

PROJECT FOR:
HARMAN RESIDENCE

967 PARKERTOWN RD.
 HUBERT, NC 28539

SHEET INDEX:

- TITLE SHEET
- PG. 1 - ELEVATIONS
- PG. 2 - FLOOR PLANS
- PG. 3 - FOUNDATION, DETAILS & NOTES



PERMIT # RBLD2025-00181

DATE Feb 20, 2025

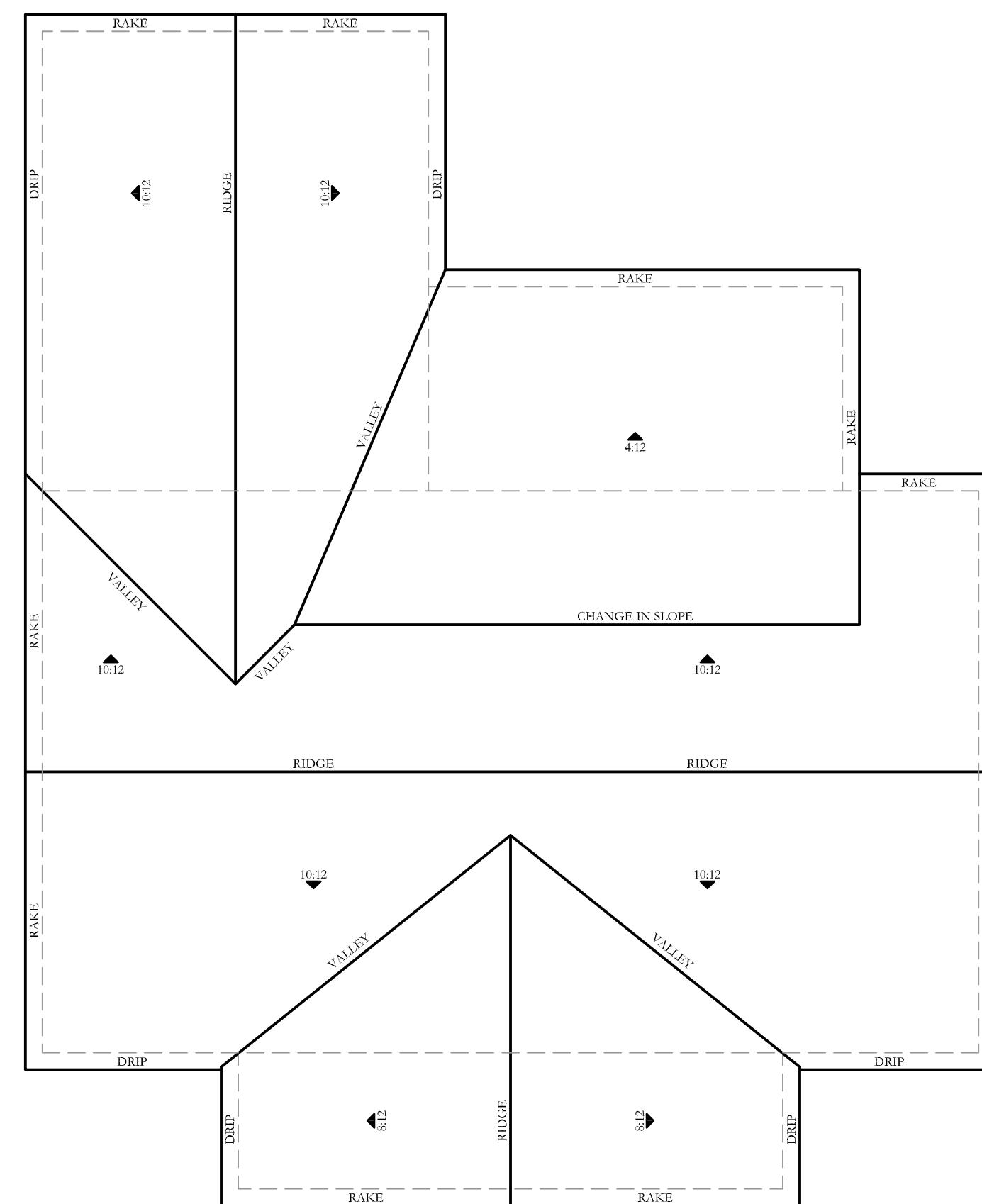
STAMP AFFIXED PLANS FOR THIS JOB MUST BE ON SITE AT ALL TIMES. ALL FEDERAL, STATE, AND COUNTY CODES, ORDINANCES AND REGULATIONS, ETC, SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.

HARMAN RESIDENCE

1,815 HEATED SQ. FT.



FRONT ELEVATION



ROOF PLAN
 SCALE: 1/4" = 1'-0"

ROOF LEGEND
 - - - - - OUTLINE OF FIRST FLOOR

TYPICAL 1'-0" OVERHANG. 1'-6" OVERHANG WHERE BRICK VENEER IS USED. VERIFY BRICK LOCATIONS WITH CONTRACTOR PRIOR TO TRUSS CONSTRUCTION

VERIFY LOCATION OF MECHANICAL UNIT AND LIGHT ATTIC STORAGE SPACE WITH CONTRACTOR PRIOR TO TRUSS CONSTRUCTION.

