



ADDENDUM NO. 2

ISSUE DATE:

March 18, 2025

FROM:

Charter Construction Services, Inc.
2801-C Nash St N.
Wilson, NC 27896
Ph: 252-265-0035
Fax: 252-265-0036
Email: Monica@TheCharterCompanies.com

PROJECT:

Improvements to Fire Station 4
109 Forest Hills Rd NW,
Wilson NC 27893

BID OPENING:

2:00pm on March 20, 2025


BID OPENING LOCATION:

Fire Station 4
109 Forest Hills Rd NW
Wilson, NC 27893

This addendum becomes a part of the Bid and Contract Documents and modifies the original Bid Documents dated 02-18-2025 and Original Plans dated 01-10-2025, as noted below. Acknowledge receipt of this Addendum by inserting the number and issue date of this addendum in the blank space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

- 1 – Contractor to remove, clean and reinstall existing window blinds.
- 3 – RFI Log, Dated 03/18/2025
- 2 – Revised Sheets LS-1, B-1, B-2, and P-1

Improvements to Fire Station 4
109 Forest Hills Rd NW, Wilson NC 27893
March 18, 2025

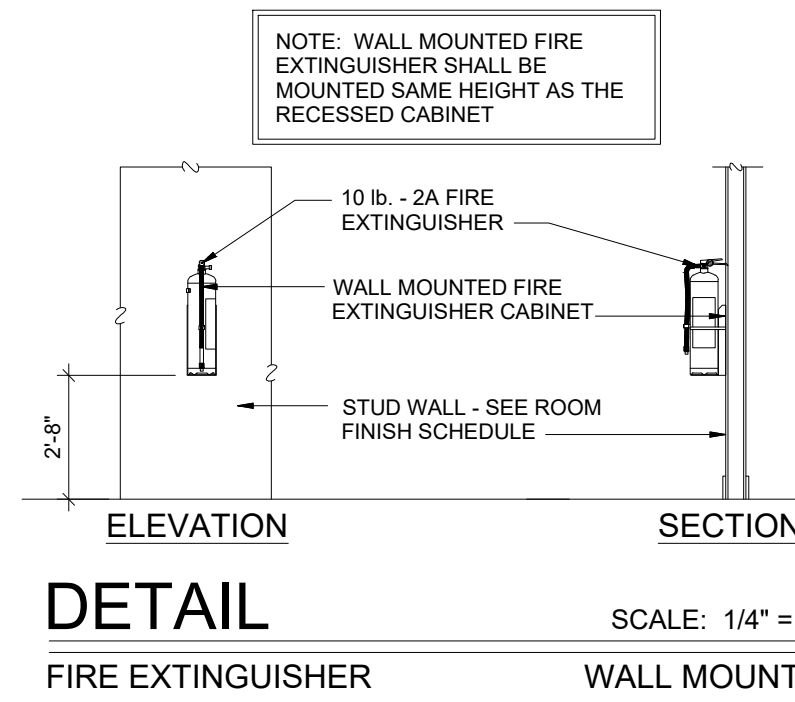
RFI #	QUESTION	ANSWER
1	Please clarify any new doors or hardware. Hardware schedule is confusing.	No new doors or hardware
2	Suggest 60 day duration increase.	Not at this time.
3	Building assumed to be empty during construction.	Yes, owner will remove all furniture prior to construction.
4	Masonry patch details needed.	Cut out and replace birck with like kind brick and mortar
		
5	Testing	Testing by owner, GC to coordinate during construction.
6	Utilities	Utilities by owner
7	Is professional photo documentation required?	Not required.
8	Slab thickness of concrete in truck bay	6" concrete slab-on-grade w/ #3 rebar 16" O.C.
9	Are the ceilings in the offices and closet to be painted?	Yes, all ceilings to be painted
10	Landscaping	No landscaping in scope
11	Exterior Paint	Anything that is existing and already painted to be painted.
12	Will furniture be removed prior to construction	Yes, owner will remove all furniture prior to construction.
13	Sub-contractor pre-bid meeting	A sub-contractor walk-through has been set for March 6, 2025 from 10:00am - 11:00am

Improvements to Fire Station 4
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14	My suppliers and I cannot seem to find a combo smoke/carbon/ heat detector. We can only find smoke/carbon.	A smoke/carbon detector will suffice for all areas except the kitchen. The kitchen requires a heat detector.
15	There is a door hardware schedule on sheet B-3. Aren't all the doors and hardware to remain?	Yes, existing to remain
16	And the kitchen cabinetry to remove/reinstall ?	Correct
17	Are the toilet accessories to be new?	Only in Toilet 3, all others existing to remain
18	What we should price for ACT? Plans/specs do not provide any info for Basis of Design.	Refer to Finish Specifications on B-3 and Project Manual.

LEGEND	
SYMBOL	DESCRIPTION
FE AND/OR FEC	ABC TYPE FIRE EXTINGUISHER
	ROUTE OF EXIT ACCESS TRAVEL DISTANCE
	PROPOSED COMBINATION EXIT AND EMERGENCY LIGHT
	PROPOSED EMERGENCY LIGHT WITH BATTERY BACKUP, 120V

OCCUPANT DOOR LOAD DATA											
DOOR NUMBER	REQ'D EXIT	CLEAR DOOR WIDTH	EGRESS WIDTH PER OCCUPANT	MAX OCCUPANT LOAD	ACTUAL OCCUPANT LOAD	PERCENTAGE OF REQ'D CAPACITY	PANIC HARDWARE REQ'D	DELAYED EGRESS LOCKS	AMOUNT OF TIME DELAY	ELECTRO-MAGNETIC LOCKS	HOLD OPEN DEVICE
-	YES	34"	0.2"	28	6	100%	NO	NO	N/A	NO	NO
-	YES	34"	0.2"	28	6	100%	NO	NO	N/A	NO	NO
-	YES	34"	0.2"	28	6	100%	NO	NO	N/A	NO	NO
-	YES	34"	0.2"	28	6	100%	NO	NO	N/A	NO	NO
-	YES	34"	0.2"	28	6	100%	NO	NO	N/A	NO	NO
-	YES	34"	0.2"	11	2	100%	NO	NO	N/A	NO	NO
-	YES	34"	0.2"	7	4	100%	NO	NO	N/A	NO	NO
-	YES	34"	0.2"	7	4	100%	NO	NO	N/A	NO	NO
-	YES	34"	0.2"	7	4	100%	NO	NO	N/A	NO	NO

