH DISABILITIES ACT ADDITIONAL ADJACENT ADMINISTRATION ACCESS FLOOR ABOVE FINISH FLOOR	HVAC ID IFO INCAND INCL INFO INSUL INT INV IRR	HEATING, VENTILATION AND AIR CONDITIONING INSIDE DIAMETER INSIDE FACE OF INCANDESCENT INCLUDE(D), INCLUSIVE INFORMATION INSULATION INTERIOR INVERT IRRIGATION
AGGR AHU ALT AL	AGGREGATE AIR HANDLING UNIT ALTERNATE ALUMINUM	JB JST JT	JUNCTION BOX JOIST JOINT
ANOD APPROX ATR AUX A/V	ANODIZED APPROXIMATE(LY) ABOVE TOP OF RAIL AUXILIARY AUDIO VISUAL BOARD	LAM LAV LB LD LDR LED LH	LAMINATE(D) LAVATORY POUND LINEAR DIFFUSER LEADER LIGHT EMITTING DIODE LEFT HAND
BIT BLDG BLST BLW	BITUMEN BUILDING BALLAST BELOW	LIN LO LOC	LINEAR LINE OF LOCATION
BM BO BOF BOL BOT BRKT BTWN BUR	BEAM BOTTOM OF BOTTOM OF FOOTING BOLLARD BOTTOM BRACKET BETWEEN BUILT UP ROOF	MAINT MAS MATL MAX MDF MECH MEZZ MFR MH MIN	MAINTAIN, MAINTENANCE MASONRY MATERIAL MAXIMUM MEDIUM DENSITY FIBERBOARD MECHANICAL MEZZANINE MANUFACTURER MANHOLE MINIMUM
CB CEM. CI C.I.P. CJ CL CLK CLNG CLO CLR	CATCH BASIN CEMENT(ITIOUS) CAST IRON CAST IN PLACE CONTROL JOINT CENTER LINE CAULK(ING) CEILING CLOSET CLEAR	MIN MISC MO MTD MTL N NA NF NFC N.I.C.	MISCELLANEOUS MASONRY OPENING MOUNTED METAL NORTH NOT APPLICABLE NO FINISH NO FINISH CEILING NOT IN CONTRACT
CMU COL COMP CONC CONST	CONCRETE MASONRY UNIT COLUMN COMPOSITE CONCRETE CONSTRUCTION	NO. NOM NPRN NTS	NUMBER NOMINAL NEOPRENE NOT TO SCALE
CONT CPT CSJ CTR	CONTINUOUS CARPET CONSTRUCTION JOINT CENTER	o/ OAE OC OD OFF	OVER OR APPROVED EQUAL ON CENTER OUTSIDE DIAMETER OFFICE
DBL DEG DEMO DET D.G. D/I DIA DIM	DOUBLE DEGREE DEMOLITION DETAIL(S) DECOMPOSED GRANITE DIRECT/INDIRECT DIAMETER DIMENSION	OFO OU OF/CI OF/OI OH OPP OVFL OVHD OZ	ITSIDE FACE OF OWNER FURNISHED / CONTRACTOR INSTALLED OWNER FURNISHED / OWNER INSTALLED OPPOSITE HAND OPPOSITE OVERFLOW OVERHEAD OUNCE
DIST DIV DN DR DS DSP DTL DWG DWR	DISTANCE DIVISION DOWN DOOR DOWNSPOUT DRY STANDPIPE DETAIL DRAWING DRAWER	PASS P/C PERF PERP PKG P/L PLAM PLBG	PASSENGER PRECAST PERFORATED PERPENDICULAR PARKING PROPERTY LINE PLASTIC LAMINATE PLUMBING
E EA EJ EL ELEC ELEV EO EQ EQP EQUIV ES	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATION OR ELEVATOR EDGE OF EQUAL/EQUAL TO EQUIPMENT EQUIVALENT EXIT SIGN	PLY POL POT PR PREFIN PRELIM PRESS PROJ PROP PROT PT PTD	PLYWOOD POLISH(ED) PATH OF TRAVEL PAIR PREFINISHED PRELIMINARY PRESSURE PROJECT PROPERTY PROTECTION PRESSURE TREATED PAINTED
EWC EXT F FD FDC FDN FE FEC FFL	ELECTRIC WATER COOLER EXTERIOR FIRE ALARM FLOOR DRAIN FIRE DEPARTMENT CONNECTION FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR LEVEL FIRE HYDRANT	PVC RAD RCP RE REINF REQD RH RM R.O.	POLYVINYL CHLORIDE RADIUS REFLECTED CEILING PLAN REFER TO REINFORCE(D) REQUIRED RIGHT HAND ROOM ROUGH OPENING
FIR FLUOR FIN F.O. FOC FOF FOM FOS FR FRP FRPT FSR FT FTG	FIRE HYDRAIN FLOOR FLUORESCENT FINISH FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUD FIRE RETARDANT FIBERGLASS REINFORCED PLASTIC FIRE RETARDANT/PT FASTENER FLAME SPREAD RATING FOOT, FEET FOOTING	S SB S.C. S.C.D. SCHED SECT S.E.D. SIM SL S.L.A.D. S.M. S.M. S.M.D. S.P.D. SPECS	SOUTH SPLASH BLOCK SOLID CORE SEE CIVIL DRAWINGS SCHEDULE SECTION SEE ELECTRICAL DRAWINGS SIMILAR SLOPE SEE LANDSCAPE DRAWINGS SURFACE MOUNTED SEE MECHANICAL DRAWINGS SEE PLUMBING DRAWINGS SPECIFICATIONS
FURN GA GALV GC GLAZ	FURNITURE GAUGE GALVANIZED GENERAL CONTRACTOR GLAZING	S.S. S.S.D. STL STRUCT	STAINLESS STEEL SEE STRUCTURAL DRAWINGS STEEL STRUCTURE THICK
GOVT GR GRD GSM GT	GOVERNMENT GRANITE GRADE GALVANIZED SHEET METAL GROUT	THRU T.O. T.O.F. TYP	THROUGH TOP OF TOP OF FOOTING TYPICAL
GUT GWB GYP BD	GUTTER GYPSUM BOARD GYPSUM BOARD	UNO/UON VER VIF	UNLESS NOTED OTHERWISE VERIFY VERIFY IN FIELD

WATER CLOSET WOOD

GENERAL NOTES

GENERAL REGULATORY REQUIREMENTS

0-1. ALL WORK SHALL CONFORM TO:

- CURRENT NORTH CAROLINA STATE BUILDING CODE (2015 IBC AND CURRENT NC AMENDMENTS)
- CURRENT RULES AND REGULATIONS OF THE CITY OF RALEIGH, NORTH CAROLINA RULES AND REGULATIONS OF APPLICABLE STATE AND/OR LOCAL PUBLIC UTILITIES
- AMERICANS WITH DISABILITIES ACT, 26 JULY 1991 AND ANSI 117.1 (2009) WITH RESPECTIVE
- CURRENT AMENDMENTS REQUIREMENTS OF THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION. ESPECIALLY AS OUTLINED IN THE PART 2 APPLICATION AND APPROVAL FOR THIS PROJECT
- 0-2. THE BUILDING CODE COMPLIANCE SUMMARIES AND LIFE SAFETY PLANS ARE GENERAL GUIDES TO THE CONSTRUCTION CRITERIA DEVELOPED FOR THIS PROJECT. THEY ARE NOT INTENDED TO BE A COMPLETE LIST OF CODE REQUIREMENTS.
- 0-3. PENETRATIONS OF ALL PIPES, CONDUITS, SWITCHES, OUTLETS, AND ANY OTHER ITEMS AT RATED ASSEMBLIES SHALL BE FIRE-STOPPED.

0-4. THE INTEGRITY OF THE FIRE RESISTANCE RATING OF ALL RATED SHAFT ENCLOSURES, CEILINGS, AND PARTITIONS SHALL BE MAINTAINED BEHIND RECESSED WALL OR CEILING ACCESSORIES, INCLUDING FIRE EXTINGUISHER CABINETS, TOILET ACCESSORIES, ELECTRICAL JUNCTION BOXES, AND ANY OTHER ITEMS WHERE

GENERAL COORDINATION REQUIREMENTS

1-1. THE CONTRACT DOCUMENTS INCLUDE THE DRAWINGS, PROJECT MANUAL, ANY ADDENDA, AND ANY RELATED REGULATORY DOCUMENTS PROVIDED BY THE ARCHITECT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, PART 2 HISTORIC TAX CREDIT APPLICATIONS AND LOCAL DESIGN OR HISTORIC APPROVALS.

1-2. REFER TO THE PROJECT MANUAL (IF PROVIDED) FOR COMPLETE GENERAL REQUIREMENTS AND CONDITIONS OF THE CONTRACT DOCUMENTS. IF A PROJECT MANUAL IS NOT PROVIDED, AIA DOCUMENT A201 (2007) GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL SERVE AS THE GENERAL REQUIREMENTS AND CONDITIONS OF THE CONTRACT DOCUMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS, THE MORE RESTRICTIVE PROVISION OR REQUIREMENT SHALL APPLY. 1-3. THE CONTRACT DOCUMENTS REPRESENT THE DESIGN INTENT FOR THE FINISHED STRUCTURE AND/OR SITE. UNLESS SPECIFICALLY NOTED, THEY DO NOT INDICATE THE MEANS OR METHOD OF INSTALLATION. THE GENERAL CONTRACTOR (OR CMAR) SHALL COORDINATE, SUPERVISE, AND DIRECT ALL WORK, SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE, AND

SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS. 1-4. PRIOR TO BIDDING, THE GENERAL CONTRACTOR (OR CMAR) AND EACH SUB-CONTRACTOR ARE RESPONSIBLE FOR REVIEWING AND COMPARING THE VARIOUS ELEMENTS OF THE CONTRACT DOCUMENTS. BIDS ARE REQUIRED TO INCLUDE ALL WORK REQUIRED FOR A COMPLETE JOB BASED ON ALL ELEMENTS OF THE CONTRACT DOCUMENTS.

1-5. PRIOR TO BIDDING, THE GENERAL CONTRACTOR (OR CMAR) AND EACH SUB-CONTRACTOR ARE RESPONSIBLE FOR VISITING THE PROJECT SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND ARE RESPONSIBLE FOR INCLUDING IN THEIR BID ALL WORK REQUIRED FOR A COMPLETE

1-6. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.