CATHEDRAL CEILINGS, VAULTED CEILINGS AND/OR CEILING TREYS AS NOTED ON FLOOR PLAN.

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICES.

NEITHER CONNER DRAFTING & DESIGN NOR ANY OF ITS SUB-CONTRACTORS ARE RESPONSIBLE FOR ANY PROBLEMS DUE TO HUMAN ERROR AND/OR OMISSIONS ON THESE DOCUMENTS. IT IS THE OWNER AND/OR CONTRACTORS RESPONSIBILITY TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS PRIOR TO CONSTRUCTION. IF ANY PROBLEMS ARE FOUND IN THE REVIEW PLEASE NOTIFY CONNER DRAFTING AND DESIGN PRIOR TO BEGINNING CONSTRUCTION SO ANY REVISIONS CAN BE MADE.

CONNER DRAFTING & DESIGN

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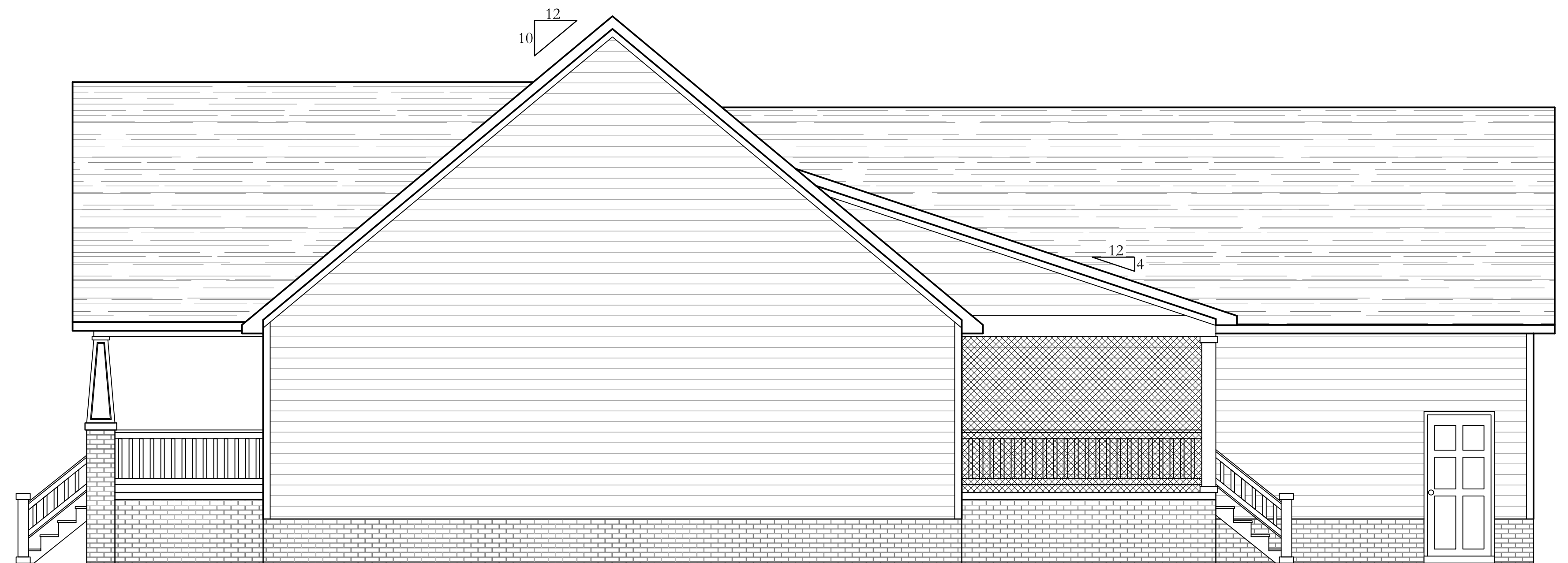
FRONT ELEVATION
SCALE=1/4"=1'-0"



LEFT ELEVATION
SCALE=1/4"=1'-0"



REAR ELEVATION
SCALE=1/4"=1'-0"



RIGHT ELEVATION
SCALE=1/4"=1'-0"