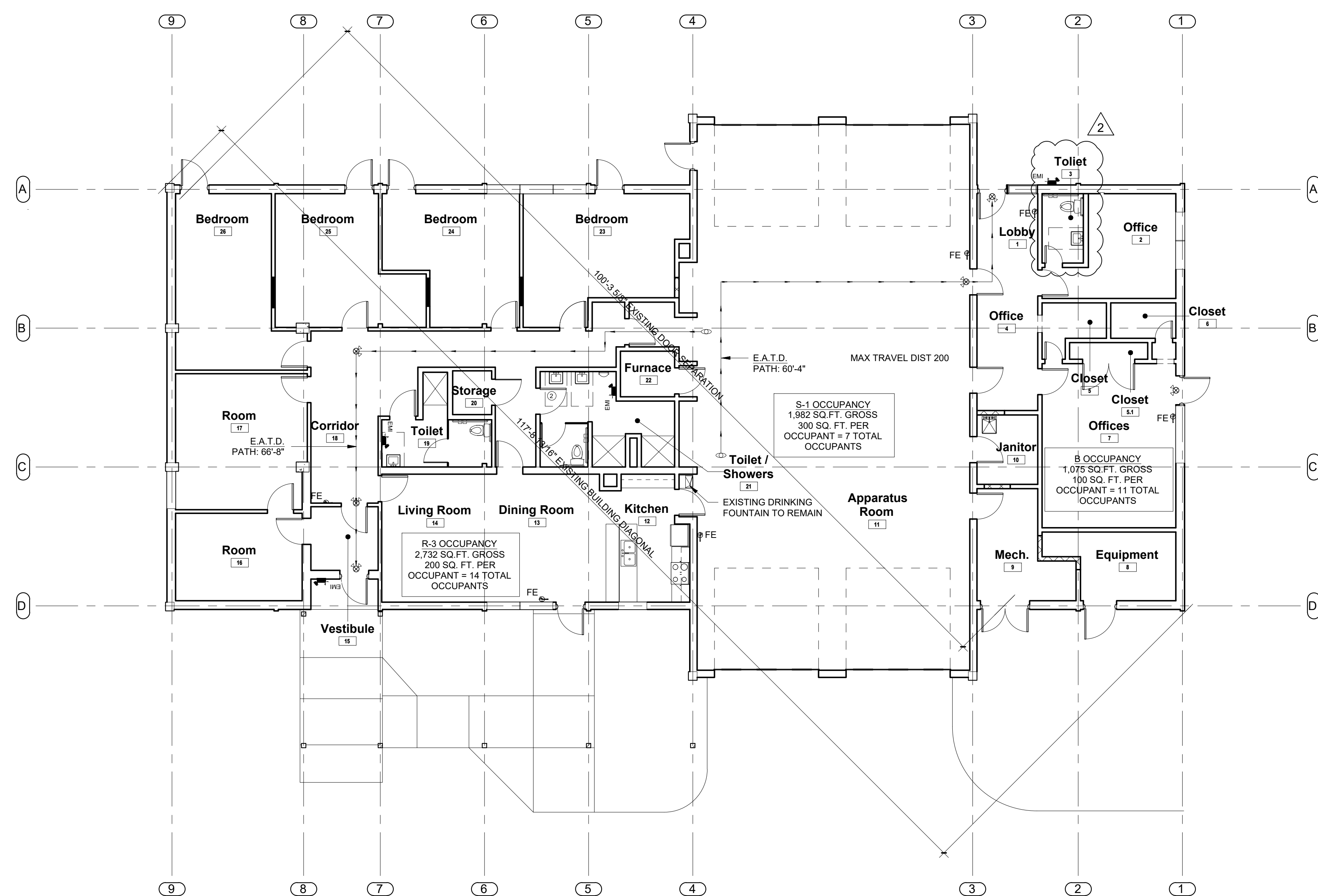


2018 NCSCB BUILDING CODE

S-1 OCCUPANCY
FIRST STORY COMMON PATH OF EGRESS TRAVEL IS 100FT. WHEN OCCUPANT LOAD IS GREATER THAN 30 TABLE 1006.2.1

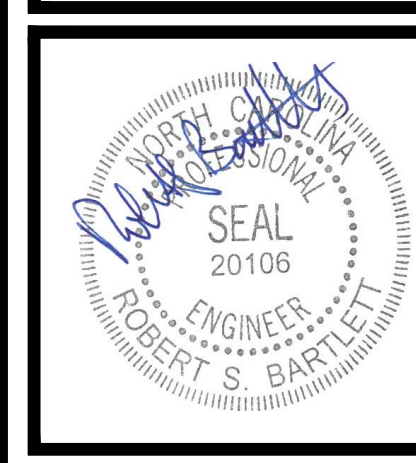
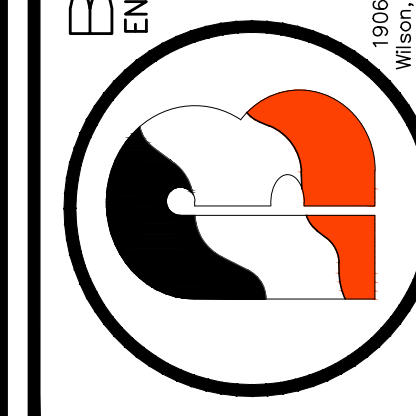
B OCCUPANCY
COMMON PATH OF EGRESS TRAVEL IS 100FT. WHEN THE OCCUPANT LOAD IS LESS THAN 49 TABLE 1006.2.1

R-3 OCCUPANCY
COMMON PATH OF EGRESS TRAVEL IS 125FT. WHEN THE OCCUPANT LOAD IS LESS THAN 20 TABLE 1006.2.1



CITY OF WILSON
PO Box 10
Wilson, NC 27893

Owner:
BARTLETT
ENGINEERING & SURVEYING, PC







Rev. | Date: | Description:
2 | 03-03-25 | As per owner

Title Sheet:
LIFE SAFETY PLAN
Improvements to Fire Station #4
109 Forest Hills Rd NW
Wilson, NC 27893

1 MAIN LEVEL LIFE SAFETY PLAN SCALE: 1/8" = 1'-0"
LS-1 1795 SF

Drawn by: Z. CHYBOWSKI
Issue Date: 01-10-25
Project Number: 24-037
Sheet: LS-1

DEMO - WALL LEGEND	
SYMBOL	
	EXISTING WALL TO REMAIN
	DEMO SLAB ON GRADE AS REQUIRED FOR REMOVAL AND REPLACEMENT OF EXISTING SEWER LINE
	DEMO EXISTING WALLS / DOORS / FRAMES AS NEEDED WHERE SOG REMOVED
	DEMO EXISTING CABINETS

NOTES:
1. R-11 SOUND BATT INSULATION IN PROPOSED INTERIOR STUD WALLS.