1-7. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNER'S VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIO/VISUAL AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS AND THE OWNER 'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK 1-8. EXISTING CONDITIONS FOR THE BUILDING AND/OR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS

ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING AND VERIFYING THE EXISTENCE AND LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND AND OVERHEAD UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, AND OTHER STRUCTURAL OR BUILDING DATUMS.

GENERAL DIMENSIONING REQUIREMENTS

2-1. DIMENSIONS ARE NOTED OR CAN BE DETERMINED FROM OTHER INFORMATION INCLUDED IN THE DRAWINGS. VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS. DO NOT PROCEED WITH AFFECTED WORK OR RELATED WORK UNTIL THE VARIATIONS OR OMISSIONS HAVE BEEN RESOLVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DRAWING SHEETS LESS THAN 24x36" MAY HAVE BEEN REDUCED FROM THE ORIGINALS. 2-2. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED. 2-3. WALLS, BULKHEADS, AND/OR OTHER ARCHITECTURAL ELEMENTS SHOWN TO ALIGN ARE TO HAVE FINISH FACES ALIGN UNLESS OTHERWISE NOTED. 2-4. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND

DIMENSIONS. 2-5. ANY DIMENSIONS AND/OR ELEVATIONS OF OR TYING INTO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED BY GENERAL CONTRACTOR (OR CMAR) PRIOR TO COMMENCEMENT OF SHOP DRAWINGS. FABRICATION, OR INSTALLATION. VERIFY ANY DISCREPANCIES W/ ARCHITECT PRIOR TO COMMENCEMENT OF

2-6. REFER TO P/M/E/FP DRAWINGS FOR QUANTITY AND DESIGN OF ALL FIXTURES / DEVICES / ETC. REFER TO ARCHITECTURAL ENLARGED PLANS AND ELEVATIONS FOR EXACT PLACEMENT OF ANY DEVICES INDICATED. LOCATIONS OF ALL PLUMBING, MECHANICAL, ELECTRICAL, FIRE ALARM, SPRINKLER, AND TELECOMMUNICATIONS DEVICES, FIXTURES, AND ACCESSORIES DIMENSIONED, NOTED, OR OTHERWISE DESCRIBED ON ARCHITECTURAL ENLARGED PLANS AND ELEVATIONS, ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.

2-7. ALIGN ALL ELECTRICAL, MECHANICAL, FIRE ALARM, AND TELEDATA / CABLE DEVICES WHERE IN CLOSE PROXIMITY. COORDINATE WITH OTHER TRADES TO RESERVE PATHWAYS TO MULTIPLE DEVICES - THIS MAY REQUIRE PIPING TO THE SIDES OF JUNCTION BOXES OR DEVICES.

GENERAL MATERIAL REQUIREMENTS

3-1. PROVIDE GALVANIC ISOLATION AT ALL DISIMILAR MATERIALS. 3-2. PROVIDE PRESSURE-TREATED MATERIAL AT LOCATIONS OF WOOD IN CONTACT WITH MASONRY. 3-3. MAINTAIN CONTINUITY OF AIR/WEATHER BARRIER AT ALL OPENINGS AND PENETRATIONS. **3-4.** PROVIDE END DAMS AT ALL SILL CONDITIONS.

OTHER REQUIREMENTS

4-1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.

4-2. THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION. ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR.

4-3. THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL- AND CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETRY AND OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD OR 20ga METAL WITH A FLAME SPREAD AND SMOKE DEVELOPMENT RATING <25 IF THE PROJECT IS IDENTIFIED AS A TYPE 1 OR TYPE 2 BUILDING IN THE CODE SUMMARY.

4-4. CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR AND REVIEWED AND COORDINATED W/ ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT REQUIRED).

4-5. IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS. 4-6. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.

4-7. ALL DEBRIS SHALL BE TRANSPORTED FROM THE SITE AND LEGALLY DISPOSED OF BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.

4-8. ALL MATERIALS, COMPONENTS, AND SYSTEMS SHALL BE INSTALLED PER MANUFACTURER 'S INSTALLATION REQUIREMENTS/RECOMMENDATIONS AND WARRANTY REQUIREMENTS EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE REQUIRED BY THE CONTRACT DOCUMENTS OR APPLICABLE CODES OR REGULATIONS.

Raleigh, NC 27601

501 S. Person St.

CONSULTANTS **Kaydos-Daniels Engineers, PLLC** www.kaydos-daniels.com 400-201 W. Morgan Street Raleigh, NC 27603 919-828-4966

Lucas@kaydos-daniels.com

http://www.clearscapes.com/

MEP Engineer Lighthouse Engineering 400 W. Morgan Street, Suite 100 Raleigh, NC 27603 919-835-9781 ext. 225 MJP@lighthouseengineering.com





BID DRAWINGS

11.13.2024

PROJECT MORRISVILLE **TOWN HALL** REARRANGEMENTS

100 Town Hall Dr. Morrisville, NC 27560

PROJECT DATA

11.13.2024 DRAWN: LP/CL/LW CHECKED: LW/FB PROJECT NO: 2024_0095 PRINTING: BID DRAWINGS

SHEET DATA **GENERAL**

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: MORRISVILLE TOWN HALL REARRANGEMENTS	
Address: 100 TOWN HALL DR. MORRISVILLE, NC	Zip Code _ 27560
Owner/Authorized Agent: FRED BELLEDIN Phone # (919) 741 - 7360 Owned By: TOWN OF MORRISVILLE	E-Mail fbelledin@clearscapes.com
Code Enforcement Jurisdiction: TOWN OF MORRISVILLE	

DESIGNER	FIRM	NAME	LICENSE#	TELEPHONE #	E-MAIL
Architectural	CLEARSCAPES, PA	FRED BELLEDIN, AIA	9451	(919)741-7360	fbelledin@clearscapes.com
Civil				()	-
Electrical	LIGHTHOUSE	JIMMY STEELMAN, LW	xxxx	(919)835-9781	jrs@lighthouseengineering.com
Fire Alarm	LIGHTHOUSE	JIMMY STEELMAN, LS	XXXX	(919)835-9781	jrs@lighthouseengineering.com
Plumbing	LIGHTHOUSE	PAUL SCOTT, PE	XXXX	(919)835-9781	pss@lighthouseengineering.cor
Mechanical	LIGHTHOUSE	PAUL SCOTT, PE	XXXX	(919)835-9781	pss@lighthouseengineering.com
Sprinkler-Stan	dpipe				
Structural	KAYDOS-DANIELS	LUCAS GELO, PE	032586	(919)828-4966	lucas@kaydos-daniels.com
Retaining Wal	ls >5' High				
Other				()	

("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC RUII DING CODE:	

2018 NO	C BUILDING CODE:
2018 NO	EXISTING BUILDING CODE: ALTERATION LEVEL II

CURRENT OCCUPANCY(S) (Ch. 3): B, SMALL ASSEMBLY CONSTRUCTED: (date) 1992 PROPOSED OCCUPANCY(S) (Ch. 3): B, SMALL ASSEMBLY **RENOVATED:** (date)

RISK CATEGORY (Table 1604.5): Current: II	Proposed:
KISK CATEGORT (Table 1004.3). Current. II	r roposcu.

BASIC BUILDING DATA Construction Type: ____V Sprinklers: No

Standpipes: No Primary Fire District: Morrisville Flood Hazard Area: No

Special Inspections Required: No

Gross Building Area Table					
FLOOR	EXISTING (SQ FT)	New (sqft)	SUB-TOTAL		
3 rd Floor					
2 nd Floor					
Mezzanine					
1st Floor	10,803 SF	0 SF	10,803 SF		

ALLOWABLE AREA

Primary Occupancy Classification(s): BUSINESS, SMALL ASSEMBLY
Accessory Occupancy Classification(s): STORAGE, MECH
Incidental Uses (Table 509): N/A
Special Uses (Chapter 4 – List Code Sections): N/A
Special Provisions: (Chapter 5 – List Code Sections): N/A
Mixed Occupancy: Yes

Non-Separated Use (508.3)

Actual Area of Occupancy A Allowable Area of Occupancy A	+	<u>Actual Area of Occupancy B</u> Allowable Area of Occupancy B	<u>≤</u> 1	

·-					
STORY	DESCRIPTION AND	(A)	(B)	(c)	(D)
NO.	USE	BLDG AREA PER	TABLE 506.2 ⁴	AREA FOR FRONTAGE	ALLOWABLE AREA PER
		STORY (ACTUAL)	AREA	INCREASE ^{1,5}	STORY OR UNLIMITED ^{2,3}
1	BUSINESS	10,803 SF	9,000	4,500	13,500

¹ Frontage area increases from Section 506.3 are computed thus:

- a. Perimeter which fronts a public way or open space having 20 feet minimum width = $\frac{12,180}{}$ (F)
- b. Total Building Perimeter = 12,180 (P)
- c. Ratio $(F/P) = ____ (F/P)$
- d. W = Minimum width of public way = 20 (W) e. Percent of frontage increase $I_f = 100[F/P - 0.25] \times W/30 = 50$ (%)
- ² Unlimited area applicable under conditions of Section 507.
- ³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
- ⁴ The maximum area of open parking garages must comply with Table 406.5.4. ⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE 1
Building Height in Feet (Table 504.3) ²	40'	29'-0"	
Building Height in Stories (Table 504.4) ³	2	2	

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

2018 NC Administrative Code and Policies Revised 6/15/2020 NOTE: RATED WALLS AND ASSEMBLIES SHOWN ON PLANS ARE NOT REQUIRED BY NCSBC; FIRE SUPPRESSION AND RATED ENCLOSURE ARE REQUIRMENTS OF THE NATIONAL ARCHIVES AND RECORDS ADMINISTRATION LENDING PROGRAM.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	PROVIDED (W/* REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		1	1		X790	G005	
Bearing Walls							
Exterior							
North		0	0				
East		0	0				
West		0	0				
South		0	0				
Interior		0	1		U305	G005	
Nonbearing Walls and Partitions							
Exterior walls		0	0				
North		0	0				
East		0	0				
West							
South		0	0				
Interior walls and partitions		0	U				
Floor Construction Including supporting beams and joists		0	0				
Floor Ceiling Assembly		0	0				
Columns Supporting Floors		0	0				
Roof Construction, including supporting beams and joists		0	0				
Roof Ceiling Assembly		0	0				
Columns Supporting Roof		0	0				
Shaft Enclosures - Exit		N/A	N/A				
Shaft Enclosures - Other		N/A	N/A				
Corridor Separation		1	1		U305	G005	
Occupancy/Fire Barrier Separat	ion	N/A	N/A				
Party/Fire Wall Separation		N/A	N/A				
Smoke Barrier Separation		N/A	N/A				
Smoke Partition		N/A	N/A				
Tenant/Dwelling Unit/ Sleeping Unit Separation		N/A	N/A				
Incidental Use Separation		N/A	N/A				