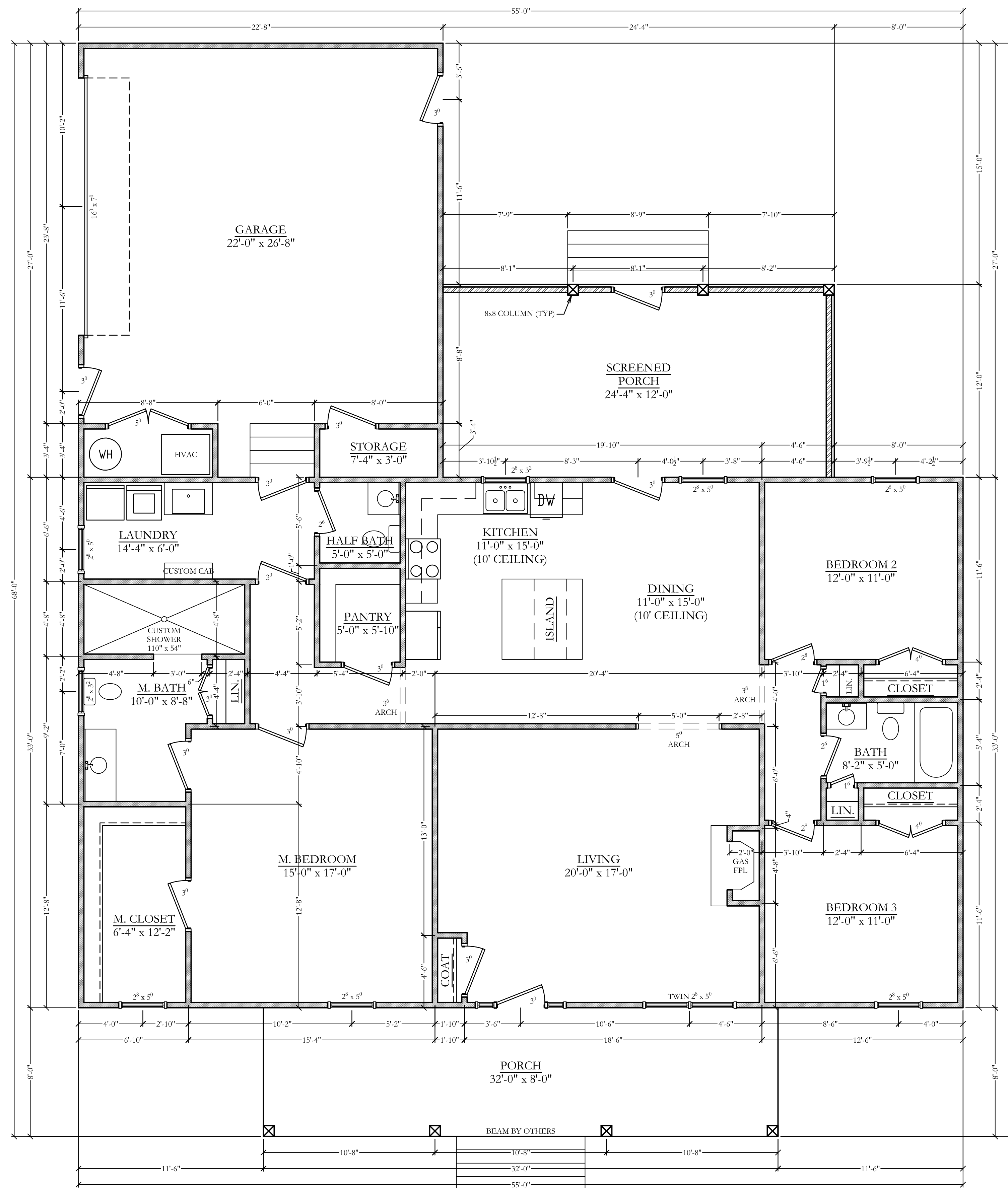
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ELEVATIONS ARE FOR CONCEPTUAL PURPOSES ONLY. FINISHED PRODUCT MAY VARY DUE TO SITE CONDITIONS AND/OR MATERIALS USED BY CONTRACTOR DURING CONSTRUCTION.

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|--|-------------------------------|--|--|-----------------------------|
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| | PLAN: HARMAN RESIDENCE | HARMAN RESIDENCE 967 PARKERTOWN RD. HUBERT, NC 28539 | | |



FIRST FLOORPLAN
 SCALE: 1/4" = 1'-0"
 (8' CEILING)
 (10' CEILING IN KITCHEN & DINING)

SQUARE FOOTAGE CALCULATIONS

| | |
|------------------------|----------------------|
| FIRST FLOOR: | |
| • HEATED | 1,815 SQ. FT. |
| • GARAGE | 612 SQ. FT. |
| • PORCH | 256 SQ. FT. |
| • SCREENED PORCH | 292 SQ. FT. |
| TOTAL | 1,815 SQ. FT. |

FRAMING LEGEND

| | |
|--|------------------------|
| | 4" WALL |
| | 6" WALL |
| | 8" BLOCK WALL |
| | KNEEWALL |
| | RAILING |
| | EDGE OF BUILDING BELOW |

ALL DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR WALLS AND CENTER LINE OF INTERIOR WALLS. ALL EXTERIOR DOOR AND WINDOWS ARE LOCATED BY THEIR APPROXIMATE CENTER. ALL DOOR AND WINDOW SIZES ARE LABELED BY THEIR NOMINAL SIZE. VERIFY ALL DIMENSIONS AND CONTACT CONNER DRAFTING & DESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

TYPICAL CEILING HEIGHT OF 8'-0" ON FIRST FLOOR AND 9'-0" ON ADDITIONAL FLOORS UNLESS OTHERWISE NOTED.

CATHEDRAL CEILINGS, VAULTED CEILINGS AND/OR CEILING TREYS AS NOTED ON FLOOR PLAN.

CONTRACTOR TO VERIFY THAT WINDOWS MEET EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS IN EACH SLEEPING ROOM AND LIGHT/VENTILATION REQUIREMENTS (R303) IN EACH HABITABLE ROOM.

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICES.