GENERAL NOTE

GC TO COORDINATE ALL SHEETS WITH ONE ANOTHER AND CONFIRM EXISTING CONDITIONS VS. PROPOSED NEW WORK.

ADA IMPROVEMENTS

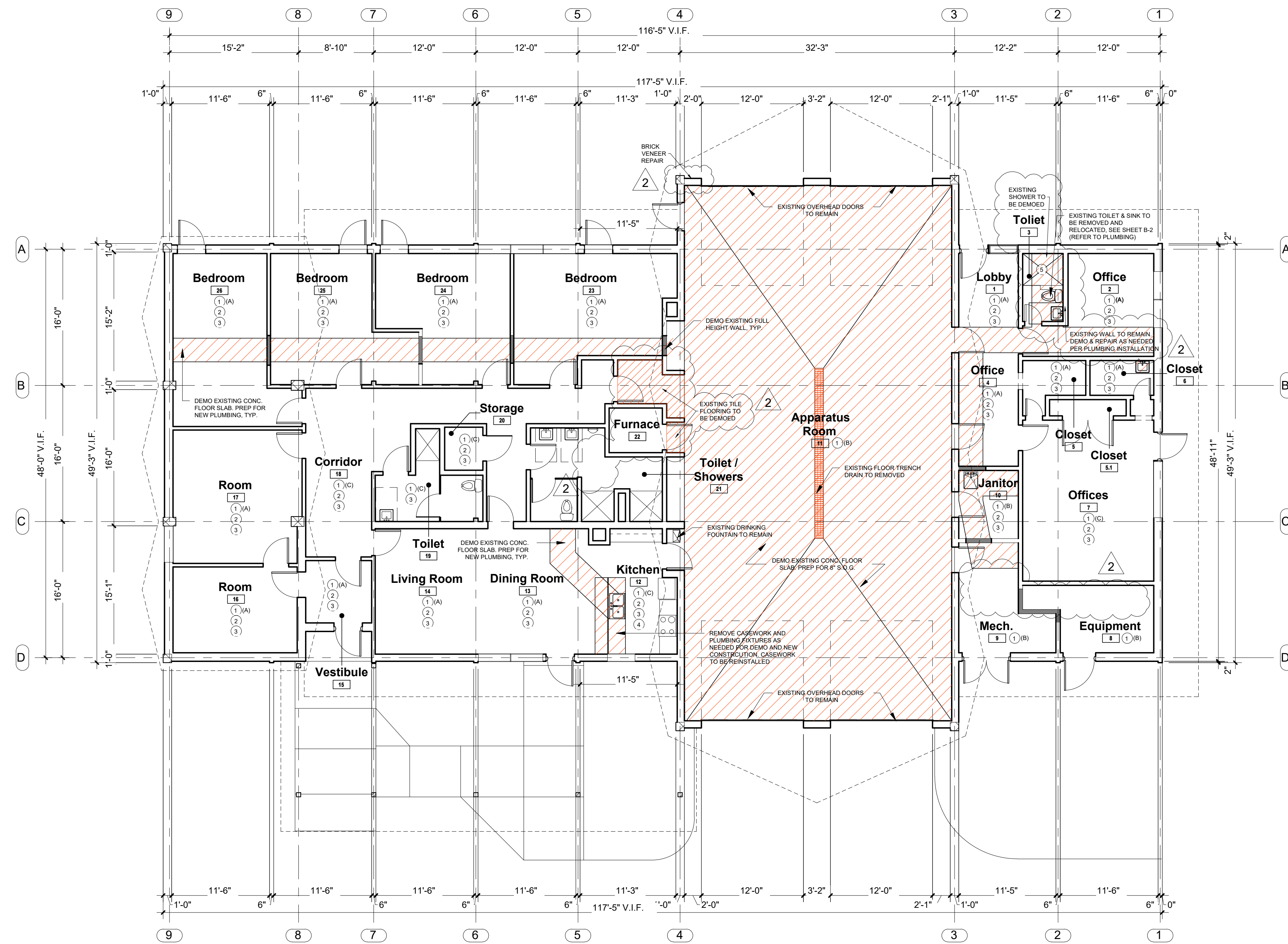
1. ADD H/C PARKING SPACE AND VAN ACCESSIBILITY.
2. ADD ADA ACCESSIBLE ENTRANCE SIDEWALKS AT TWO ENTRANCES.
3. INCREASED ADA ACCESSIBILITY IN TOILET 3.

DEMOLITION NOTES

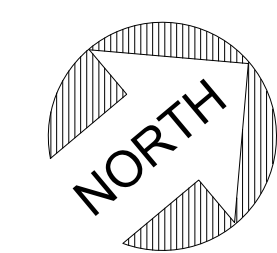
1. REMOVE EXISTING WALLS SCHEDULED TO BE DEMOLISHED. PROVIDE ADEQUATE / ENGINEERED SHORING AS REQUIRED.
2. PRESERVE EXISTING DOORS AND HARDWARE.
3. PREPARE EXISTING SLAB ON GRADE TO RECEIVE NEW POURED CONCRETE AT AREAS OF DEMO.
4. REMOVE EXISTING DOORS AND FRAMES AS NEEDED FOR WORK. TO BE REINSTALLED.
5. GC TO PROVIDE PROTECTION THROUGHOUT WORK AREAS FOR DURATION OF PROJECT.
6. GC TO PATCH + REPAIR ALL DAMAGE DONE BY GC AT NO ADDITIONAL COST TO OWNER.