PERCENTAGE OF WALL OPENING CALCULATIONS

Fire Separation Distance (Feet) from Property lines	Degree of openings Protection (Table 705.8)	Allowable area (%)	ACTUAL SHOWN ON PLANS (%)
SE > 20'	UNPROTECTED, NONSPRINKLERED	NL	20%
SW > 20'	UNPROTECTED, NONSPRINKLERED	NL	50%
NW > 20'	UNPROTECTED, NONSPRINKLERED	NL	30%
NE > 20'	UNPROTECTED, NONSPRINKLERED	NL	40%

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting:	Yes
Exit Signs:	Yes
Fire Alarm:	Yes
Smoke Detection Systems:	YES
Carbon Monoxide Detection:	No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: G003

- Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations (if not on the site plan) Exterior wall opening area with respect to distance to assumed property lines (705.8)
- Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
- Occupant loads for each area
- Exit sign locations (1013)
- Exit access travel distances (1017) Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
- Dead end lengths (1020.4)
- Clear exit widths for each exit door Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
- Actual occupant load for each exit door
- ☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
- Location of doors with panic hardware (1010.1.10)
- Location of doors with delayed egress locks and the amount of delay (1010.1.9.7) Location of doors with electromagnetic egress locks (1010.1.9.9)
- ☐ Location of doors equipped with hold-open devices
- Location of emergency escape windows (1030)
- ☐ The square footage of each fire area (202)
- The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
- Note any code exceptions or table notes that may have been utilized regarding the items above

2018 NC Administrative Code and Policies Revised 6/15/2020

ACCESSIBLE DWELLING UNITS (SECTION 1107)

UNIT CLASSIFICATION	TOTAL Units	Accessible Units Required	Accessible Units Provided	TYPE A UNITS REQUIRED	TYPE A Units Provided	Type B Units Required	TYPE B Units Provided	TOTAL ACCESSIBLI UNITS PROVIDED
NOT A	PPL	ICAB	<u>LE</u>					

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PA	RKING SPACES	# OF ACCESSIBLE S	SPACES PROVIDED	TOTAL # ACCESSIBLE
	REQUIRED	PROVIDED	96" SPACES	132" SPACES	PROVIDED
		41			
		NO CHANGE	TO PARKING		
TOTAL					
	4		•	•	

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

ı	U	SE	W	ATERCLOSI	ETS	URINALS		LAVATORIE	S	SHOWERS	DRINKING	FOUNTAINS
ı			MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX	/TUBS	REGULAR	ACCESSIBLE
ſ	SPACE	EXIST'G	નું 1	_ 5	2	3	2	2	2_	1	_ ~ ~ -	
١		NEW			NO CI	HANGE TO	RESTRO	OMS -				
Į		₽E Q 'D—	i 1 1	NC			-	REASE <20%	6	 	 	

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below) **NOT APPLICABLE**

ENERGY SUMMARY

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ____

NEW BUILDING ENVELOPE ASSEMBLIES THAT ARE PART OF THE ALTERATION SHALL **Exempt Building:** YES <u>ie</u> Provide code or statutory reference:

COMPLY WITH SECTION C402 OF THE NORTH CAROLINA ENERGY CONSERVATION CODE FOR COMMERCIAL BUILDINGS. EXCEPTION 2. EXISTING CEILING WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE INSULATED.

NCEBC 811.1.1 BUILDING ENVELOPE

Method of Compliance: PRESCRIPTIVE (If "Other" specify source here)_

THERMAL ENVELOPE (Prescriptive method only)

Climate Zone: 4A

Roof/ceiling Assembly (each assembly) FULLY ADHERED SINGLE PLY MEMBRANE ON TAPERED INSULATION, SHINGLES ON 15# FELT. WOOD TRUSSES Description of assembly:

U-Value of total assembly: R-Value of insulation: Skylights in each assembly: -NONE-U-Value of skylight:

total square footage of skylights in each assembly:

WOOD STUDS WITH 6" BATT INSULATION (R-19) + 1/2" EXT. GYPSUM Exterior Walls (each assembly) SHEATHING + 1" AIR GAP + BRICK Description of assembly: U-Value of total assembly:

R-Value of insulation: Openings (windows or doors with glazing)
0.37 U-Value of assembly: Solar heat gain coefficient: projection factor:

NCEBC 708.1.1.1 REPLACEMENT FENESTRATION ALTERATIONS THAT REPLACE LESS THAN 50% OF ENTIRE FENESTRATION UNITS MAY BE REPLACED WITH LIKE OR BETTER FENESTRATION UNITS TO MATCH EXISTING Door R-Values:

NO CHANGE TO EXISTING

Walls below grade (each assembly)

Description of assembly: U-Value of total assembly:

NO CHANGE TO EXISTING R-Value of insulation:

Floors over unconditioned space (each assembly)

Description of assembly: U-Value of total assembly: **NO CHANGE TO EXISTING** R-Value of insulation:

Floors slab on grade

4" CONCRETE SLAB ON GRADE W/ 6 MIL VAPOR BARRIER + 4" STONE Description of assembly: 0.05 U-Value of total assembly: R-Value of insulation: *R-15 FOR 24" REQ. NONE EXISTING

Horizontal/vertical requirement: slab heated:

2018 NC Administrative Code and Policies

Revised 6/15/2020

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

STRUCTURAL DESIGN (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE) **DESIGN LOADS:**

Importance Factors: Snow (Is) <u>Select one</u> Seismic (I_E) <u>Select one</u> Live Loads: Mezzanine

Wind SEE S001 FOR STRUCTURAL DATA

SEISMIC DESIGN CATEGORY: Select one Provide the following Seismic Design Parameters: Risk Category (Table 1604.5) Spectral Response Acceleration Ss_____ **Site Classification** (ASCE 7) Data Source: Basic structural system Select one Analysis Procedure: Select one Architectural, Mechanical, Components anchored? Select one LATERAL DESIGN CONTROL: Select one **SOIL BEARING CAPACITIES:** Select one

Pile size, type, and capacity

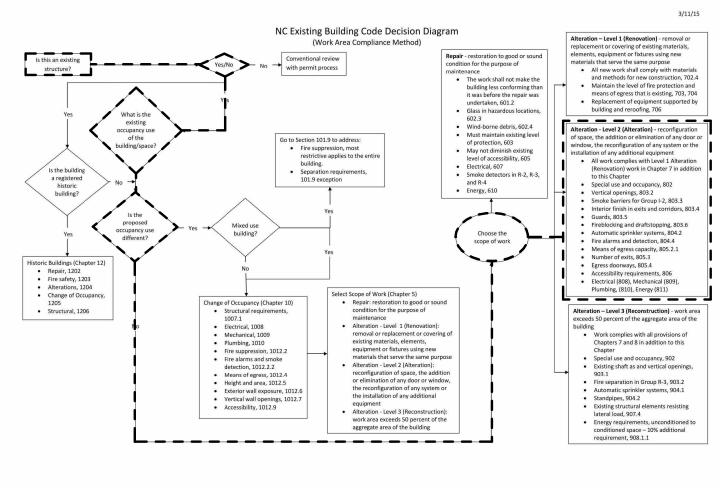
2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

SEE M001 FOR MECHANICAL DATA

(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

SEE E001 FOR ELECTRICAL DATA





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BID DRAWINGS 11.13.2024

MORRISVILLE TOWN HALL REARRANGEMENTS

100 Town Hall Dr. Morrisville, NC 27560

Description

PROJECT DATA

DRAWN: Author CHECKED: Checker PROJECT NO: 2024_0095 PRINTING: BID DRAWINGS SHEET DATA

CODE

² The maximum height of air traffic control towers must comply with Table 412.3.1. ³ The maximum height of open parking garages must comply with Table 406.5.4.

LIFE SAFETY PLAN LEGEND

EXISTING CONSTRUCTION TO REMAIN UNRATED WALL 1-HOUR FIRE BARRIER EXISTING 1-HOUR FIRE BARRIER 2-HOUR FIRE BARRIER EXISTING 2-HOUR FIRE BARRIER 3-HOUR FIRE BARRIER EXISTING 3-HOUR FIRE BARRIER DOOR W/ PANIC HARDWARE DOOR EQUIPPED W/ MAGNETIC HOLD-OPEN DEVICE TIED TO FIRE ALARM FIRE EXTINGUISHER CABINET /