NEITHER CONNER DRAFTING & DESIGN NOR ANY OF ITS SUB-CONTRACTORS ARE RESPONSIBLE FOR ANY PROBLEMS DUE TO HUMAN ERROR AND/OR OMISSIONS ON THESE DOCUMENTS. IT IS THE OWNER AND/OR CONTRACTORS RESPONSIBILITY TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS PRIOR TO CONSTRUCTION. IF ANY PROBLEMS ARE FOUND IN THE REVIEW PLEASE NOTIFY CONNER DRAFTING AND DESIGN PRIOR TO BEGINNING CONSTRUCTION SO ANY REVISIONS CAN BE MADE.

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| | <p>PLAN: HARMAN RESIDENCE</p> | <p>CDD CONNER DRAFTING + DESIGN</p> | |
| <p>DATE: 09.11.24</p> | <p>SCALE: 1/4"=1'-0"</p> | <p>DRAWN BY: CDD</p> | <p>FILENAME: 24-03-HARMAN, KATHLEEN.DWG</p> |
| <p>HARMAN RESIDENCE 967 PARKERTOWN RD. HUBERT, NC 28539</p> | | <p>P.O. BOX 617 RICHLANDS, NC 28574 PHONE: 910.324.2879 FAX: 910.324.3180 E-MAIL: CONNER_DRAFTING@YAHOO.COM</p> | <p>© 2024 CDD SHEET: 2 OF 3</p> |

STRUCTURAL NOTES

GENERAL:

- IF ANY CONFLICTS OR DISCREPANCIES ARE DISCOVERED BETWEEN THESE DRAWINGS AND THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION (HEREIN REFERRED TO AS CODE), THEN CONTACT THE DESIGNER FOR CLARIFICATION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- STRUCTURE LOCATED IN ANY FLOOD ZONE, HIGH HAZARD AREA, OR OCEAN HAZARD AREA MAY REQUIRE CERTIFICATION BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA.
- METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING ALL STAGES OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED.
- CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ANY EXISTING UTILITIES PRIOR TO BEGINNING WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION, AND SHALL MEET THE REQUIREMENTS OF CHAPTER 45 HIGH WIND ZONES (AND CHAPTER 46 WHERE APPLICABLE) IN ADDITION TO ANY LOCAL CODES AND REGULATIONS. REFER TO CODE FOR DETAILS AND/OR REQUIREMENTS NOT SHOWN ON THESE DRAWINGS.
- ALL WINDOWS AND DOORS SHALL MEET OR EXCEED THE DESIGN PRESSURE REQUIREMENTS SPECIFIED IN CODE.
- CONTRACTOR TO VERIFY THAT WINDOWS MEET EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS IN EACH SLEEPING ROOM AND LIGHT/VENTILATION REQUIREMENTS (R303) IN EACH HABITABLE ROOM.
- LOCAL OR STATE LAWS MAY REQUIRE THAT THIS PLAN BE CERTIFIED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE WHERE THIS PLAN IS BEING CONSTRUCTED, IF BUILDING OUTSIDE OF NORTH CAROLINA.

FRAMING NOTES:

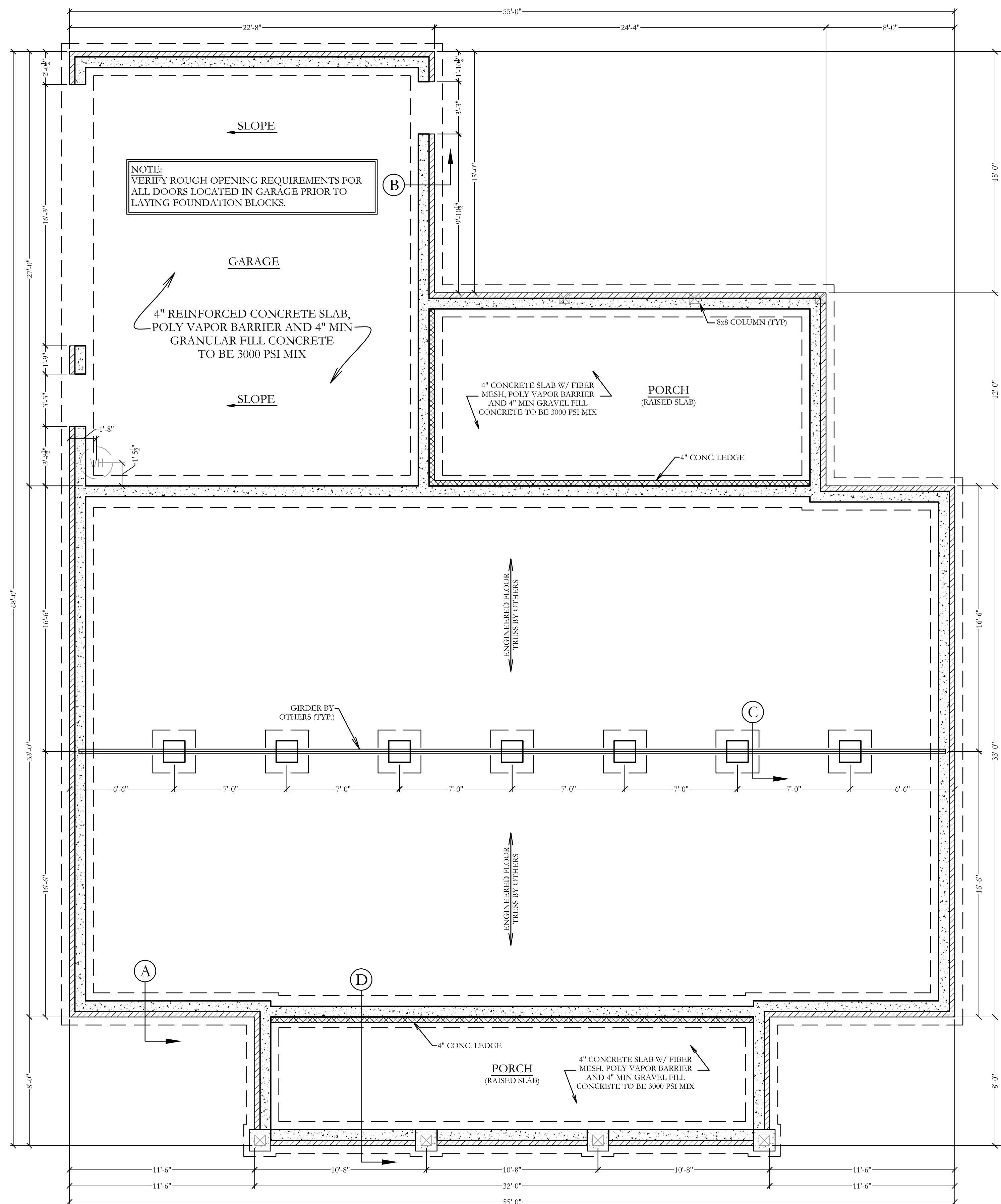
- U.N.O. ALL WOOD MEMBERS (OTHER THAN LVL'S) SHALL BE SPRUCE-PINE-FUR #2 OR BETTER. IF ANY WOOD MEMBER IS EXPOSED TO THE ELEMENTS, THEN IT SHALL BE TREATED.
- ALL TREATED WOOD MEMBERS SHALL BE TREATED IN ACCORDANCE WITH CODE.
- ALL WORK IS TO BE IN STRICT ACCORDANCE WITH THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION, (CODE) INCLUDING WOOD CONNECTIONS AND DETAILS NOT SHOWN.
- ALL HARDWARE/FASTENERS EXPOSED TO THE WEATHER SHALL BE HOT-DIPPED GALVANIZED. INSTALL CONNECTORS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL MEMBERS SHALL BE FASTENED PER CODE.
- DO NOT USE DEFECTIVE LUMBER.
- ALL BEAMS BY OTHERS SHOWN ON THIS PLAN ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA. (OR THE STATE IN WHICH THE PLAN IS BEING CONSTRUCTED)
- PROVIDE WALL BRACING AND BLOCKING FOR HIGH WIND ZONES IN ACCORDANCE WITH CODE.
- ALL SHEATHING SHALL BE APA RATED STRUCTURAL PANELS. USE TREATED CDX PLYWOOD FOR AREAS WITH POSSIBLE EXPOSURE TO INCREASED MOISTURE SUCH AS DECK AREAS, PORCH AREAS AND AREAS ADJACENT TO GRADE.
- ALL POINT LOADS FROM BEAM, GIRDERS, COLUMNS, ETC. ARE TO BE CAVED FROM THE POINT LOAD THROUGH THE FLOOR CAVITIES AND THROUGH WALL CAVITIES BELOW TO THE FOUNDATION. A CONTINUOUS LOAD PATH USING JACK STUDS, BLOCKING, ETC. MUST BE BUILT INTO THE STRUCTURE.
- EVERY TRUSS/RAFTER SHALL BE CONNECTED TO THE DOUBLE TOP PLATE (OR BAND) WITH THE SPECIFIED HURRICANE TIE. STRUCTURAL SHEATHING SHALL RUN CONTINUOUSLY OVER THE DOUBLE TOP PLATE (OR BAND) ALL THE WAY DOWN TO THE FOUNDATION AS SHOWN, SO THAT THERE IS CONTINUOUS LOAD PATH FROM THE ROOF TO THE FOUNDATION CAPABLE OF RESISTING UPLIFT FORCES.
- U.N.O., ALL HEADERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CODE.
- CONSTRUCT/INSTALL ALL LVL'S IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SPECIAL ATTENTION IS DIRECTED TO THE MANUFACTURER'S REQUIREMENTS FOR FASTENING TOGETHER MULTIPLE MEMBERS, NOTCHING AND/OR CUTTING OF MEMBERS, CONNECTION REQUIREMENTS AND MINIMUM BEARING REQUIREMENTS.
- PRE-ENGINEERED TRUSSES SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH TRUSS PLATE INSTITUTE (T.P.I.) STANDARDS. TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS THAT CLEARLY INDICATE BRACING SIZES AND LOCATIONS. SHOULD TRUSS MANUFACTURER HAVE ANY QUESTIONS REGARDING LOAD POINTS, REACTIONS, ETC., THEN TRUSS DESIGNER SHALL CONTACT A PROFESSIONAL ENGINEER REGISTERED IN NORTH CAROLINA FOR CLARIFICATION.
- TRUSSES SHALL BE DESIGNED TO BEAR ON EXTERIOR WALLS ONLY UNLESS BEARING WALL IS SUPPORTED BY A THICKENED LUG FOOTING. THERE SHALL BE NO SIGNIFICANT LOADING POINTS ON INTERIOR NON-LOAD BEARING WALLS.