DEMOLITION KEYNOTES

- ① EXISTING FLOOR COVERING TO BE REMOVED. REMOVE GLUE COMPLETELY AND PREPARE SLABS FOR MOISTURE REMEDIATION PER MANUFACTURER RECOMMENDATIONS.
 - (A) EXISTING CARPET TILE
 - (B) EXISTING CONCRETE
 - (C) EXISTING LVT
- ② EXISTING ACOUSTIC CEILING TILE AND GRID TO BE REMOVED
- ③ EXISTING BASE TO BE REMOVED
- ④ EXISTING CASEWORK TO BE REMOVED & REINSTALLED AS NEEDED FOR NEW CONSTRUCTION
- ⑤ EXISTING PLUMBING FIXTURES & ALL ASSOCIATED PLUMBING TO BE REMOVED



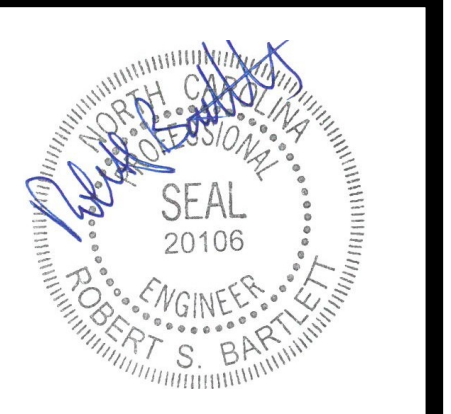
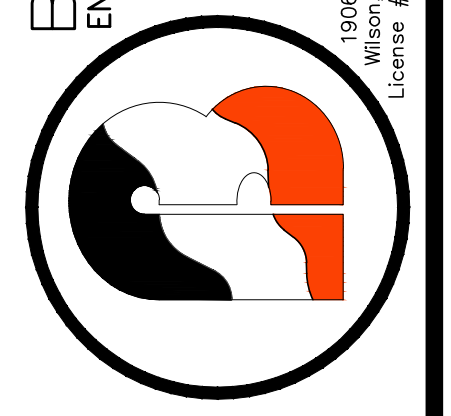
NOTE: ALL EXISTING DIMENSIONS TO BE VERIFIED IN FIELD.



1 EXISTING & DEMO FLOOR PLAN SCALE: 1/8" = 1'-0"

Owner:

BARTLETT
ENGINEERING & SURVEYING, PC



Rev: 2
Date: 03-03-25
Description: As per owner

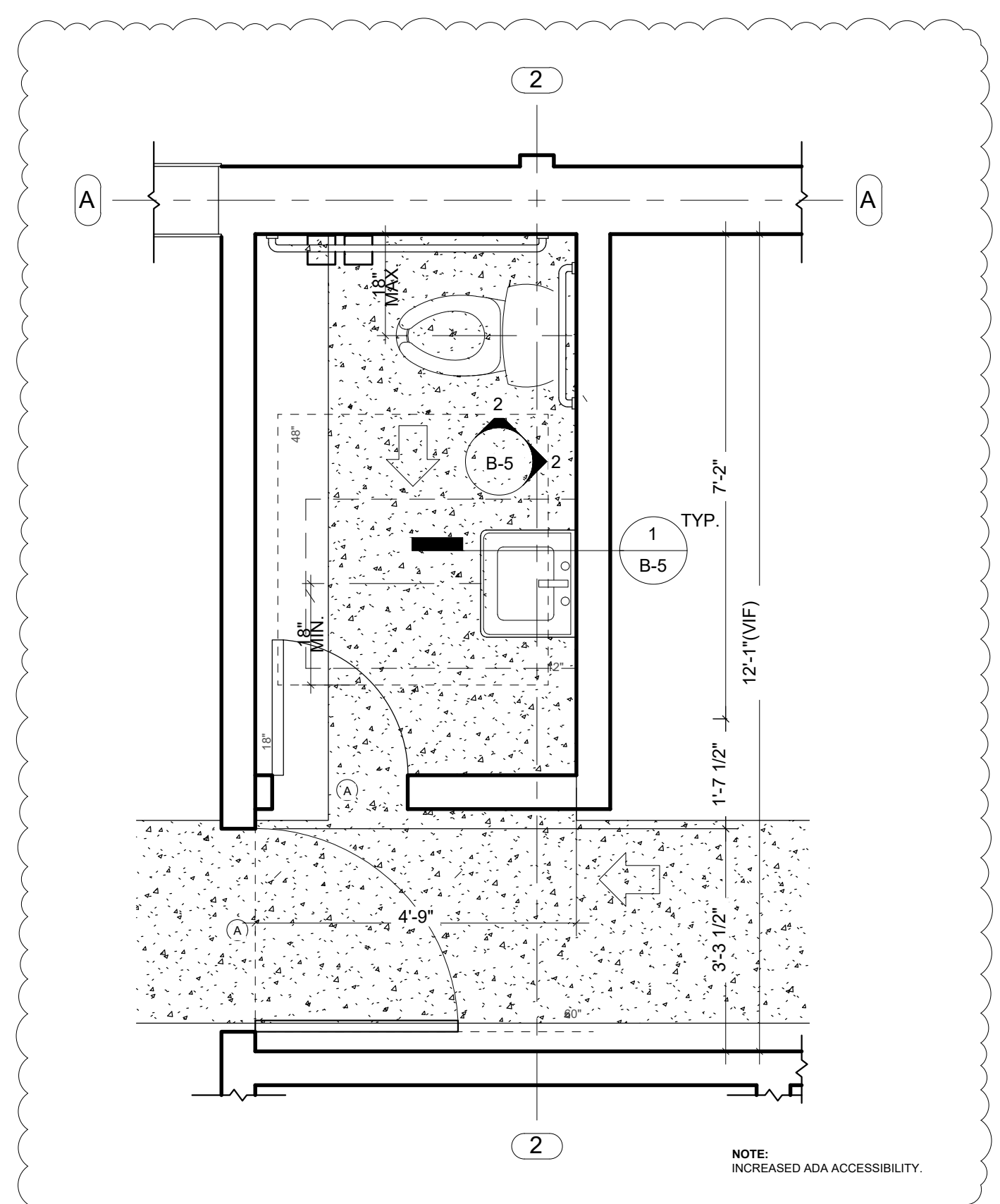
Title Sheet:
EXISTING & DEMO FLOOR PLAN

Improvements to Fire Station #4
109 Forest Hills Rd NW
Wilson, NC 27893

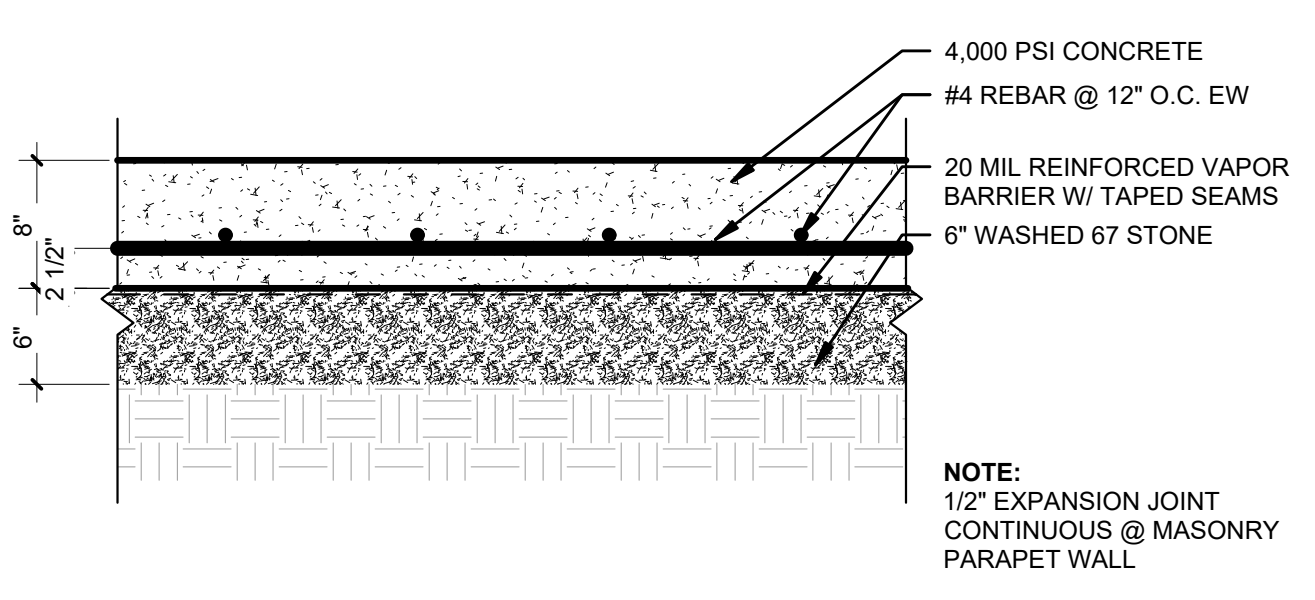
Drawn by: Z. CHYBOWSKI
Issue Date: 01-10-25
Project Number: 24-037

Sheet:
B-1

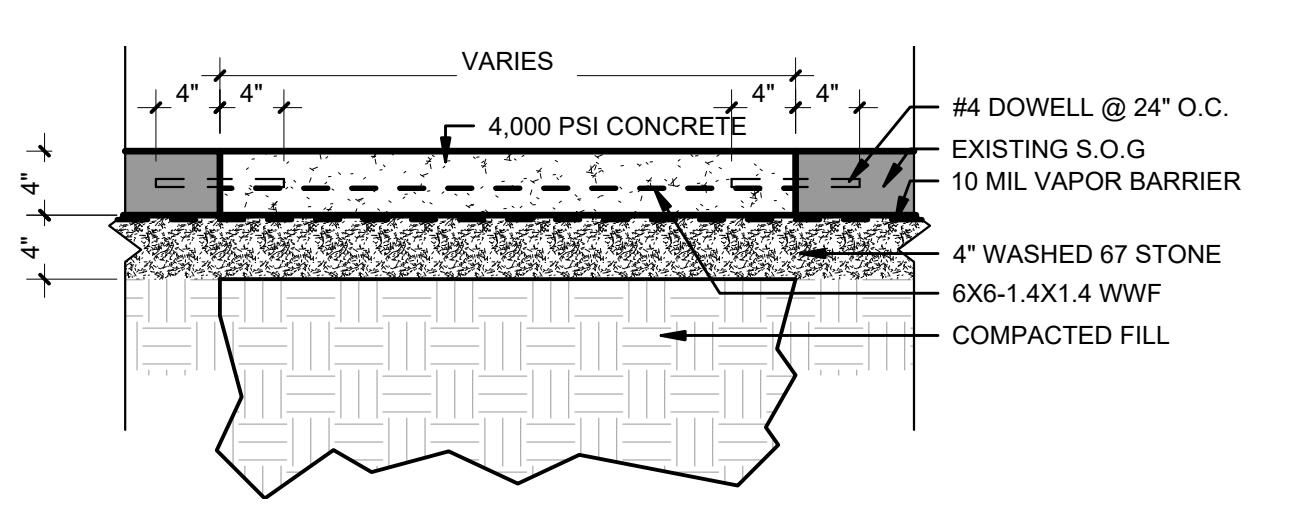
1906 Nash Street, North
Wilson, NC 27893
Phone: (252) 399-0704
Fax: (252) 399-1720
www.bartlett-eng.com
License # C-1551