⊙----**≜**--**►**

FIRE EXTINGUISHER BRACKET

——— — PROPERTY LINE

EGRESS ARROW SHOWING DIRECTION OF EGRESS TO EXIT & ACTUAL OCCUPANT LOAD

(##/###) STAIR OR EXIT WIDTH, MAXIMUM OCCUPANT LOAD

			Occupancy Schedule		
Number	Name	Area	Occupancy	Occupant Number	Occupant Factor
	Room	Not Placed			
001	CHAMBER	2616 SF	ASSEMBLY	174	15 SF
002	VEND	35 SF	BUSINESS	1	100 SF
003	MAIL	152 SF	ACCESSORY STORAGE, MECHANICAL	1	300 SF
004B	JAN	25 SF	BUSINESS	1	100 SF
006	KITCHEN	121 SF	BUSINESS	1	100 SF
007	OFFICE 1	168 SF	BUSINESS	2	100 SF
008	OFFICE 2	142 SF	BUSINESS	1	100 SF
009	OFFICE 3	226 SF	BUSINESS	2	100 SF
010	CLOSET	11 SF	ACCESSORY STORAGE, MECHANICAL	1	300 SF
013	OFFICE 7	107 SF	BUSINESS	1	100 SF
014	OFFICE 8	101 SF	BUSINESS	1	100 SF
015	OFFICE 4	132 SF	BUSINESS	1	100 SF
016	OFFICE 5	132 SF	BUSINESS	1	100 SF
017	OFFICE 6	105 SF	BUSINESS	1	100 SF
018	OFFICE 9	109 SF	BUSINESS	1	100 SF
019	OFFICE 10	101 SF	BUSINESS	1	100 SF
020	CONFERENCE	139 SF	ASSEMBLY	10	15 SF
022	CONFERENCE B	308 SF	ASSEMBLY	21	15 SF
023	OFFICE	123 SF	BUSINESS	1	100 SF
024	WORK ROOM	445 SF	BUSINESS	4	100 SF
025	OFFICE	191 SF	BUSINESS	2	100 SF
026	OFFICE	139 SF	BUSINESS	1	100 SF
027	WORK ROOM	150 SF	BUSINESS	1	100 SF
028	STOR	14 SF	ACCESSORY STORAGE, MECHANICAL	1	300 SF
029	OFFICE	169 SF	BUSINESS	2	100 SF
030	STOR	114 SF	ACCESSORY STORAGE, MECHANICAL	1	300 SF
031	OFFICE	261 SF	BUSINESS	3	100 SF
032	OFFICE	129 SF	BUSINESS	1	100 SF
033	OFFICE	151 SF	BUSINESS	2	100 SF
034	OFFICE	149 SF	BUSINESS	1	100 SF
035	OFFICE	72 SF	BUSINESS	1	100 SF
036	STOR	25 SF	ACCESSORY STORAGE, MECHANICAL	1	300 SF
037	JAN	15 SF	BUSINESS	1	100 SF

TOTAL OCCUPANCY: 245 OCCUPANTS

FUNCTION OF SPACE (TABLE 1004.1.2)

ACCESSORY STORAGE AREA, MECHANICAL

ASSEMBLY - UNCONCENTRATED

ASSEMBLY - CONFERENCE

BUSINESS AREA - WORK ROOM

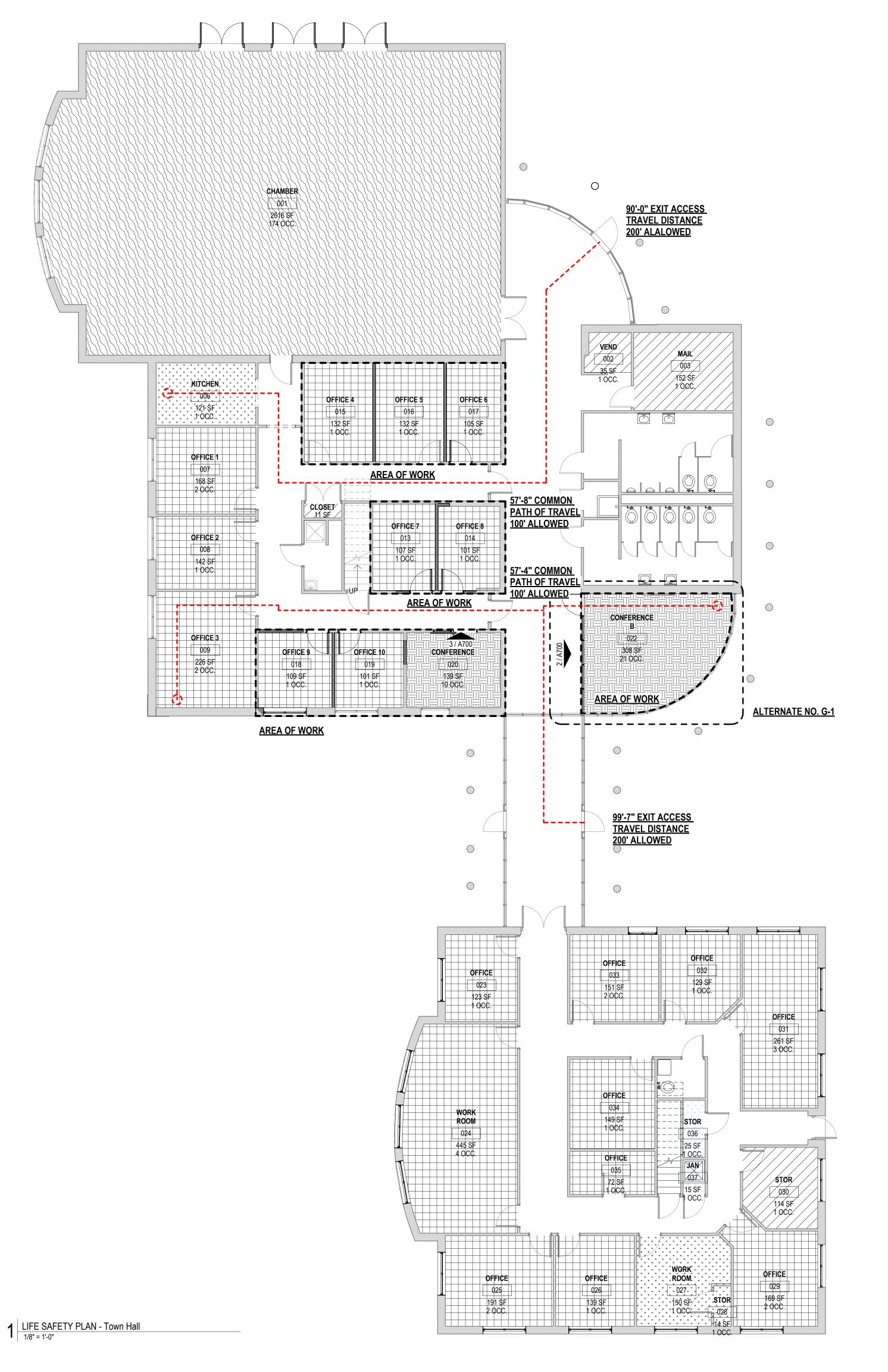
MAX. OCCUPANT EGRESS LOAD PER 3'-0" DOOR = 160 (32" ÷ 0.2" = 160) MAX. OCCUPANT EGRESS LOAD PER 6'-0" DOOR = 340 (68" ÷ 0.2" = 340)
 FIRE EXTINGUISHER CABINET TO BE SEMI-RECESSED TYPE, TYP.

BUSINESS AREA - OFFICE

STORAGE AREA, MECHANICAL EQUIPMENT ROOM

1. TRAVEL DISTANCES SHOWN EGRESS TO AN AREA OF SAFE DISPERSAL AS NOTED OR TO A PUBLIC RIGHT OF WAY.

EQUIPMENT ROOM



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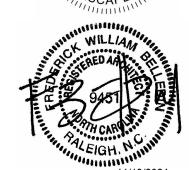
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BID DRAWINGS 11.13.2024

MORRISVILLE **TOWN HALL** REARRANGEMENTS

100 Town Hall Dr. Morrisville, NC 27560

lo.	Description	Date

DATE: 11.13.2024
DRAWN: Author
CHECKED: Checker
PROJECT NO: 2024_0095
PRINTING: BID DRAWINGS

LIFE SAFETY **PLANS**

DEMOLITION GENERAL NOTES

THE DEMOLITION AND REMOVAL WORK SHALL BE PERFORMED AS DESCRIBED IN THE DEMOLITION DOCUMENTS. THE WORK REQUIRED SHALL BE DONE WITH CARE, AND SHALL INCLUDE ALL REQUIRED SHORING, BRACING, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE, WHICH MAY BE CAUSED BY DEMOLITION AND REMOVAL WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE OR TO REMAIN. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND THE SEQUENCE THEREOF FOR REVIEW BY THE ARCHITECT.

<u>INVESTIGATION</u>

THE CONTRACTOR SHALL MAKE SUCH INVESTIGATIONS, EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL. THE CONTRACTOR SHALL GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION.

HAZARDOUS MATERIAL

THE CONTRACTOR MAY ENCOUNTER HAZARDOUS MATERIAL INCLUDING, BUT NOT LIMITED TO, LEAD-BASED PAINT. ALL HAZARDOUS MATERIALS SHALL BE ADDRESSED IN ACCORDANCE WITH OSHA AND NCDENR REQUIREMENTS. ANY QUESTIONABLE MATERIALS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT. THE OWNER WILL MAKE ARRANGEMENTS TO SAMPLE AND TEST MATERIALS. IF DEEMED HAZARDOUS, THE OWNER WILL FURTHER ARRANGE ABATEMENT OF THE MATERIAL. UNLESS NOTED OTHERWISE, LEAD-BASED PAINTS WILL NOT BE ABATED.

MATERIAL DISPOSAL/SALVAGE

ALL DEBRIS RESULTING FROM THE DEMOLITION AND REMOVAL WORK SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE. MATERIAL DESIGNATED BY THE ARCHITECT OR ENGINEER TO BE SALVAGED SHALL BE STORED ON THE CONSTRUCTION SITE AS DIRECTED. A PRE-DEMOLITION WALKTHROUGH WITH THE ARCHITECT AND OWNER SHALL BE CONDUCTED TO IDENTIFY COMPONENTS THAT ARE TO BE SALVAGED. RECYCLING AND/OR DISPOSAL IS TO BE CONDUCTED IN ACCORDANCE WITH LEED REQUIREMENTS.

EXISTING STRUCTURES

WHERE PORTIONS OF THE EXISTING STRUCTURE TO REMAIN ARE TO BE IMPACTED, DEMOLISH THE PORTIONS TO BE REMOVED, REPAIR DAMAGE, AND LEAVE THE STRUCTURE IN PROPER CONDITION FOR THE INTENDED USE. REMOVE CONCRETE AND MASONRY TO THE LINES DESIGNATED BY DRILLING, CHIPPING, OR OTHER SUITABLE METHODS UNLESS DIRECTED OTHERWISE BY ARCHITECT. LEAVE THE RESULTING SURFACES REASONABLY TRUE AND EVEN, WITH SHARP STRAIGHT CORNERS THAT WILL RESULT IN NEAT JOINTS WITH NEW CONSTRUCTION AND BE SATISFACTORY FOR THE PURPOSE INTENDED. WHERE ALTERATIONS OCCUR, OR NEW AND OLD WORK ARE TO JOIN, THE CONTRACTOR SHALL CUT, REMOVE, PLUG, REPAIR OR REMOVE THE ADJACENT MATERIALS TO THE EXTENT REQUIRED BY THE CONSTRUCTION CONDITIONS, SO AS TO LEAVE THE ALTERED WORK IN AS GOOD A CONDITION AS PRACTICAL.