FOUNDATION NOTES:

- FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 PSF.
- IF FOUNDATION IS BEARING ON FILL SOILS, FILL MUST BE SUITABLE STRUCTURAL FILL COMPACTED TO A MIN. OF 95% STANDARD PROCTOR. DEGREE OF SOIL COMPACTION TO BE VERIFIED BY AN ENGINEER.
- BACKFILL AT FOUNDATION SHALL BE GRADED SO THAT WATER FLOWS AWAY FROM FOUNDATION. MAINTAIN A MIN. 8" CLEAR BETWEEN THE EXTERIOR GRADE ELEVATION AND THE LOWEST WOOD MEMBER IN THE STRUCTURE.
- CONCRETE FOR PATIOS OR OTHER ANCILLARY SLAB/FOOTINGS SHALL BE POURED IN A SEPARATE POUR FROM THE MAIN STRUCTURE.
- A MINIMUM OF 4" CLEAN SAND OVERLAIN BY 6 MIL POLY VAPOR BARRIER SHALL BE PLACED BENEATH CONCRETE SLABS-ON-GRADE.
- BOTTOMS OF FOOTINGS TO BE BELOW FROSTLINE. (MIN. 12" PER CODE)
- REBAR IN FOOTINGS SHALL BE CONTINUOUS OR LAPPED 25" AT ALL SPLICES.

CONCRETE NOTES:

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
- CONTRACTOR TO PROVIDE WEATHER PROTECTION AFTER EACH POUR, IF REQUIRED.
- ALL REINFORCING STEEL BARS SHALL BE GRADE 60 AND BE FREE OF DEBRIS. MAINTAIN A MIN. OF 3" CLEAR COVER WHEN CONCRETE IS EXPOSED TO WEATHER OR SOIL. CLEAR COVER MAY BE REDUCED TO 2" FOR GALVANIZED STEEL ANCHOR RODS.
- IF APPLICABLE, WELDED WIRE FABRIC (W.W.F.) SHALL BE 6x6 #10x10 OR EQUIVALENT DESIGNATION.
- CONCRETE SLAB-ON-GRADE CONTROL JOINTS SHALL BE CONSTRUCTED IN SUCH A WAY TO MINIMIZE CRACKING, BUT IN NO CASE SHALL JOINTS BE SPACED AT INTERVALS GREATER THAN 10' IN ANY DIRECTION. CONSTRUCT ISOLATION JOINTS WHERE NEW POURS ADJOIN EXISTING CONCRETE POURS OR OTHER FIXED COMPONENTS SUCH AS DRIVEWAYS, PATIOS, WALLS, ETC. SAW JOINTS SHALL HAVE DEPTH OF 1/4 THE THICKNESS OF THE SLAB.
- GARAGE FLOOR SHALL SLOPE TOWARDS GARAGE DOOR OPENING IN ACCORDANCE WITH CODE. GARAGE FLOOR MAY BE RAMPED AT DOOR ENTERING HABITABLE AREA IN ORDER TO MEET THRESHOLD REQUIREMENTS BELOW FROSTLINE (MIN 12" PER CODE)

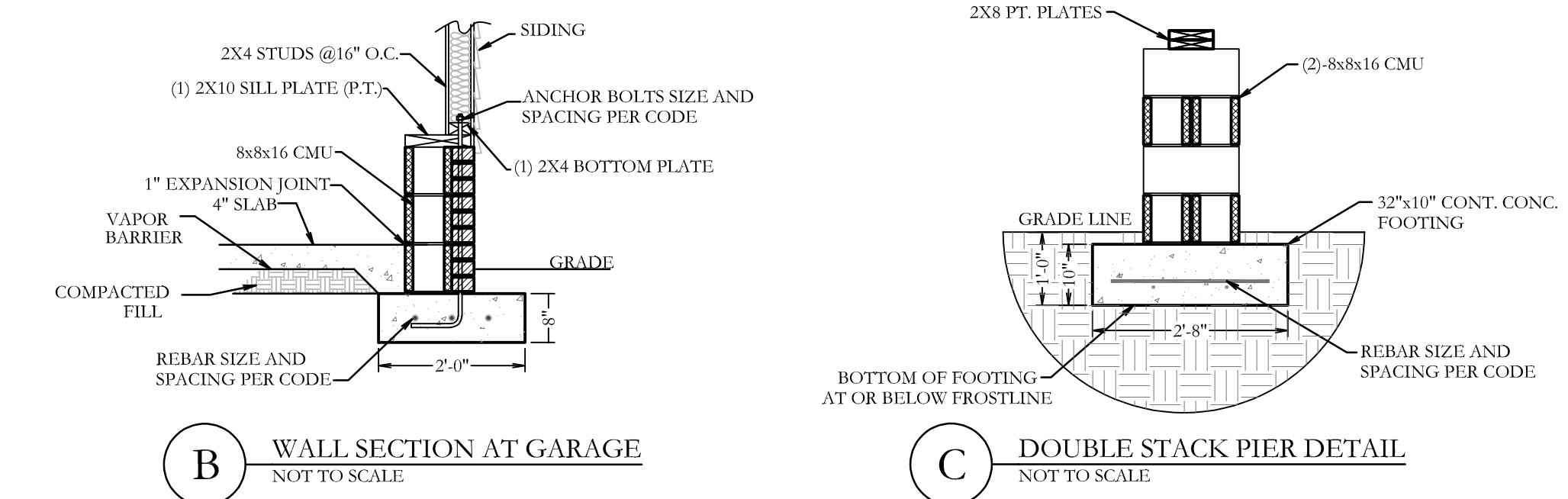


FOUNDATION PLAN

SCALE: 1/4"=1'-0"