4 ENLARGED TOILET #3 PLAN SCALE: 1/2" = 1'-0"
B-2



3 TRUCK BAY CONC. SLAB DETAIL SCALE: 1" = 1'-0"
B-2



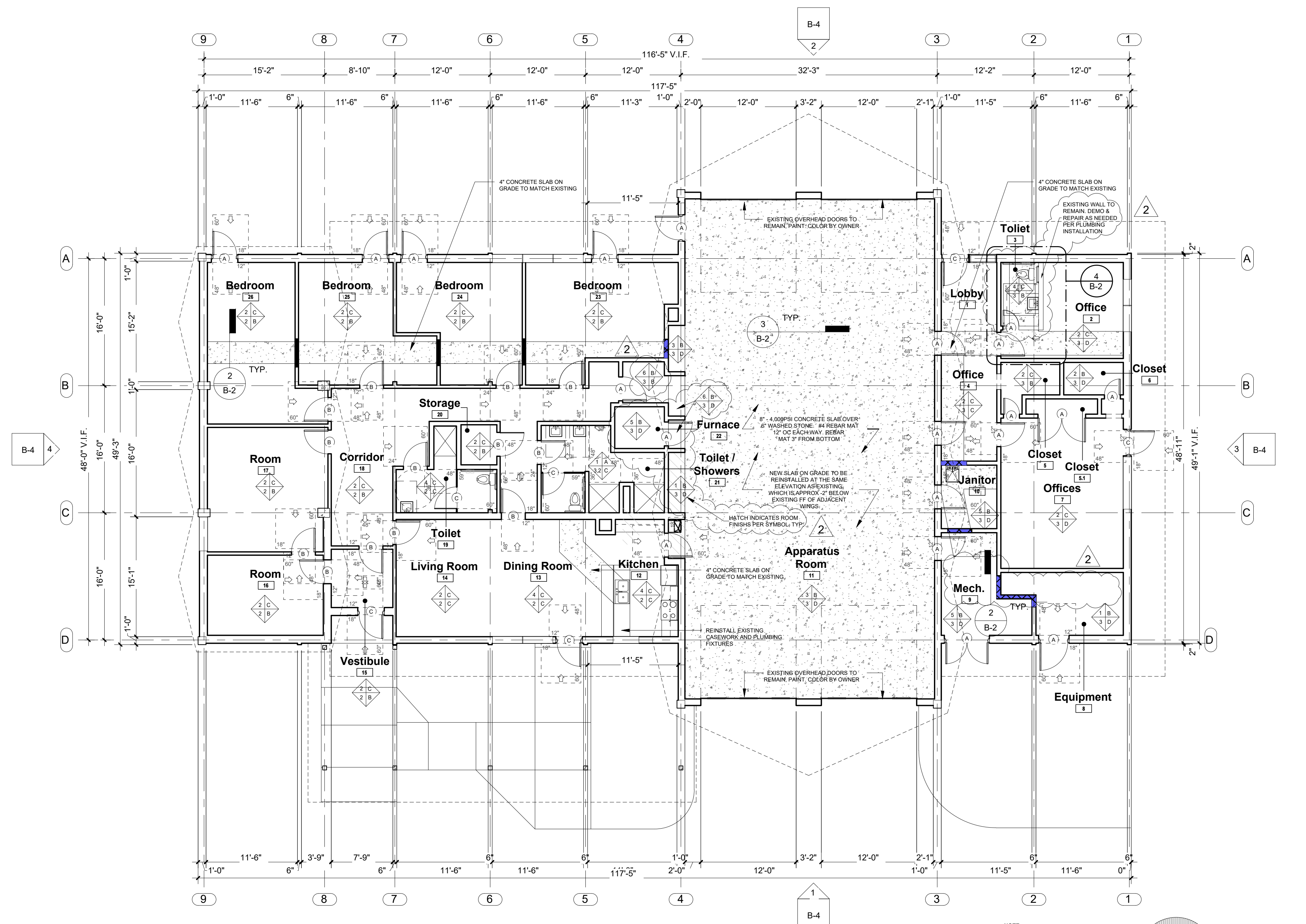
2 TRENCH POUR BACK DETAIL SCALE: 1" = 1'-0"
B-2

WALL LEGEND	
SYMBOL	
	EXISTING WALL TO REMAIN
	INTERIOR 3 5/8" METAL STUD WALL W/ 5/8" GYP. ON EACH SIDE. MATCH EXISTING
	INTERIOR 6" CMU WALL. MATCH EXISTING

NOTES:
1. R-11 SOUND BATT INSULATION IN PROPOSED INTERIOR STUD WALLS.

ROOM FINISH SCHEDULE			
FLOOR	BASE	WALLS	CEILING
1	EXISTING TO REMAIN	A	EXISTING TO REMAIN
2	CARPET - 24" X 24" TILES STYLE & COLOR CHOSEN BY OWNER	B	NONE
3	SEALED CONCRETE FINISH CURING COMPOUND APPLIED SAME DAY AS CONC. POUR & FINISH.	C	4" HIGH RUBBER COVE ROPPE 700 SERIES. COLOR BY OWNER
4	LVT		
5	SCRAPE AND PAINT CONC.		
6	PORCELAIN TILE		

DOOR FINISH SCHEDULE		
(A)	(B)	(C)
PAINT DOOR & FRAME	PAINT FRAME ONLY	EXISTING TO REMAIN



1 PROPOSED FLOOR PLAN SCALE: 1/8" = 1'-0"
B-2

CITY OF WILSON
PO Box 10
Wilson, NC 27893

Owner: BARTLETT ENGINEERING & SURVEYING, PC

SEAL
20108
ROBERT S. BARTLETT
ENGINEER

Rev: 2 Date: 03-03-25 Description: As per owner

FLOOR PLAN
Improvements to Fire Station #4
109 Forest Hills Rd NW
Wilson, NC 27893

Drawn by: Z. CHYBOWSKI
Issue Date: 01-10-25
Project Number: 24-037
Sheet: B-2

PLUMBING LEGEND	
DESCRIPTION	SYMBOL
COLD WATER	CW
HOT WATER	HW
VENT PIPING	V
WASTE PIPING	W
CLEAN OUT AT GRADE	COAG
FLOOR CLEAN OUT	FCO
CHECK VALVE	CV
SHUT-OFF VALVE	SOV
FIXTURE DESIGNATION	P-1
MOUNTING HEIGHT	MH
AIR ADMITTANCE DEVICE	AAD

PLUMBING FIXTURE SCHEDULE		
MARK	MAKE	DESCRIPTION
P-1	AMERICAN STANDARD OR EQUAL	1.6 GAL. ELONGATED, FLOOR MTD. FLUSH TANK WATER CLOSET WITH OPEN FRONT SEAT.
P-2	AMERICAN STANDARD OR EQUAL	WALL HUNG LAVATORY WITH FAUCET & DRAIN. TEMP. @ FAUCET SET @ 115°F MAX.
P-3	TRENCH DRAIN OMITTED	