TEMPORARY PROTECTION

THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN, LIGHTS, BARRIERS, WEATHER PROTECTION, WARNING SIGNS AND OTHER ITEMS AS REQUIRED FOR PROPER PROTECTION OF THE PUBLIC AS WELL AS WORKMEN ENGAGED IN DEMOLITION OPERATIONS. THE CONTRACTOR SHALL ALSO PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS. THE CONTRACTOR SHALL REMOVE TEMPORARY WORK, SUCH AS ENCLOSURES, SIGNS, GUARDS, AND THE LIKE WHEN SUCH TEMPORARY WORK IS NO LONGER REQUIRED OR WHEN DIRECTED AT THE COMPLETION OF THE WORK.

SITE DISTURBANCE

THE PROPERTY IS SURROUNDED AND BISECTED BY BOTH PUBLICLY AND PRIVATELY OWNED RIGHT-OF-WAYS WHICH ARE TO REMAIN OPEN AND CLEAR OF CONSTRUCTION DEBRIS. CONTRACTOR SHALL MINIMIZE, AS MUCH AS POSSIBLE, ANY DISRUPTION TO THE NEIGHBORS' DAILY OPERATIONS DURING THE COURSE OF THIS WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY NECESSARY ACTIVITIES WHICH WILL NECESSITATE BLOCKING AND/OR DISRUPTING TRAFFIC SO THAT WORK CAN BE COORDINATED AT A TIME WHEN IT IS LEAST DISRUPTIVE TO ALL PARTIES.

EXISTING UTILITIES

THE CONTRACTOR SHALL INSPECT THE EXISTING UTILITIES, INCLUDING ELECTRICAL, PLUMBING, TELE/DATA AND MECHANICAL SYSTEMS TO DETERMINE THE EXTENT OF THE WORK REQUIRED. CARE SHALL BE TAKEN TO NOT REMOVE UTILITIES THAT ARE FEEDING THE ADJACENT PROPERTIES.

- A. COORDINATE DE-ENERGIZATION AND REMOVAL/DISPOSAL OF ALL INCOMING UTILITIES TO BE REMOVED WITH LOCAL UTILITY COMPANIES. SUBMIT CONFIRMATION THAT SERVICES HAVE BEEN DECOMMISSIONED IN WRITING TO THE
- B. WITH THE EXCEPTION OF A PANEL TO DISTRIBUTE POWER DURING THE CONSTRUCTION PERIOD, ALL ELECTRICAL APPARATUS AND ASSOCIATED COMPONENTS THROUGHOUT THE BUILDING ARE TO BE REMOVED AND DISPOSED. RECEPTACLES, FIXTURES, SWITCHES, SUPPORTS, MISCELLANEOUS DEVICES, ETC. LIGHTING LAMP COMPONENTS AND BALLASTS, AS WELL AS ELECTRONIC EQUIPMENT CONTAINING HAZARDOUS MATERIALS SUCH AS MERCURY, LEAD AND PCBS (POLYCHLORINATED BIPHENYL) SHALL BE PROPERLY HANDLED. PROTECTED. STORED AND DISPOSED OF IN ACCORDANCE WITH ALL ENVIRONMENTAL, SAFETY, AND GOVERNMENTAL REGULATIONS RELATED TO THESE ITEMS.
- IN THE EVENT THAT IT IS PRESENT, REMOVE EXISTING GAS PIPING, REGULATORS, ETC. THROUGHOUT THE BUILDING. COORDINATE WORK WITH LOCAL GAS UTILITY COMPANY. GAS PIPING TO BE ABANDONED IN PLACE SHALL BE PURGED THEN CAPPED AND SEALED WITH SAME MATERIALS AS EXISTING PIPING.
- REMOVE EXISTING ABANDONED DOMESTIC WATER PIPING, VALVES, ETC. THROUGHOUT THE BUILDING. CAP INCOMING SERVICE WHERE APPLICABLE (OTHERWISE, SERVICES TO BE REMOVIED IN ACCORDANCE WITH CIVIL DRAWINGS) AND PREP FOR NEW WORK. COORDINATE WORK WITH LOCAL AUTHORITIES AS REQUIRED.
- REMOVE ALL EXISTING ABANDONED SANITARY SEWER PIPING THROUGHOUT THE BUILDING. COORDINATE WORK WITH LOCAL AUTHORITIES. SANITARY SEWER PIPING ABANDONED IN PLACE SHALL BE CAPPED OR PLUGGED WITH SAME MATERIAL AS EXISTING PIPING.
- ANY FEES AND/OR PERMITS REQUIRED BY LOCAL UTILITIES AND LOCAL JURISDICTION ASSOCIATED WITH REMOVAL OF EXISTING EQUIPMENT, PIPING, METERS, ETC. BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PRESERVATION OF EXISTING CONSTRUCTION

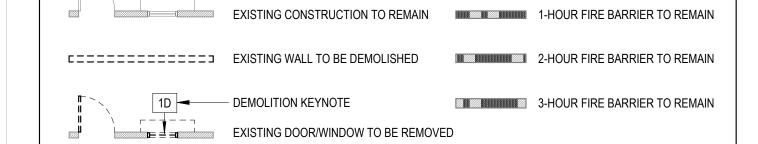
1. AVOID DAMAGE TO EXISTING BUILDING ELEMENTS DURING DEMOLITION AND RENOVATION. 2. PROVIDE WATER AND WEATHER-PROOFING AS REQ'D DURING DEMOLITION AND CONSTRUCTION TO PROTECT

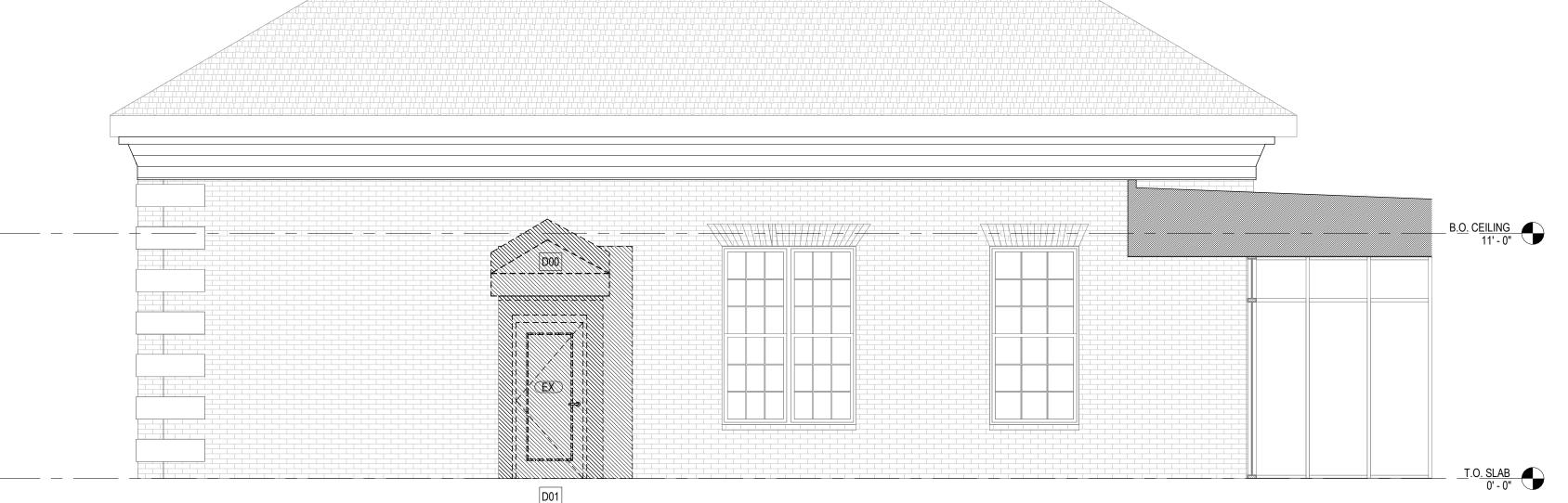
3. PATCH, REPAIR, OR REPLACE ANY ITEMS DAMAGED BY DEMOLITION. ANY MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE REPLACED WITH APPROPRIATE MATCHING MATERIALS AND FINISHES.

1. ALL NOTES "TO BE REMOVED" OR "TO BE DEMOLISHED" SHALL MEAN ENTIRELY REMOVED OR DEMOLISHED. 2. PATCH OR REPAIR ELEMENTS AS REQUIRED TO MATCH EXISTING ADJACENT MATERIALS, FINISH, AND ASSEMBLY.

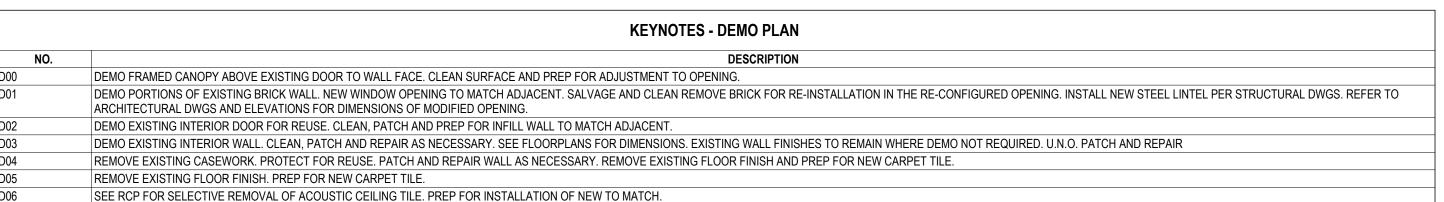
3. REPOINT ALL EXISTING BRICK TO REMAIN AS REQUIRED. 4. REPLACE DAMAGED AREAS OF BRICK ELEMENTS TO REMAIN AS REQUIRED.