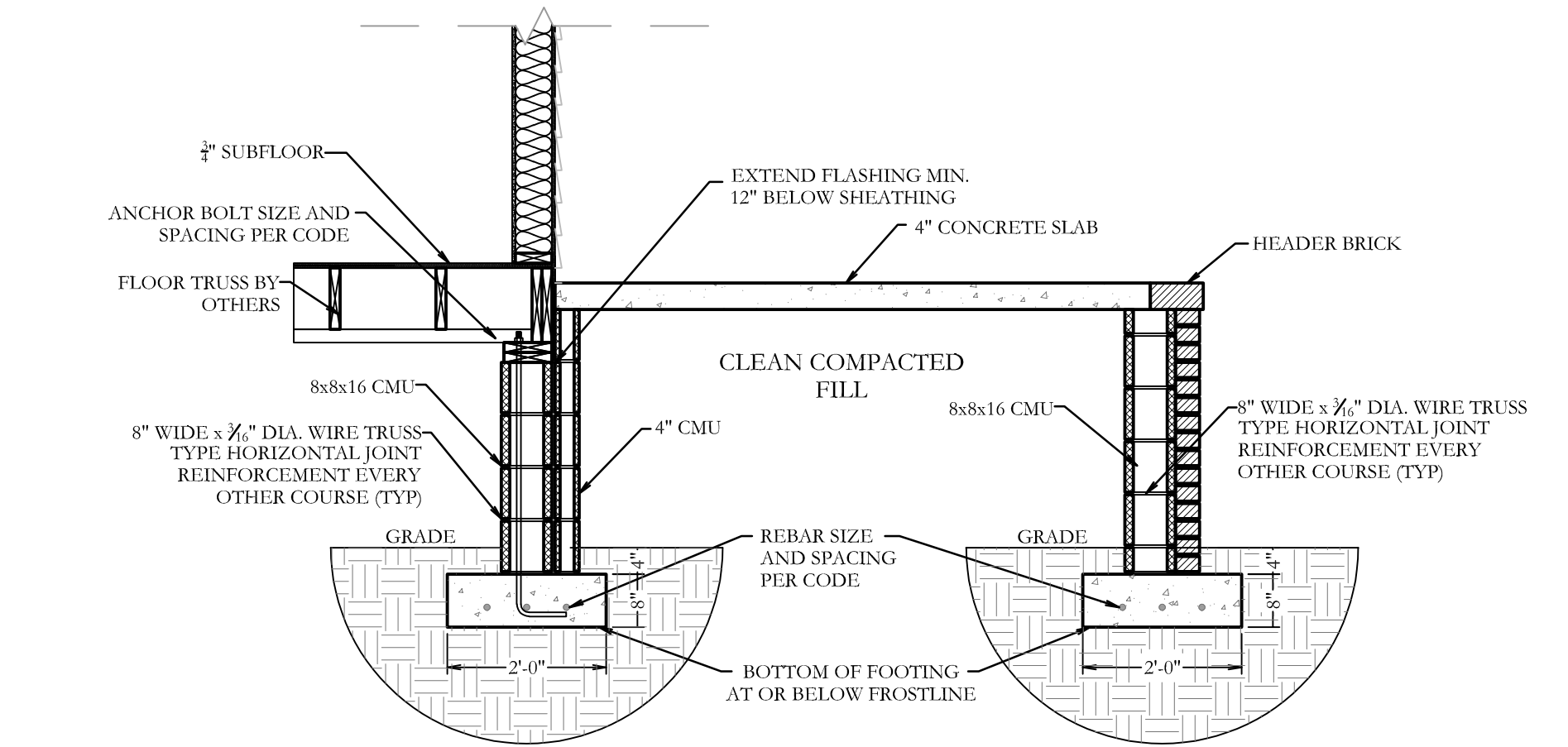
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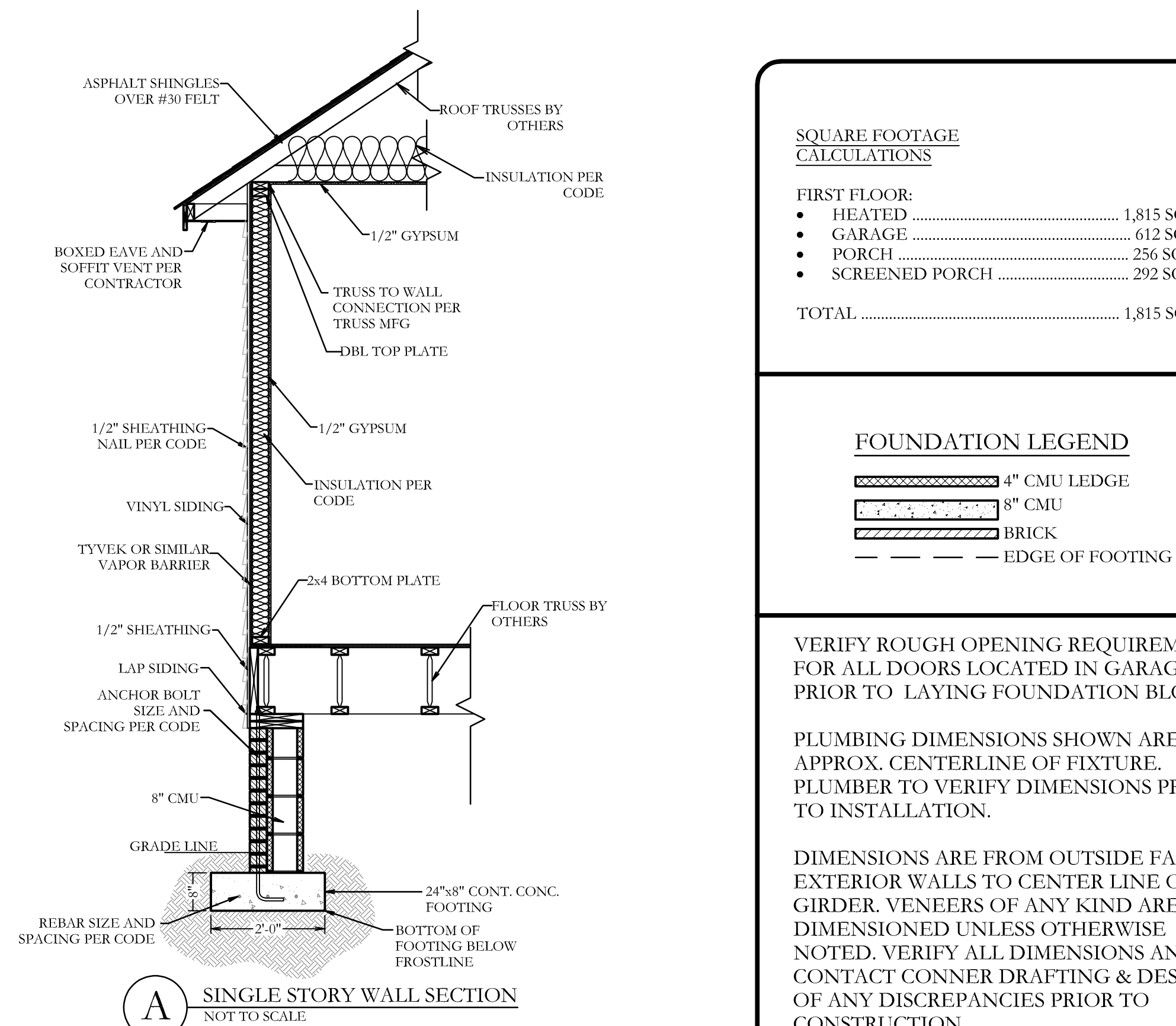