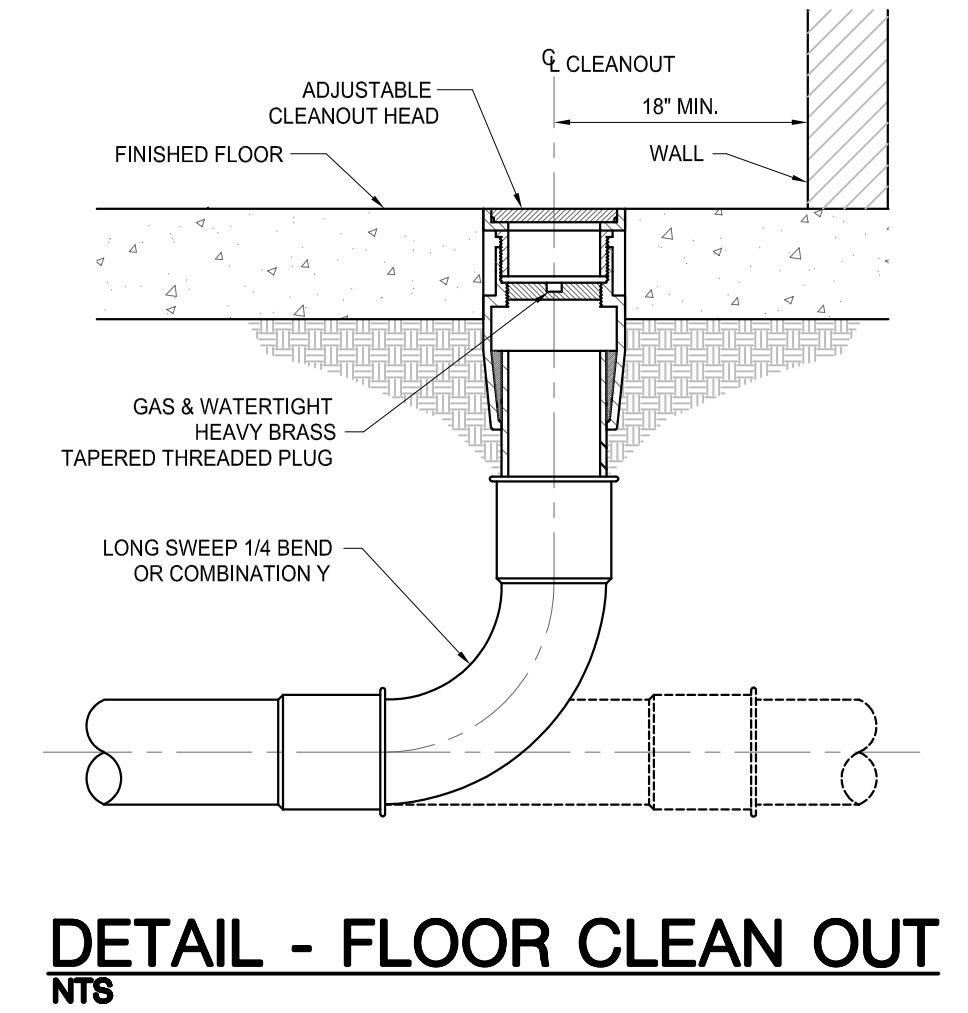
NOTES: 1. FLUSHER FOR NEW WATER CLOSETS SHALL BE ON APPROACH SIDE OF FIXTURE.
2. COORDINATE ALL NEW FIXTURES AND FAUCETS WITH OWNER PRIOR TO INSTALLATION.

- ### GENERAL PLUMBING NOTES
- ALL WORK SHALL BE IN COMPLIANCE WITH LOCAL, STATE, AND NATIONAL CODES.
 - CONTRACTOR SHALL COORDINATE PIPING WITH ALL OTHER TRADES.
 - CONTRACTOR SHALL REFER TO "B" SHEETS FOR DIMENSIONS.
 - CONTRACTOR SHALL FURNISH AND INSTALL DIELECTRIC UNIONS AT ALL CONNECTIONS BETWEEN DISSIMILAR METALS.
 - CONTRACTOR SHALL FURNISH AND INSTALL ESCUTCHEONS AND COVER PLATES AT ALL FINISHED WALLS, CEILINGS AND FLOOR OPENINGS.
 - PIPING SHALL BE DISINFECTED IN ACCORDANCE WITH STATE AND LOCAL CODE.
 - ALL PIPING SHALL BE TESTED FOR LEAKS. IF ANY LEAKS ARE DETECTED THE PIPING SHALL BE REPAIRED OR REPLACED AND RETESTED.
 - INSULATE ALL NEW HOT & COLD WATER PIPING.
 - NEW SUPPLY PIPING SHALL BE PEX.
 - NEW WASTE AND VENT PIPING SHALL BE SCH. 40 PVC, & SCH. 80 PVC UNDER TRAFFIC AREAS.
 - SET HOT WATER TEMPERATURE FROM NEW LAVATORY FAUCETS TO 115 DEGREE F. MAX.
 - PROVIDE SHUT-OFF VALVES IN ALL SUPPLY PIPING LINES ABOVE CEILING FOR ALL NEW DROPS AND AT NEW PLUMBING FIXTURES. PROVIDE ACCESS TO ALL VALVES AS REQUIRED IN HARD CEILINGS.
 - PLUMBING LAYOUTS ARE SCHEMATIC. ALL RISES, DROPS, OFFSETS, AND TRANSITIONS REQUIRED BUT NOT SHOWN SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION.

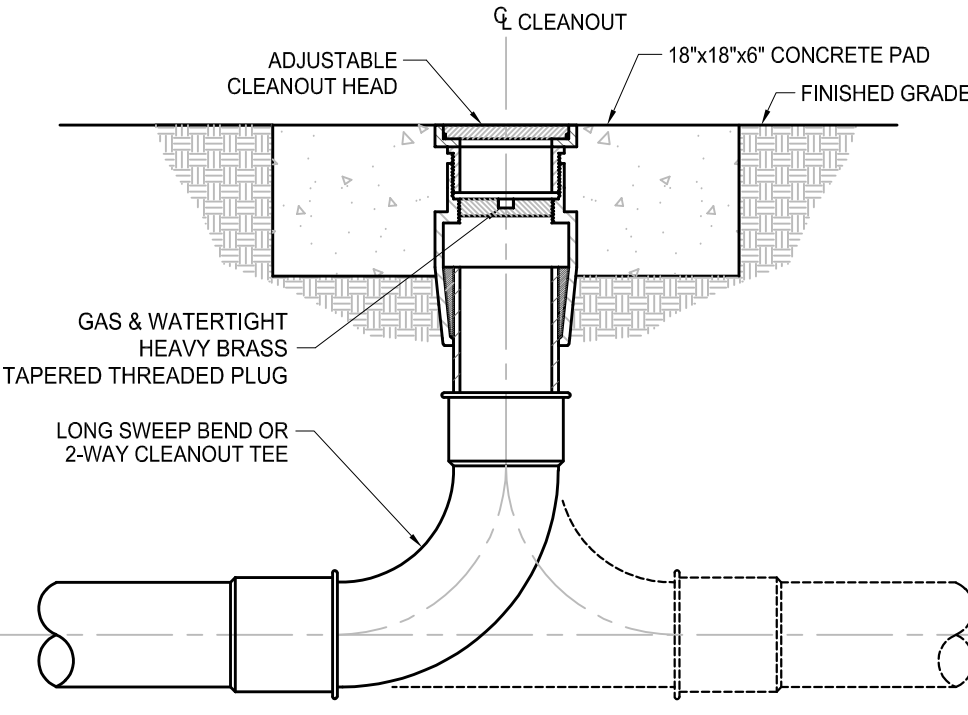
PLUMBING CALCULATIONS					
ITEM	# OF	SUPPLY FIXTURE UNITS			WASTE FIXTURE UNITS
		COLD	HOT	TOTAL	
FLUSH TANK WATER CLOSET	3	5.0	-	5.0	6
LAVATORY	4	1.5	1.5	2.0	1
KITCHEN SINK	1	1.0	1.0	1.4	2
JAN. SINK	1	2.25	2.25	3.0	2
SHOWER	3	3.0	3.0	4.0	2
GPM - 20.3		COLD TOTAL	HOT TOTAL	TOTAL	WASTE TOTAL
		33.25	18.25	39.4	32