DEMOLITION PLAN LEGEND











DO4: EXISTING MAIL ROOM CONDITIONS

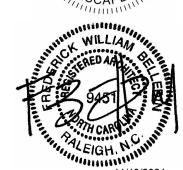
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BID DRAWINGS 11.13.2024

MORRISVILLE **TOWN HALL** REARRANGEMENTS

100 Town Hall Dr. Morrisville, NC 27560

No.	Description	Date

PROJECT DATA

CHECKED: Checker PROJECT NO: 2024_0095 PRINTING: BID DRAWINGS

DEMOLITION PLAN - TOWN HALL OFFICES

FLOOR PLAN / REFLECTED CEILING PLAN GENERAL NOTES

1-1. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.

1-2. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNER'S VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIO/VISUAL AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS AND THE OWNER'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO

PROCEEDING WITH THE WORK OR RELATED WORK.

1-3. EXISTING CONDITIONS FOR THE BUILDING AND/OR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING AND VERIFYING THE EXISTENCE AND LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, AND OTHER STRUCTURAL OR BUILDING DATUMS.

2-1. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.

2-2. WALLS SHOWN TO ALIGN ARE TO HAVE FINISHED FACES ALIGN UNLESS NOTED OTHERWISE.
2-3. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.
2-4. LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE DESCRIBED ARE EXACT. ALL

NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.

2-5. ANY DIMENSIONS OF OR TYING INTO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED PRIOR TO

COMMENCEMENT OF WORK. VERIFY WITH ARCHITECT.

3-1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.

3-2. THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION. ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF

3-3. THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL- AND CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETRY AND OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD OR 20ga METAL WITH A FLAME SPREAD AND SMOKE DEVELOPMENT RATING <25 IF THE PROJECT IS

IDENTIFIED AS A TYPE 1 OR TYPE 2 BUILDING IN THE CODE SUMMARY.

3-4. CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR AND REVIEWED AND COORDINATED W/ ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT PEOULIPED)

3-5. IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.

3-6. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.

3-7. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL ACT CEILING GRIDS SHALL BE CENTERED WITHIN EACH ROOM OR SPACE WITH NO CUT PERIMETER TILES TO BE <6".

3-8. ALL ELECTRICAL, CATV, AND TELEDATA OUTLETS TO BE LOCATED 16" O.C. ABOVE FINISH FLOOR UNLESS NOTED

OTHERWISE. ALL ELECTRICAL FIXTURES AT KITCHEN COUNTERS AND BATHROOM VANITIES TO BE LOCATED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL SWITCHES, THERMOSTATS, AND OTHER CONTROL DEVICES TO BE CENTERED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

3-9. UNLESS DIMENSIONED OR OTHERWISE NOTED, SET THE NEAREST EDGE OF SWITCHPLATES 24" FROM THE CENTER OF DOOR OPENINGS. AT ALL LOCATIONS WHERE MULTIPLE SWITCHES ARE SHOWN, THEY SHOULD BE GANGED UNLESS SPECIFICALLY NOTED OTHERWISE. IN ANY LOCATIONS WITH MULTIPLE DEVICES (ELECTRICAL OUTLETS, ELECTRICAL SWITCHES, HORN/STROBES, EMERGENCY LIGHTS, ETC), ALL DEVICES ARE TO BE CENTERED ON A VERTICAL AXIS

UNLESS SPECIFICALLY NOTED OTHERWISE.

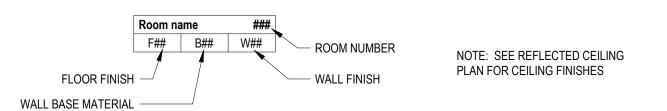
3-10. ACOUSTICAL INSULATION NOT SHOWN FOR CLARITY. REFER TO PARTITION TYPES FOR LOCATION OF ACOUSTICAL INSULATION.

3-11. ALL HINGE SIDE DOOR JAMBS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.

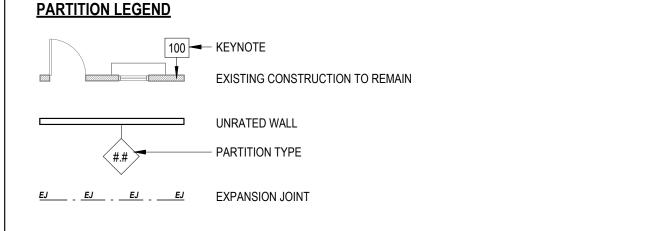
4-1. SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS **4-2.** SEE G001 FOR INTERIOR PARTITION TYPES.

FINISH PLAN NOTES

- SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS.
 FRAMES AND DOORS TO RECEIVE SEMI-GLOSS FINISH U.N.O.
- 3. IF NOT DEPOSITE OF MALE PLANS AT ARCHITECTURAL ELEMENTS WHERE SHOWN ON FINISH PLAN. I.E.
- 4. ALL PAINT FINISHES TO BE EGGSHELL U.N.O.
- PAINTED GUARDRAILS AND HANDRAILS TO BE SEMI-GLOSS FINISH.
 SEE DOOR SCHEDULE FOR FRAME AND DOOR COLORS.
- FINISH PLAN LEGEND

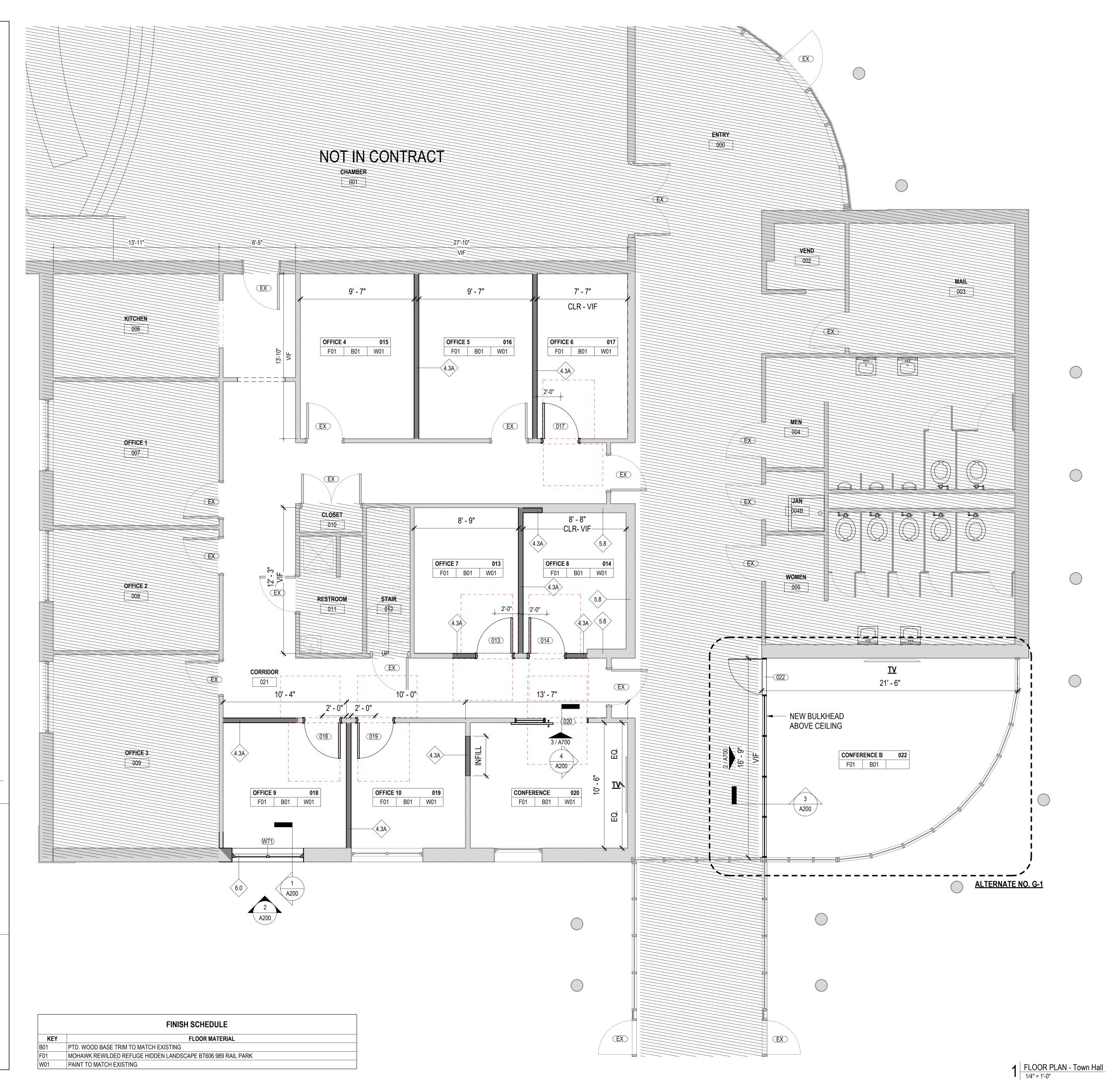


FINISH PLAN NOTES/LEGEND



WALL TYPES

4.3A	<u> </u>	WOOD STUD WALL (INFILL TO MATCH) - GWB - SOUND BATT
5.6		EXISTING 8" CMU WALL - HAT CHANNEL - GWB
6.0		EXTERIOR BRICK CAVITY WALL (INFILL TO MATCH)



CLEARSCAPES

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400-201 W. Morgan Street

Raleigh, NC 27603

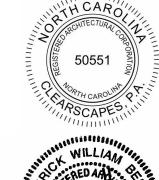
919-828-4966

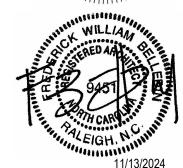
MEP Engineer
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Raleigh, NC 27603
919-835-9781 ext. 225

MJP@lighthouseengineering.com

Lucas@kaydos-daniels.com

SEAL:





BID DRAWINGS 11.13.2024

PROJECT

MORRISVILLE TOWN HALL REARRANGEMENTS

100 Town Hall Dr. Morrisville, NC 27560



DATE: 11.13.2024
DRAWN: Author
CHECKED: Checker

PROJECT NO: 2024_0095
PRINTING: BID DRAWINGS

SHEET DATA

TOWN HALL

RENOVATION -FLOOR PLAN

SHEET NO.

A100

FLOOR PLAN / REFLECTED CEILING PLAN GENERAL NOTES

1-1. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.

1-2. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNER'S VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIO/VISUAL AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS AND THE OWNER'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.

1-3. EXISTING CONDITIONS FOR THE BUILDING AND/OR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING AND VERIFYING THE EXISTENCE AND LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, AND OTHER STRUCTURAL OR BUILDING DATUMS.