B WALL SECTION AT GARAGE
NOT TO SCALE

C DOUBLE STACK PIER DETAIL
NOT TO SCALE



D RAISED SLAB DETAIL
SCALE: NTS

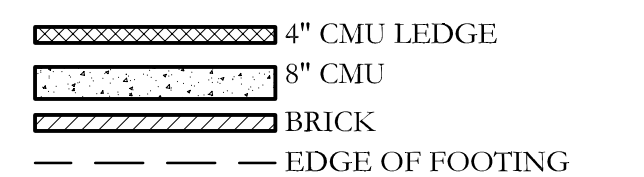


A SINGLE STORY WALL SECTION
NOT TO SCALE

SQUARE FOOTAGE CALCULATIONS

| FIRST FLOOR: | |
|------------------------|----------------------|
| • HEATED | 1,815 SQ. FT. |
| • GARAGE | 612 SQ. FT. |
| • PORCH | 256 SQ. FT. |
| • SCREENED PORCH | 292 SQ. FT. |
| TOTAL | 1,815 SQ. FT. |

FOUNDATION LEGEND



VERIFY ROUGH OPENING REQUIREMENTS FOR ALL DOORS LOCATED IN GARAGE PRIOR TO LAYING FOUNDATION BLOCKS.

PLUMBING DIMENSIONS SHOWN ARE TO APPROX. CENTERLINE OF FIXTURE. PLUMBER TO VERIFY DIMENSIONS PRIOR TO INSTALLATION.

DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR WALLS TO CENTER LINE OF GIRDER. VENEERS OF ANY KIND ARE NOT DIMENSIONED UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS AND CONTACT CONNER DRAFTING & DESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

CONTRACTOR TO REVIEW TRUSS DRAWINGS (BY OTHERS) TO VERIFY POINT LOADS, GRAVITY LOADS, OR UPLIFT LOADS THAT MAY REQUIRE ADDITIONAL LUG FOOTINGS OTHER THAN THOSE ON THIS PLAN PRIOR TO CONSTRUCTION.

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| <p>DATE: 09.11.24</p> <p>SCALE: AS SHOWN</p> | <p>DRAWN BY: CDD</p> <p>FILENAME: 24_021_HARMAN_3_ATHLETES.MXD</p> | |