NOTE: EXISTING MAIN COLD WATER LINE TO REMAIN. VERIFY EXACT LOCATION & CONDITIONS AT SITE PRIOR TO CONSTRUCTION

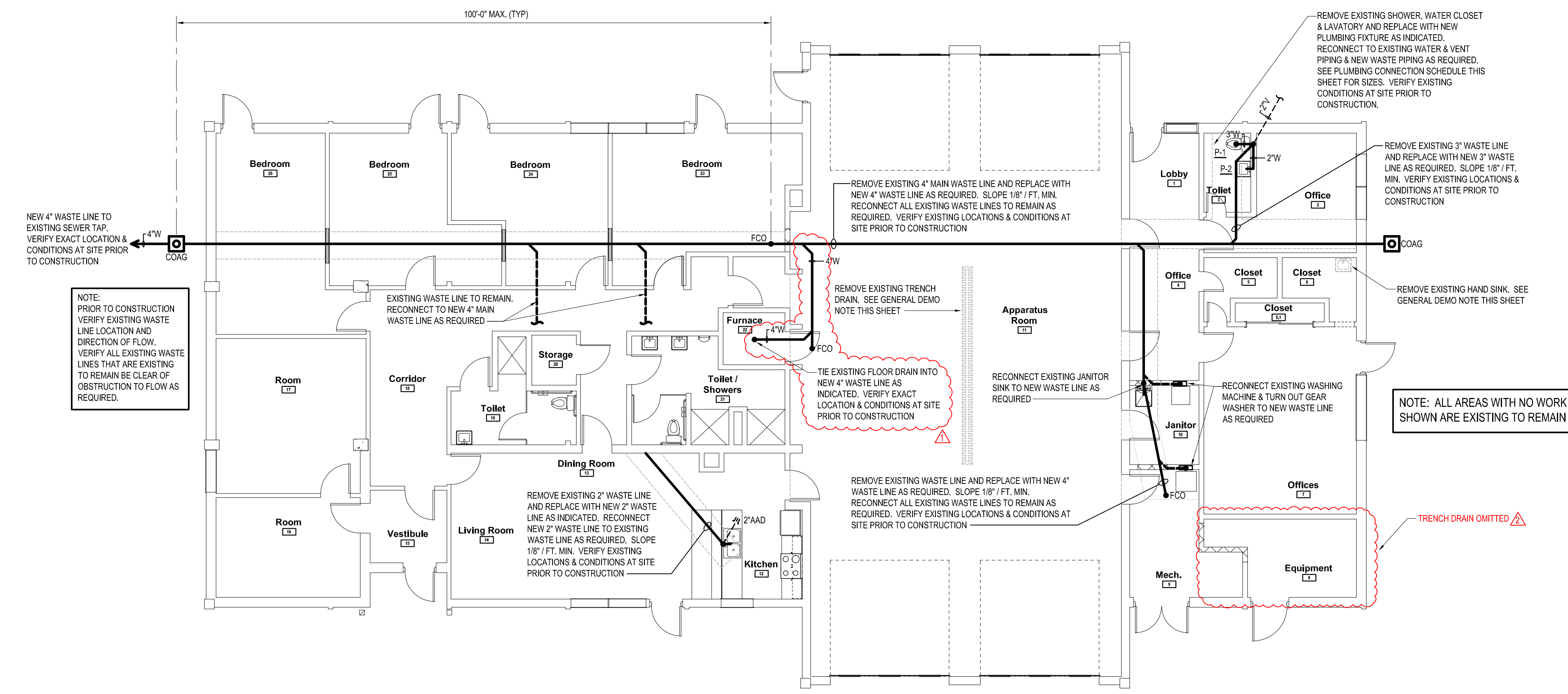
PLUMBING CONNECTION SCHEDULE				
FIXTURE	CW	HW	WASTE	VENT
FLUSH TANK WATER CLOSET	1/2"	-	3"	2"
LAVATORY	1/2"	1/2"	2"	1 1/2"
JAN. SINK	1/2"	1/2"	2"	1 1/2"



DETAIL - FLOOR CLEAN OUT
NTS



DETAIL - CLEAN OUT AT GRADE
NTS



PLUMBING PLAN
SCALE: 1/8" = 1'-0"

BACKFLOW PREVENTER NOTE:
VERIFY LOCATION OF EXISTING BACK FLOW PREVENTER & WORKING CONDITION FOR PROPOSED USE PRIOR TO CONSTRUCTION. PROVIDE & INSTALL NEW BACK FLOW PREVENTER IN COLD WATER MAIN AS REQUIRED FOR PROPOSED USE.

GENERAL DEMO NOTE:
REMOVE ALL UNUSED PLUMBING LINES, FIXTURES, ETC. AS REQUIRED. CAP PIPING BELOW FLOOR IN WALL ABOVE CEILING AS REQUIRED. DISPOSE OF ALL MATERIALS PROPERLY.

Prepared for:
CITY OF WILSON
PO Box 10
Wilson, NC 27893

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Professional Engineer Seal
ROBERT S. BARTLETT
20106

Rev.	Date:	Description:
1	09-05	REVISD PER OWNER
2	03-25	REVISD PER OWNER

Title Sheet: **PLUMBING PLAN**

Project: **Improvements to Fire Station #4**
109 Forest Hills Rd. NW
Wilson, NC 27893

Drawn by: J. Thompson
Issue Date: 01-10-25
Project Number: 24-037
Sheet: **P-1**