2-1. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.

2-2. WALLS SHOWN TO ALIGN ARE TO HAVE FINISHED FACES ALIGN UNLESS NOTED OTHERWISE. 2-3. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS. **2-4.** LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE DESCRIBED ARE EXACT. ALL

NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS. 2-5. ANY DIMENSIONS OF OR TYING INTO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK. VERIFY WITH ARCHITECT.

3-1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.

3-2. THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION. ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR.

3-3. THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL- AND CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETRY AND OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD OR 20ga METAL WITH A FLAME SPREAD AND SMOKE DEVELOPMENT RATING <25 IF THE PROJECT IS IDENTIFIED AS A TYPE 1 OR TYPE 2 BUILDING IN THE CODE SUMMARY.

3-4, CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR AND REVIEWED AND COORDINATED W/ ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT REQUIRED)

3-5. IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.

3-6. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE. 3-7. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL ACT CEILING GRIDS SHALL BE CENTERED WITHIN EACH ROOM OR SPACE WITH NO CUT PERIMETER TILES TO BE <6 ".

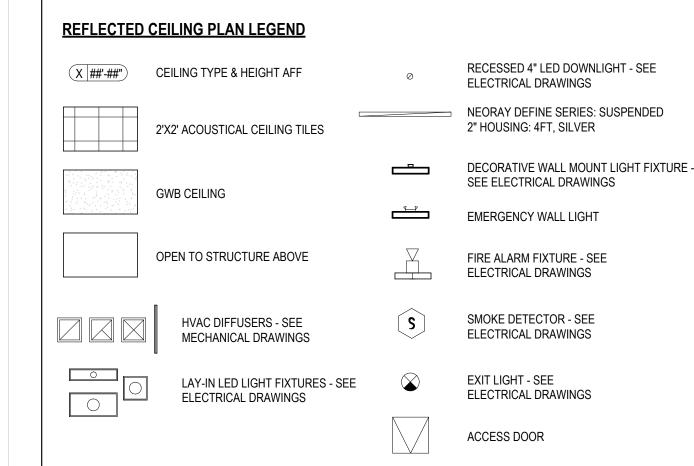
3-8. ALL ELECTRICAL, CATV, AND TELEDATA OUTLETS TO BE LOCATED 16" O.C. ABOVE FINISH FLOOR UNLESS NOTED

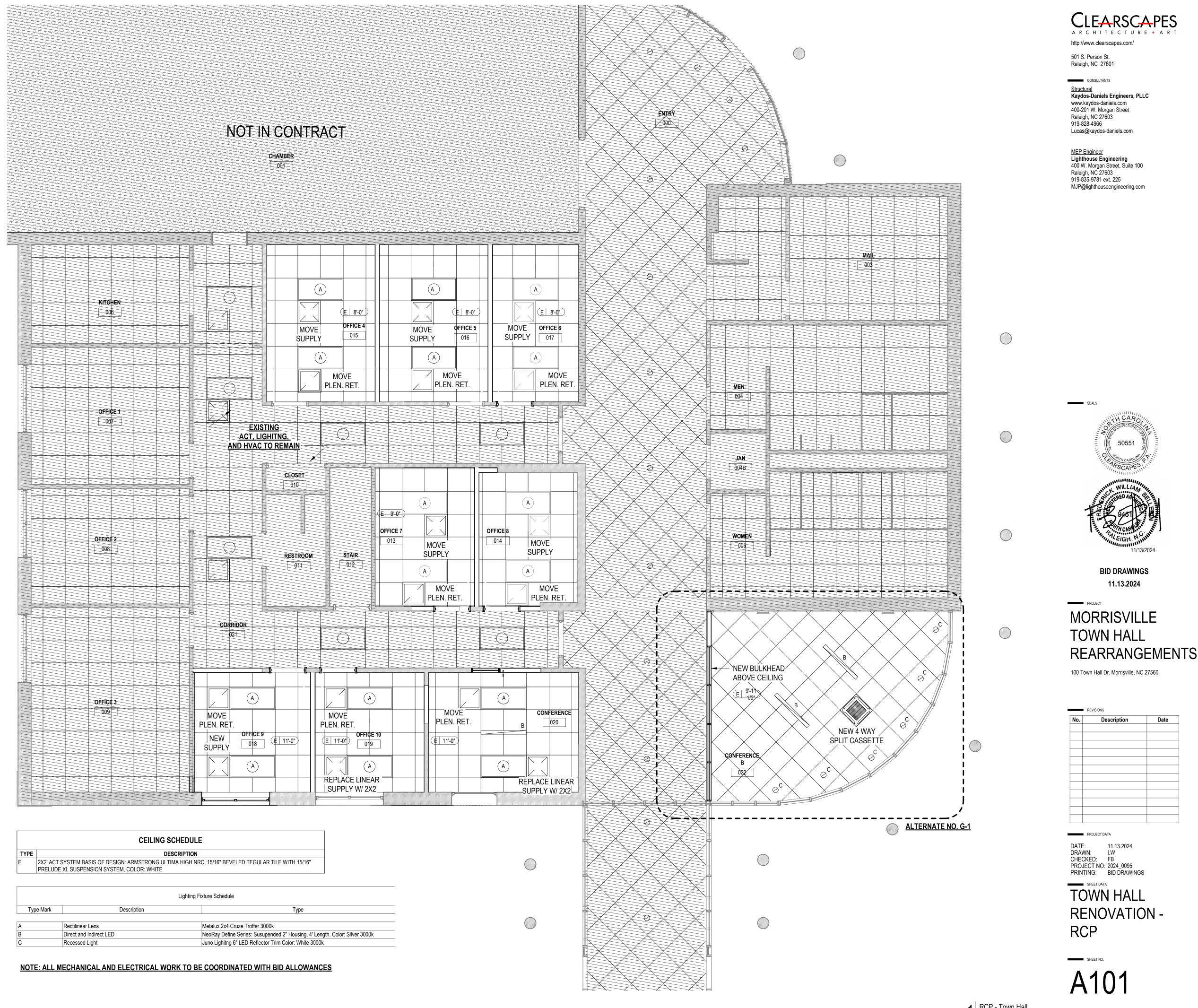
OTHERWISE. ALL ELECTRICAL FIXTURES AT KITCHEN COUNTERS AND BATHROOM VANITIES TO BE LOCATED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL SWITCHES, THERMOSTATS, AND OTHER CONTROL DEVICES TO BE CENTERED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. 3-9. UNLESS DIMENSIONED OR OTHERWISE NOTED, SET THE NEAREST EDGE OF SWITCHPLATES 24" FROM THE CENTER OF DOOR OPENINGS. AT ALL LOCATIONS WHERE MULTIPLE SWITCHES ARE SHOWN, THEY SHOULD BE GANGED UNLESS SPECIFICALLY NOTED OTHERWISE. IN ANY LOCATIONS WITH MULTIPLE DEVICES (ELECTRICAL OUTLETS, ELECTRICAL SWITCHES, HORN/STROBES, EMERGENCY LIGHTS, ETC), ALL DEVICES ARE TO BE CENTERED ON A VERTICAL AXIS UNLESS SPECIFICALLY NOTED OTHERWISE.

3-10. ACOUSTICAL INSULATION NOT SHOWN FOR CLARITY. REFER TO PARTITION TYPES FOR LOCATION OF ACOUSTICAL INSULATION.

3-11. ALL HINGE SIDE DOOR JAMBS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.

4-1. SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS 4-2. SEE G001 FOR INTERIOR PARTITION TYPES.





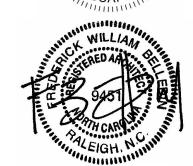
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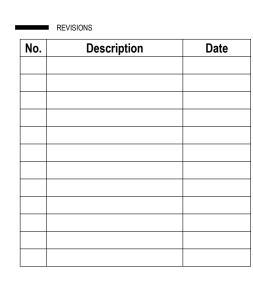




BID DRAWINGS 11.13.2024

MORRISVILLE

100 Town Hall Dr. Morrisville, NC 27560



PROJECT DATA

PROJECT NO: 2024_0095
PRINTING: BID DRAWINGS

TOWN HALL RENOVATION -

1 | RCP - Town Hall | 1/4" = 1'-0"

FLOOR PLAN / REFLECTED CEILING PLAN GENERAL NOTES

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RECESSED 4" LED DOWNLIGHT - SEE

DECORATIVE WALL MOUNT LIGHT FIXTURE -

ELECTRICAL DRAWINGS

2" HOUSING: 4FT, SILVER

EMERGENCY WALL LIGHT

FIRE ALARM FIXTURE - SEE ELECTRICAL DRAWINGS

SMOKE DETECTOR - SEE

ELECTRICAL DRAWINGS

ELECTRICAL DRAWINGS

EXIT LIGHT - SEE

ACCESS DOOR

SEE ELECTRICAL DRAWINGS

NEORAY DEFINE SERIES: SUSPENDED

UNLESS SPECIFICALLY NOTED OTHERWISE. **3-10.** ACOUSTICAL INSULATION NOT SHOWN FOR CLARITY. REFER TO PARTITION TYPES FOR LOCATION OF ACOUSTICAL INSULATION.

3-11. ALL HINGE SIDE DOOR JAMBS TO BE LOCATED 4" FROM ADJACENT WALL U.N.O.

4-1. SEE G001 FOR ADDITIONAL NOTES. SYMBOLS AND ABBREVIATIONS 4-2. SEE G001 FOR INTERIOR PARTITION TYPES

REFLECTED CEILING PLAN LEGEND

(X | ##-##") CEILING TYPE & HEIGHT AFF

GWB CEILING

2'X2' ACOUSTICAL CEILING TILES

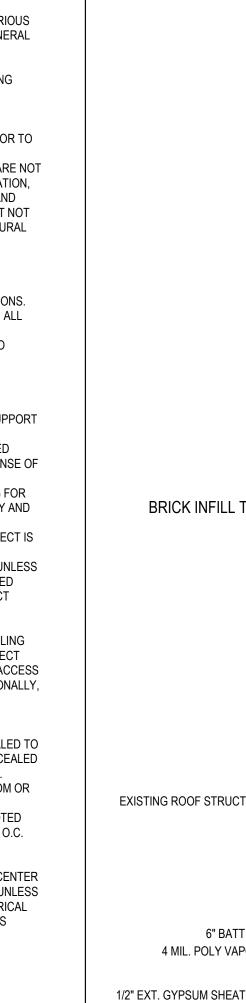
OPEN TO STRUCTURE ABOVE

HVAC DIFFUSERS - SEE

MECHANICAL DRAWINGS

ELECTRICAL DRAWINGS

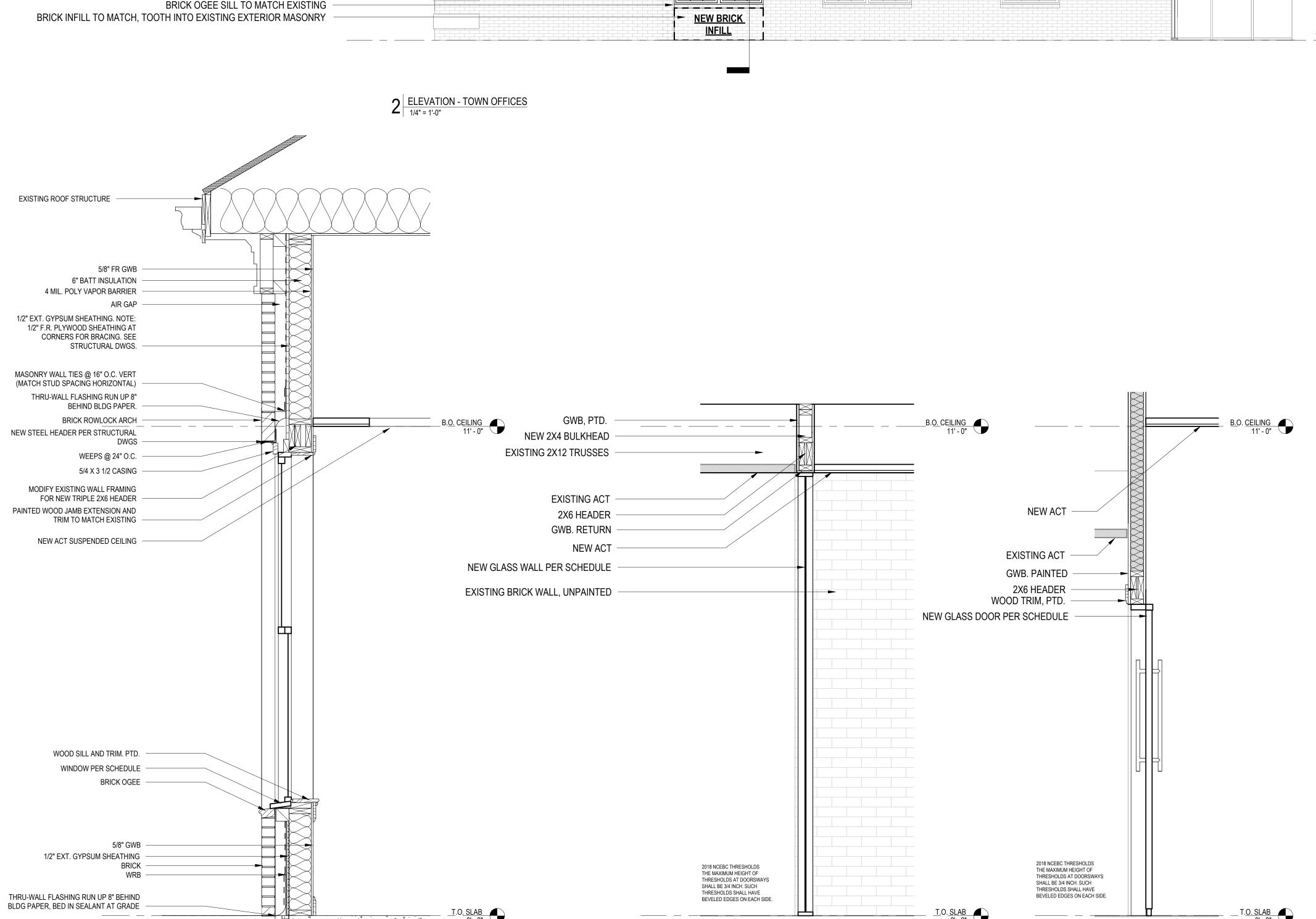
LAY-IN LED LIGHT FIXTURES - SEE



NEW ROWLOCK TO MATCH EXISTING

NEW STEEL LINTEL PER STRUCTURAL DWGS

NEW WINDOW PER SCHEULE, TO MATCH EXISTING



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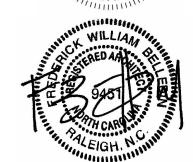
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MEP Engineer Lighthouse Engineering 400 W. Morgan Street, Suite 100 Raleigh, NC 27603 919-835-9781 ext. 225 MJP@lighthouseengineering.com

B.O. CEILING 11' - 0"

Lucas@kaydos-daniels.com





BID DRAWINGS 11.13.2024

MORRISVILLE TOWN HALL

REARRANGEMENTS

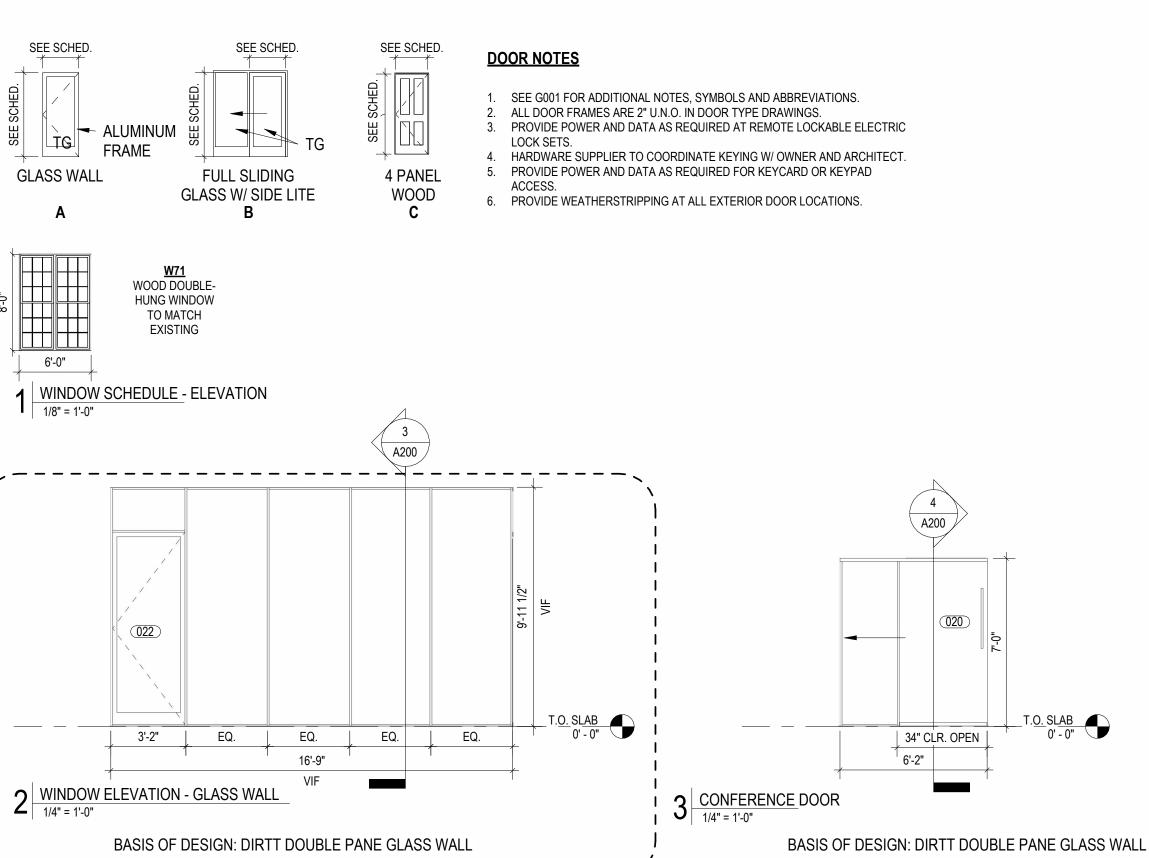
100 Town Hall Dr. Morrisville, NC 27560

PROJECT DATA

DRAWN: CHECKED: Checker PROJECT NO: 2024_0095
PRINTING: BID DRAWINGS

TOWN HALL RENOVATION -ELEVAT./SECTIONS

				DC	OOR SCHEDUL	E				
DOOR					DOOR			FRAME		
NUMBER	REUSE	TO ROOM: NAME	TYPE	WIDTH	HEIGHT	MATERIAL	TYPE	MATERIAL	FINISH DESCRIPTION	HARDWARE SET
013	REUSE EXIST	OFFICE 7	С	3' - 0"	7' - 0"	WOOD		WOOD	PAINTED	PRIVACY
014	REUSE EXIST	CORRIDOR	С	3' - 0"	7' - 0"	WOOD		WOOD	PAINTED	PRIVACY
017	NEW DOOR	OFFICE 6	С	3' - 0"	7' - 0"	WOOD		WOOD	PAINTED	PRIVACY
018	NEW DOOR	OFFICE 9	С	3' - 0"	7' - 0"	WOOD		WOOD	PAINTED	PRIVACY
019	REUSE EXIST	OFFICE 10	С	3' - 0"	7' - 0"	WOOD		WOOD	PAINTED	PRIVACY
020	NEW DOOR	CONFERENCE	В	3' - 6 1/4"	7' - 0"	ALUM & GLASS		METAL	ANODIZED CLEAR	PRIVACY
022	NEW DOOR	CONFERENCE B	А	3' - 0"	8' - 0"	ALUM. & GLASS		METAL	BLACK	PRIVACY
ALTERNA	ATE NO G-1									



ALTERNATE NO G-1

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SEALS





BID DRAWINGS 11.13.2024

PROJECT

MORRISVILLE TOWN HALL REARRANGEMENTS

100 Town Hall Dr. Morrisville, NC 27560

No.	Description	Date		

PROJECT DATA

DATE: 11.13.2024
DRAWN: LW
CHECKED: FB
PROJECT NO: 2024_0095
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TOWN HALL RENOVATION -SCHEDULES

SHEET NO

A700